

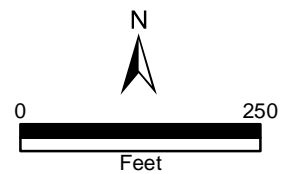
8-G-21-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



700 Morgan St. 37902
Fourth and Gill H

Original Print Date: 8/9/2021
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Logan Higgins



Meeting: 8/19/2021
Applicant: Logan Higgins
Owner: NOx, LLC

Property Information

Location: 700 Morgan St. **Parcel ID** 94 D J 029
District: Fourth and Gill H
Zoning: RN-3 (General Residential Neighborhood)
Description: N/A
Vacant lot.

Description of Work

Level III Construction of New Primary Building

New single-family residence fronting Morgan Street, with a side elevation fronting E. 4th Ave. Overall footprint measures approximately 33' wide by 54' long, with an 8' deep front porch. The house features a hipped roof with a 3/12 pitch, with two-story hipped-roof massings projecting on both side elevations. The roof is clad in asphalt shingles, the exterior is clad in wood lap siding with brick veneer pilasters and brick porch supports, and the house will rest on a brick-clad foundation.

The house is proposed to be set 18' from the front property line, with an 8' deep front porch set 10' from the front property line. The house is mostly centered on the lot. A concrete walkway will extend from the front porch to the sidewalk. Parking is accessed off the alley, with a 20' by 20' permeable paver parking pad.

The façade (southwest) features a hipped roof with a 3/12 pitch, with a two-story hipped-roof porch centered on the façade, supported by brick columns. While the front porch is 8' deep and 21' wide, it is centered under the primary hipped-roof eave which extends the full length of the façade's habitable space. Exterior elements include wood lap siding, brick pilasters, and 2'-6" by 5' tall metal casement windows on the first story. The second story features paired 7' tall by 5' wide French doors, centered over the first story windows. A half-light door is centered on the façade elevation.

The right side (southeast, fronting E. 4th Ave), features a two-story, hipped-roof porch which is centered on the elevation. The porch is three bays wide, with a 3/12 pitch roof, and supported by square brick columns. The first story features three adjoining 2'-6" by 5' tall metal casement windows on the first bay, followed by a 5' by 5' single-light picture window, followed by three pairs of 5' by 8' tall French doors topped by transoms. Paired 2'-6" wide by 5' tall metal casement windows are located on the final bay. A similar pattern repeats on the second story, with all fenestrations centered above those on the first story.

The left side (northwest) features a two-story, hipped roof passing projecting from the center of the elevation. There are four windows on the second story (2'-6" wide by 5' tall metal, single-light casement windows).

The rear (northeast) elevation features a two-story, centrally-located flat-roof massing projecting outward, with six adjoining 2'-6" metal casement windows on first and second stories.

Not noted on drawings: the applicant has requested options of HardiePlank siding in place of lap siding, and wood windows in place of metal windows.

Applicable Design Guidelines

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Infill Buildings

There are vacant lots on many of the streets in the Fourth and Gill Historic District. They cause a gap in the streetscape, and should be redeveloped with new buildings that are sympathetic to the historic design of buildings in the neighborhood.

New buildings should be contemporary in spirit. They should not be imitations of buildings of the past; rather they should respond to the present time, the environment, and the use for which they are intended. New buildings constructed in historic areas should, however, be compatible with older structures and sensitive to the patterns already in their environment.

The materials that cover its exterior surface largely determine the appearance of a building. Similar materials develop a certain continuity and character. A building should not be visually incompatible or destroy historic relationships within the neighborhood. At the same time, new construction should not imitate historic style or period of architecture. This is also true for freestanding garages, sheds, and other outbuildings.

Width of Houses and Lots

Fourth and Gill developed along streetcar tracks, which followed a straight line. This formed the pattern of streets in the neighborhood, and set the pattern for lot sizes. As a result, the lots of Fourth and Gill are usually rectangular, with their narrowest side parallel to the street. The houses are also rectangular, or irregular, with narrow sides facing their street. This development pattern should be respected if new structures are built in the neighborhood. The consistent setbacks of the neighborhood create a visual order, help define public and private space, provide a margin of privacy for residents, and permit landscaping in front of a building.

1. Maintain the historic façade lines of streetscapes by locating the front walls of new buildings in the same plane as the facades of adjacent buildings. A new building should continue and reinforce the alignment established by neighbors. Never violate the existing setback pattern by placing new buildings in front of behind the historic façade line.
2. Avoid placing buildings at odd angles to the street.

Scale and Massing

The houses in the Fourth and Gill Historic District have a shape, or bulk, consistent with their time of construction. They appear larger than new buildings, with set back or projecting bays not found on many new buildings. The appearance this lends to the neighborhood is an important design attribute.

