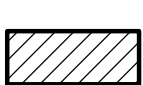




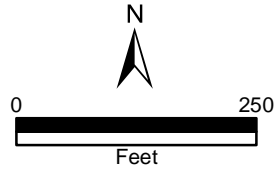
12-A-21-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



2518 Sherrod Rd. 37920
Gobbler's Knob NC

Original Print Date: 12/7/2021
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Emily Thompson





Staff Report

Knoxville Historic Zoning Commission

File Number: 12-A-21-HZ

Meeting: 12/16/2021
Applicant: Emily Thompson
Owner: Emily Thompson

Property Information

Location: 2518 Sherrod Rd. **Parcel ID** 109 A G 037
District: Gobbler's Knob NC
Zoning: RN-1 (Single-Family Residential Neighborhood)
Description: Minimal Traditional, c.1940

One-and-one-half story frame residence with a brick veneer wall covering. Side-gable roof with asphalt shingle cladding and shed and gable extension covering a two-thirds front porch, supported by round wood columns with Doric capitals. One-story gabled side porch with round wood columns with Doric capitals. Eight over eight double-hung windows.

Description of Work

Level II Construction of Addition or Outbuilding

New porch addition on the rear left (north) corner of the house. Gable-roof porch measures 26' wide by 24'-8" long, and will project 12' out from the side elevation of the house. The addition is a screened-in porch with a 6/12 gable roof clad in asphalt shingles and a foundation of six by six posts above grade, on concrete footers. A 36" tall guard rail, featuring 4 by 4 square-pattern wire railing, will be installed on the exterior. The small section of the gable field and lower trim areas will be clad in a shingle siding to match existing shingles on the house.

Applicable Design Guidelines

Gobbler's Knob Neighborhood Conservation District Design Guidelines and Designation Report, adopted by City Council in 2008

A. New Development and Additions

2. The recommended location for additions is to the side or rear of existing buildings. Additions to the front of houses are not encouraged, but may be allowed provided they do not extend more than 15 feet or cover more than one-fourth of the front façade.

14. Balconies, porches, bay windows, and other projections are encouraged and may be allowed in the building setback.

15. Roofs on new buildings should have a minimum roof pitch of 6/12, and should vary their design by the use of telescoping or offset gables, dormers, or using hip and gable or cross-gable configurations.

C. Building Materials

1. Building materials for new construction should not include vinyl or aluminum siding, concrete blocks, or exterior plywood on elevations that are visible from Sherrod Road or Millers Avenue.

Comments

N/A

Staff Findings

1. 2518 Sherrod Road is a contributing resource to the Gobblers Knob NC overlay.
 2. The porch addition is proposed for the rear corner of the house, on a non-character-defining elevation. Placement of the addition is appropriate. Due to the placement of houses on the street, the proposed porch will be visible from the street.
 3. The proposed materials meet the design guidelines. The 6/12 pitch roof is compatible with the primary house. The intersecting roofline will contribute additional complexity to the house. The use of shingles on lower trim elements and the front-gable section fronting the street will connect the porch addition with the primary house. The 6 by 6 wood post foundation will be minimally visible from the right-of-way, due to the site topography.
-

Staff Recommendation

Staff recommends approval of Certificate 12-A-21-HZ as submitted.

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
FEE 2:		
FEE 3:		



REAR ELEVATION
1/4"=1'-0"

RIGHT ELEVATION
1/4"=1'-0"

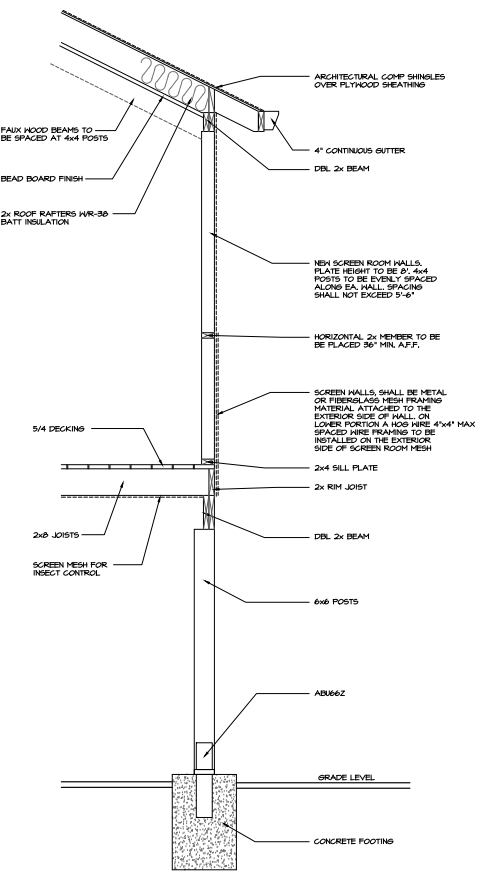
REVISIONS	BY
TH221076A_1	
<small> THESE DRAWINGS, SPECIFICATIONS, AND SCHEDULES SHALL BE A PART OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION. </small>	
PROJECT: THOMPSON SCREEN ROOM ADDITION 2518 SHERROD ROAD KNOXVILLE TN	
REAR RIGHT ELEVATIONS	
A & R DESIGN & DRAFTING SERVICE 3000 LEONOR CITY, TENNESSEE 37112 (615) 999-9405 RCOLT@A&R.COM	
DATE	11/01/2021
SCALE	AS NOTED
DRAWN	R.J.
JOB	TH221076
SHEET	A-2
OF SHEETS	

NO SCREEN SHOWN AT THIS SECTION FOR CLARIFICATION OF HALL BEYOND

NEW SCREEN ROOM WALLS BEAM HEIGHT TO HATCH LINE. 4x4 POSTS TO BE EVENLY SPACED ALONG EA. WALL SPACING SHALL NOT EXCEED 5'-6" HORIZONTAL. 2x MEMBERS TO BE PLACED 36" MIN. A.F.F. SCREEN WALLS SHALL BE METAL OR FIBERGLASS MESH FRAMING MATERIAL ATTACHED TO THE EXTERIOR SIDE OF WALL. ON LOWER PORTION A HOS WIRE 4"x4" MAX SPACED WIRE FRAMING TO BE INSTALLED ON THE EXTERIOR SIDE OF SCREEN ROOM MESH

4x4 POSTS

LEFT ELEVATION
1/4"=1'-0"



WALL SECTION
N.T.S.

REVISIONS	BY

PROJECT
THOMPSON SCREEN ROOM ADDITION
2518 SHERROD ROAD
KNOXVILLE TN

LEFT ELEVATION WALL SECTION

A&R DESIGN & DRAFTING SERVICE INC.
3000 W. LENOIR CITY, TENNESSEE 37112
(615) 599-8805 R0211@A&R.COM



DATE	11/01/2021
SCALE	AS NOTED
DRAWN	R.J.
JOB	TH021076
SHEET	A-3
OF SHEETS	