1. Relate the size and proportions of new structures to the scale of adjacent buildings.
2. Break up uninteresting boxlike forms into smaller, varied masses like those of most buildings from the historic period. Variety of form and massing are essential to the character of the streetscape.
3. New buildings should be designed with a mix of wall areas with door and window elements in the façade like those found on the neighborhood's historic houses. Also consider the width-to-height ratio of bays in the façade. The placement of openings with respect to the façade's overall composition, symmetry, or balanced asymmetry should be carefully imitated.
4. Relate the vertical, horizontal, or nondirectional façade character of new buildings to the predominant

directional alignment of nearby buildings. A new building should continue and reinforce the alignment established by its neighbors. Alignment is basically the arrangement of objects in a straight line. The horizontal alignment of building elements such as porches, roofs, windows, etc., is one of the most effective ways of creating and maintaining a sense of relationship, a sense of connection, and unity among the elements of a street.

5. Relate the roof forms of the new buildings to those found in the area. Duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

Height of Foundations and Stories

Historic houses in the Fourth and Gill Historic District are not built on slab foundations. They are built on raised foundations, usually of masonry. The color and texture of these brick, stone or stuccoed foundations adds richness to the neighborhood. The height of each story is enough to allow for interior ceilings that are more than eight feet tall. If infill housing is constructed, it should suggest the overall height, as well as the foundation and story height, of adjacent historical houses.

1. As a general rule, construct new buildings to equal the average height of existing buildings on the street.
2. Raised foundations, or the appearance of raised foundations, must be designed for any new housing constructed in Fourth and Gill. The height of the foundation should replicate those of adjoining buildings.
3. If building new structures, the eave lines should conform to those of adjacent properties. Divisions between stories should either be omitted, or should mimic neighborhood buildings

Materials

1. The materials used for new buildings should be consistent with existing historic building materials along the street.

Features

1. Always design front facades with a strong sense of entry. Strongly emphasized side entries, or entries not defined by a porch or similar transitional element, result in an incompatible flat first-floor façade.
2. Avoid replicating or imitating the styles, motifs, or details of older periods. Such attempts can present a confusing picture of the true character of the historical area.

Roofs

1. The shape and pitch of roofs on new construction should imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style.
2. The eaves on additions or new buildings should have an overhang that mimics [...] the existing buildings near the property. A minimum eave overhang of at least eight inches should be used on new construction. Fascia boards should be included on the gables.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding, and other unique roof features). Use some of these details in designing new buildings.
4. Materials used in new construction should duplicate the original roofing materials if possible. Asphalt shingles can be appropriate [...] and the color should be a dark green, charcoal gray, black or dark reddish brown to simulate the original roof colors.

Porches

3. New front porches in Fourth and Gill must be large enough to provide seating, ie. six to eight feet in depth.
4. In new construction, the proportion of the porches to the front facades should be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades, and porch flooring must use materials that present a visually and physically appropriate appearance historically.

Entrances

Historic characteristics: The doors originally used on Fourth and Gill houses were wooden, often with beveled glass

or stained glass inserts. Screen doors were commonly used.

1. Entry features that should be preserved include sidelights and transoms of plain, patterned, beveled or stained glass, fan light windows, entablatures and the original doors.
3. Service (rear or side) entrances should not be altered to make them appear to be formal entrances by adding paneled doors, fanlights, or sidelights.
4. Secondary entrances should be compatible with the originals in size, scale, or materials but should not give the appearance of a primary entrance.

Wall Coverings

3. New construction should use wood materials rather than aluminum or vinyl siding. New buildings should also use corner and trim boards and appropriate window and door trim. Concrete composition planks may be appropriate for new construction

Comments

N/A

Staff Findings

PLACEMENT; HEIGHT, SCALE, & MASSING

1. The new house is proposed for an average-sized lot in Fourth and Gill that historically held a rectangular, two-story, wood frame residence with an exterior of wood and a one-story corner porch. The proposed house reflects the shape of the lot, with a rectangular form and the narrow side parallel to the street. The subject property is a corner lot, which requires additional elaboration on the side elevation.
 2. The house's proposed setback is 10' from the front porch to the front property line, and 18' from the front porch to the house's main massing. The average front setback of the block is 16'. The adjacent house at 704 Morgan Street is set 17' from the front property line, with a corner porch that's flush with the main massing. The applicant should confirm the proposed front setback will maintain the historic façade line of the streetscape, recessing the house slightly towards the rear property line if necessary to continue a consistent front yard space with the rest of the block.
- The house is centered on the lot with consistent side setbacks, and a 12' side setback from the right side property line, with 5' of the porch encroaching. This will allow for landscaping and green space adjacent to the sidewalk. The left side setback pattern will be reflected by the adjacent proposed new construction at 701 Deery Street.
3. Guidelines recommend avoiding "replicating or imitating the styles, motifs, or details of older periods," and encourage compatibility in interpretation of historic styles and forms seen in the neighborhood. Similar to the proposed houses at 705 Deery Street and 700 Morgan Street, the proposed house is a contemporary interpretation of the Prairie style, including a mix of wood and brick elements, a low-pitched hipped roof, and wide eave overhangs. While there are not many Prairie-style houses in Fourth and Gill (and Knoxville), the selected style is compatible with the neighborhood's historic designs. The Prairie style is an appropriate style selection for the applicant and owner's goals of a large house, as most Prairie houses were two stories and incorporate substantial porches.
 4. The proposed house is two stories, measuring 27'-4" to the roof peak on the façade elevation. The size and proportions of the new house relate more to the largest buildings in the district (multi-family buildings at 403 E. Fourth Ave; 727 Deery Street) than the immediately adjacent Queen Anne cottages. The proposed house will be the same height as the new houses at 705 Deery Street and 700 Morgan Street. The applicant should provide a general height comparison to show compatibility with the 700 block of Morgan Street.

5. To break up the large rectangular form, the proposed house uses varied massings, including a two-story,

centrally-located front porch; a two-story, hipped-roof side porch; and variety of siding details. The flat-roof, two-story projecting massing on the rear elevation is a unique tactic to incorporate additional interior space. It will be visible from the street due to the size of the proposed house and the corner lot. It does contribute transparency to the rear elevations.

6. The proposed house is compatible in façade width with some of the Fourth and Gill examples selected for the application packet (two-story, side-gable or hipped-roof houses with three-bay facades). The most logical comparison for the proposed design is 727 Deery Street, a brick-clad Prairie-style structure which was designed as a duplex instead of a single-family house. The new house can also be compared with the two-story multi-family Cleveland building on the other side of Morgan Street. The proposed house extends significantly towards the rear property line, occupying almost the maximum building coverage permitted on the lot. The overall massing of the house is large. It is aligned primarily with the larger buildings on E. Fourth Avenue.

7. The façade integrates a mix of vertical and horizontal elements with horizontal trim bands, brick pilasters and porch columns, and symmetrical window placement. These elements are characteristic of the Prairie style.

8. The proposed hipped-roof form is generally compatible with the neighborhood, and incorporates some complexity via projecting hipped-roof massings on the side elevations. Guidelines also recommend using eave lines which conform to those of adjacent properties, and using divisions between stories that mimic neighborhood buildings. The proposed eave lines appear to be somewhat taller (and also wider) than the immediately adjacent properties on the 700 block of Morgan Street.

The design incorporates substantial eave overhangs, characteristic of high-style Prairie architecture (including some outside-of-Knoxville examples provided in the application packet), especially on the facade. The Commission should discuss the appropriateness of the substantial eave overhangs. The façade could present as a slightly reduced size and massing if the front porch had a separate hipped roof, set slightly lower than the primary hipped massing, instead of being recessed below eaves which are approximately 3' wide on the corners.

9. Guidelines recommend constructing new buildings to equal the average height of existing buildings on the street. The proposed residence is on the taller side of this average.

BUILDING FEATURES

10. The house includes a raised, 2' tall brick masonry foundation, which is compatible with historic foundations.

11. Using a centrally-located half-light door, flanked by the two square porch columns and accessible via a new concrete walkway from the sidewalk, the design successfully incorporates a strong sense of entry on the front façade.

12. Guidelines note that the shape and pitch of roofs on new construction should imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style. A 3/12 pitch is less steep than many of the original houses in Fourth and Gill, though the 3/12 pitch is in line with the selected Prairie influence. The roof features very deep eave overhangs.

13. The design includes an 8' deep, 21' wide front porch. The porch is large in massing and scale, compared to other porches in the neighborhood. The proposed square brick columns and solid wood porch railing enclosures are consistent with the contemporary interpretation of the Prairie style. While it does contribute visual interest and complexity to a visible side elevation, the two-story, 28' wide, 12' deep side porch is significantly larger than most porches in the neighborhood. The large two-story side porch contributes to the overall large scale and massing of the house.

MATERIALS

14. Asphalt shingles are an appropriate roofing material within the design guidelines. The final selection should use dark green, dark gray, black, or another dark color to simulate roof colors on original houses.
15. The half-light door is appropriate for the house's design and contributes additional transparency to the façade. The applicant should specify the door material and select a material compatible with the overall house and the design guidelines (preferably, wood).
16. Guidelines recommend wood materials instead of synthetic siding, noting that concrete composition planks may be appropriate for new construction as well. The submitted drawings propose wood siding, though the applicant has requested the option of HardiePlank. In the opinion of staff, due to the overall size, massing, and style selected, the house will be sufficiently "contemporary in spirit" and does not need further material elements to differentiate from the historic context. Wood lap siding features a more historically appropriate exposure pattern and overlap than fiber cement siding, which can present visually as flat and lacking depth. Using wood lap siding, along with the proposed brick elements, will keep the new house consistent with the historic materials used along the street.
17. While paint colors are not directly in the HZC's purview, in the opinion of staff, red or brown brick masonry elements would be most compatible with the neighborhood context, avoiding current trends of white-washed brick and monochromatic facades.
18. The application includes a substantial amount of transparency, in the form of rectangular, single-light, metal casement windows. The right (southeast) elevation fronting E. Fourth Avenue also incorporates three pairs of French doors and 5' by 5' single-light picture windows. The Commission should discuss the appropriateness of the window form and the proportions of transparency, in relation to the proposed house design and neighborhood context.
19. There are only four windows on the northwest (right) side elevation, all located on the second story. Due to the overall height and scale of the house, this elevation will be visible from the street. Additional transparency is needed to balance the second-story windows.
20. The proposed house is identical in design to 701 Deery Street, beyond a minor variation in porch design driven by the size of the lot. Some variation in design is necessary to differentiate the two houses.

Staff Recommendation

To begin, the Commission should discuss the overall massing, size, and scale of the house as it relates to the surrounding context of the historic district. Further initial topics of discussion should focus on the massing of the front porch and overall roofline; overall amount of transparency on the left side elevation; the overall scale and proportions of the left side porch; and any differentiation necessary between 701 Deery Street and 700 Morgan Street.

Pending the approval of overall massing, size, and scale, staff also recommends the additional conditions of approval: 1) confirmation proposed front setback's compatibility with the adjacent houses; 2) final door selection to be wood and submitted to staff for approval; 3) the use of wood lap siding over HardiePlank siding; 4) using dark-colored asphalt roofing shingles and unpainted brick masonry elements to better connect with the historic context; 5) additional transparency on the first story of the northwest side elevation.



DESIGN REVIEW REQUEST

☐ DOWNTOWN DESIGN (DK)

☒ HISTORIC ZONING (H)

☐ INFILL HOUSING (IH)

Heyoh Design + Develop

Applicant

8/2/21

August 19, 2021

8-G-21-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

Logan Higgins

Heyoh Design + Develop

Name

Company

133c S Gay St

Knoxville

TN

37902

Address

City

State

Zip

865.236.0430

Info@heyohdesign.com

Phone

Email

CURRENT PROPERTY INFO

N0x LLC

719 LUTTRELL ST KNOXVILLE, TN 37917

865.679.8159

Owner Name (if different from applicant)

Owner Address

Owner Phone

700 Morgan St

094DJ029

Property Address

Parcel ID

Fourth and Gill

RN-3

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Lindsay Crockett

Please Print

8.2.21

Date

[Signature]

Applicant Signature

Logan Higgins

Please Print

8/2/21

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☒ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☒ Brief description of work: New construction of primary structure. Attached packet will provide further details

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	TOTAL: \$250
\$250	
FEE 2:	
FEE 3:	



BOOKEND HOUSES

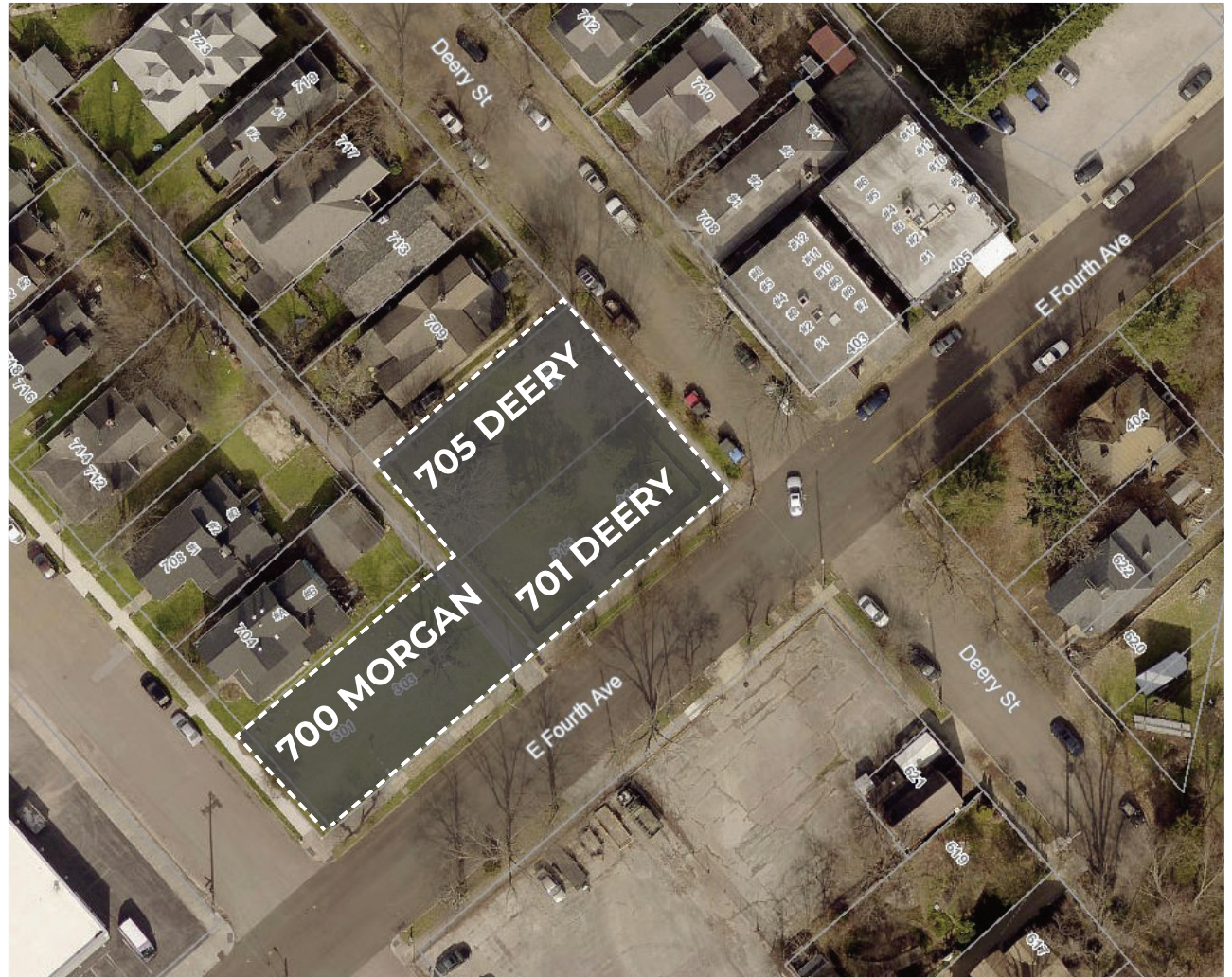
700 MORGAN STREET

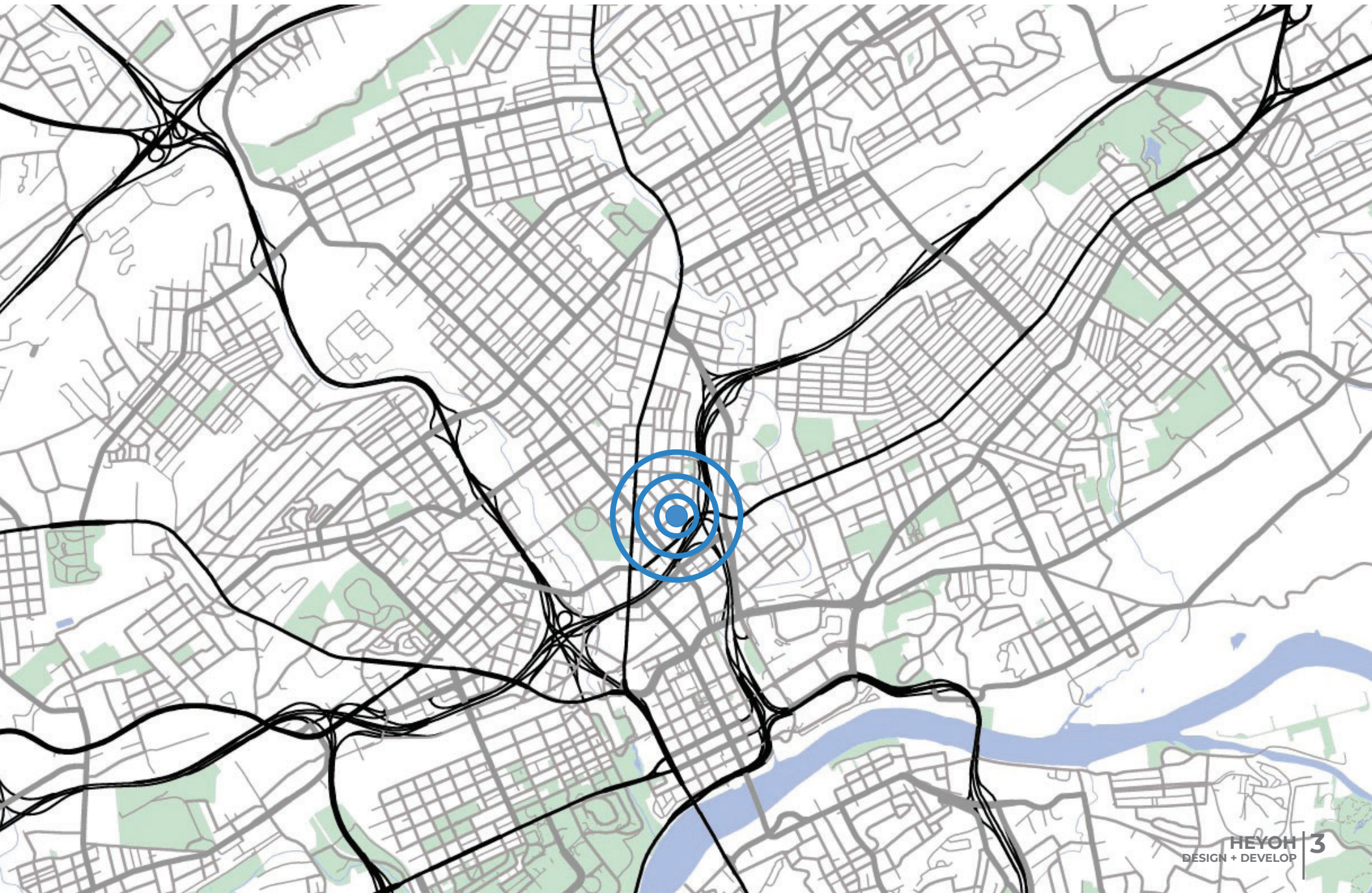
OVERVIEW

Three level III, new construction, single family infill projects adjacent to one another at the peripheral of the historic Fourth and Gill district, along the Fourth Ave corridor.

The Fourth Ave corridor contains only one single family structure, all other structures on this street are commercial or multi-family. The buildings on Fourth, although varying in height, form consistent perspective lines from the street.

Around the properties, there are single family homes, duplexes, a large warehouse, vacant paved lots, and multifamily. The context and patterns for these lots to work with is different than those of many other empty lots in the neighborhood. We will discuss the converging contexts later in the document.





FOURTH AND GILL HISTORIC GUIDELINES

Infill Buildings

There are vacant lots on many of the streets in the Fourth and Gill Historic District. They cause a gap in the streetscape, and should be redeveloped with new buildings that are sympathetic to the historic design of buildings in the neighborhood.

New buildings should be contemporary in spirit. They should not be imitations of buildings of the past; rather they should respond to the present time, the environment, and the use for which they are intended. New buildings constructed in historic areas should, however, be compatible with older structures and sensitive to the patterns already in their environment.

The materials that cover its exterior surface largely determine the appearance of a building. Similar materials develop a certain continuity and character. A building should not be visually incompatible or destroy historic relationships within the neighborhood. At the same time, new construction should not imitate historic style or period of architecture. This is also true for freestanding garages, sheds, and other outbuildings.

• Width of Houses and Lots

Fourth and Gill developed along streetcar tracks, which followed a straight line. This formed the pattern of streets in the neighborhood, and set the pattern for lot sizes. As a result, the lots of Fourth and Gill are usually rectangular, with their narrowest side parallel to the street. The houses are also rectangular, or irregular, with narrow sides facing the street. This development pattern should be respected if new structures are built in the neighborhood. The consistent setbacks of the neighborhood create a visual order, help define public and private space, provide a margin of privacy for residents, and permit landscaping in front of a building.

Recommendations:

1. Maintain the historic facade lines of streetscapes by locating the front walls of new buildings in the same plane as the facades of adjacent buildings. A new building should continue and reinforce the alignment established by its neighbors. Never violate the existing setback pattern by placing new buildings in front of or behind the historic facade line.
2. Avoid placing buildings at odd angles to the street.

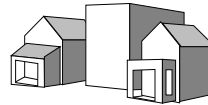
• Scale and Massing

The houses in the Fourth and Gill Historic District have a shape, or bulk, consistent with their time of construction. They appear larger than new buildings, with set back or projecting bays not found on many new buildings. The appearance this lends to the neighborhood is an important design attribute.



CONSIDER...
Maintaining the historic facade line of streetscapes by locating front walls of new buildings in the same plane as the facades of adjacent buildings. If exceptions are made, building should set back into the lot rather than closer to the street. If existing setbacks vary, new buildings should conform to historic siting patterns

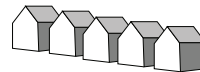
AVOID...
Violating the existing setback pattern by placing new buildings in front of or behind the historic facade line. Avoid placing buildings at odd angles to the street, unless in an area where diverse siting already exists, even if proper setback is maintained.



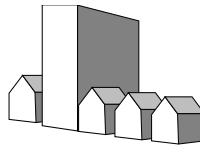
Recommendations:

1. Relate the size and proportions of new structures to the scale of adjacent buildings.

CONSIDER...
Relating the overall height of new construction to that of adjacent structures. As a general rule, construct new buildings to a height roughly equal to the average height of existing buildings from the historic period on and across the street.



AVOID...
New construction that greatly varies in height (too high or too low) from older buildings in the vicinity.



2. Break up uninteresting boxlike forms into smaller, varied masses like those of most buildings from the historic period. Variety of form and massing are essential to the character of the streetscape.

3. New buildings should be designed with a mix of wall areas with door and window elements in the facade like those found on the neighborhood's historic houses. Also consider the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry, or balanced asymmetry should be carefully imitated.

4. Relate the vertical, horizontal, or nondirectional facade character of new buildings to the predominant directional alignment of nearby buildings. A new building should continue and reinforce the alignment established by its neighbors. NOTE: Alignment is basically the arrangement of objects in a straight line. The horizontal alignment of building elements such as porches, roofs, windows, etc., is one of the most effective ways of creating and maintaining a sense of relationship, a sense of connection and unity among the elements of a street.

5. Relate the roof forms of the new buildings to those found in the area. Duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

• Height of Foundations and Stories

Historic houses in the Fourth and Gill Historic District are not built on slab foundations. They are built on raised foundations, usually of masonry. The color and texture of these brick, stone or stuccoed foundations adds richness to the neighborhood. The height of each story is enough to allow for interior ceilings that are more than eight feet tall. If infill housing is constructed, it should suggest the overall height, as well as the foundation and story height, of adjacent historical houses. Inserting horizontal banding that mimics beltcourses of neighboring houses can do this, or other design devices can give the appearance of height for each story.

Recommendations:

1. As a general rule, construct new buildings to equal the average height of existing buildings on the street.
2. Raised foundations, or the appearance of raised foundations, must be designed for any new housing constructed in Fourth and Gill. The height of the foundation should replicate those of adjoining buildings.
3. If building new structures, the eave lines should conform to those of adjacent properties. Divisions between stories should either be omitted, or should mimic neighborhood buildings.

• Materials

The materials with which the buildings are constructed contribute one of the most important visual factors in the neighborhood. The historic buildings use materials that were common when they were built. Those materials do not include concrete block, aluminum or vinyl siding or other synthetic wall coverings (unless they are added later).

Recommendations:

1. The materials used for new buildings should be consistent with existing historic building materials along the street.

• Features

Historic houses have significant features that contribute to their appearance as well as the overall appearance of the district. It is important that those features be interpreted and included in any new housing designed for the neighborhood.

Recommendations:

1. Always design front facades with a strong sense of entry. Strongly emphasized side entries, or entries not defined by a porch or similar transitional element, result in an incompatible flat first-floor facade.
2. Avoid replicating or imitating the styles, motifs, or details of older periods. Such attempts can present a confusing picture of the true character of the historical area.

GUIDELINE SUMMARY

Based on a review of the Historic Guidelines on infill, there are three underlying rules and two main contextual patterns to look for.

Underlying rules:

- **Make new buildings contemporary in spirit.**
- **Do not copy historic styles or imitate buildings of the past**
- **Be architecturally compatible.**

Contextual patterns to look for:

Size:

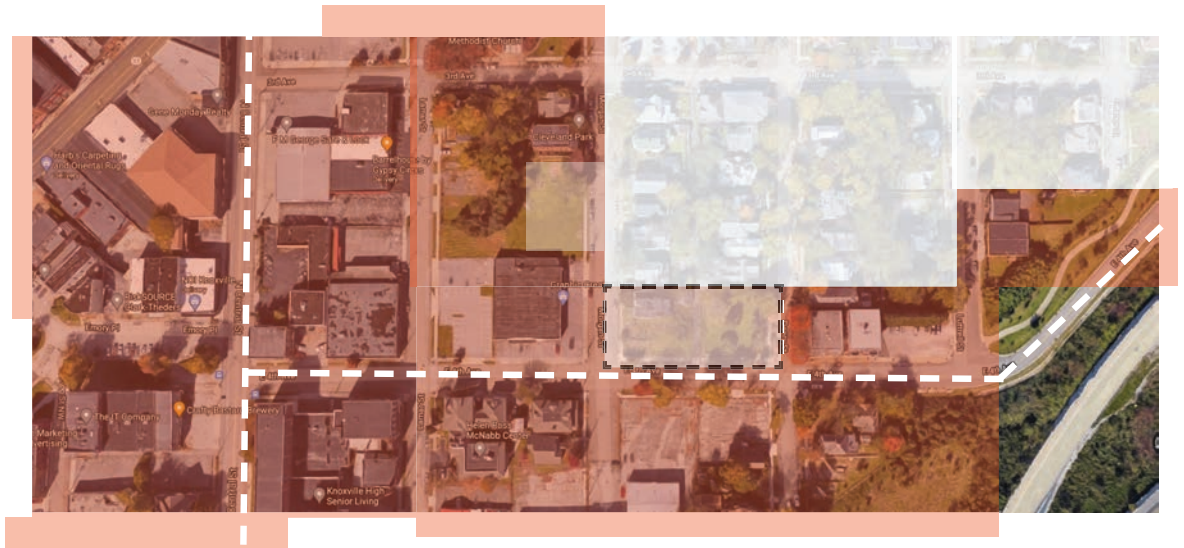
- Match the setbacks of buildings on the street.
- Match scale and proportions of other buildings on the street.
- Match the roof and other horizontal lines of buildings on the street.
- Match height and foundation patterns of other buildings.
- Work with averages

Materials:

- Match material patterns of buildings on the street.
- Ensure a property sense of entry.
- Do not copy historic details.

These lots that rest along the peripheral and serve as a transition point from the high density commercial buildings to the medium density houses and duplexes that define this neighborhood.

Therefore, they must serve two contexts, they must maintain dominant patterns and cannot imitate the past. They must be contemporary in spirit while acting as a gradient between two starkly different contexts.



DEFINING PATTERNS

To look at patterns of the site, let's first look at the streets they are on. As reflected in the map above, they rest on a primary corridor around the peripheral of the neighborhood, right where the commercial and residential collide.

Here we have two contexts to work with and we should pull from both.

Fourth Ave is the more traveled of the streets that these rest on, and it acts as a main access route to much of the neighborhood. With its tall buildings that sit close to the sidewalk, and the topography from the interstate, it becomes a corridor that takes traffic around the neighborhood rather than through it.

This corridor has very strong horizontal and vertical patterns with only one other house on it. The accessory streets, Morgan and Deery, also have strong patterns but are not dominant travel routes.

Corner lots need to respond to the contexts of both streets and when the corner is on a corridor it becomes very important to continue the patterns defined by the corridor so not to isolate the block.

This is exactly what we see on the blocks adjacent to the properties.

Fourth Corridor looking North and South



The patterns of this street are mostly with every building having a strong facade on the street (front or not), and continuing the corridor effect with massing, cornices, and flat or low pitch roofs - here the primary focus is on the walls of the street.

Fourth Corridor Buildings:



Patterns on Morgan St



On Morgan St, we see a strong pattern of scale, both height and width. All of the homes are two stories, some have double front porches but not all, two have corner porches.

Houses on Morgan:



Opposite end of block:



On the opposite end of the block from our sites, the houses on this side face both streets and are some of the largest on the block, forming a bookend effect for the block.

Patterns on Deery St



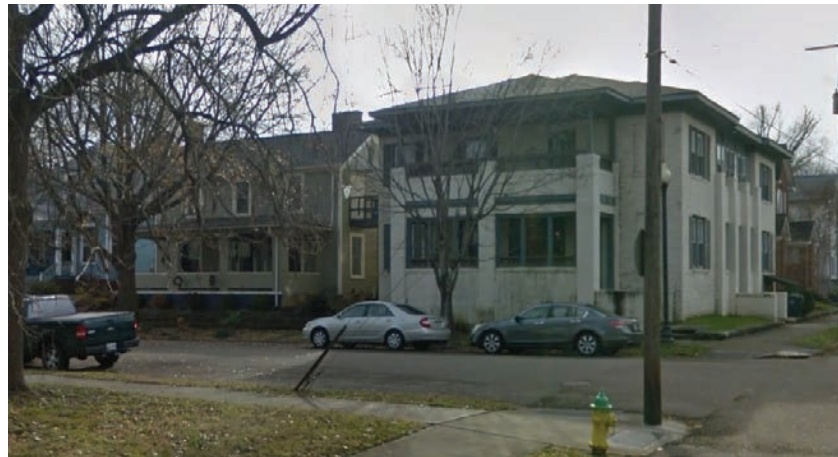
The houses on Deery have similar front setbacks to each other but the scales and proportions vary greatly. The most consistent element of this side of the block is the diversity of the houses.

Across the street from the Deery sites:



Directly in front of the sites on Deery are two buildings that fit into the Fourth Ave context very well while transitioning out of that pattern and into the Deery street pattern.

Northern corner of Deery:



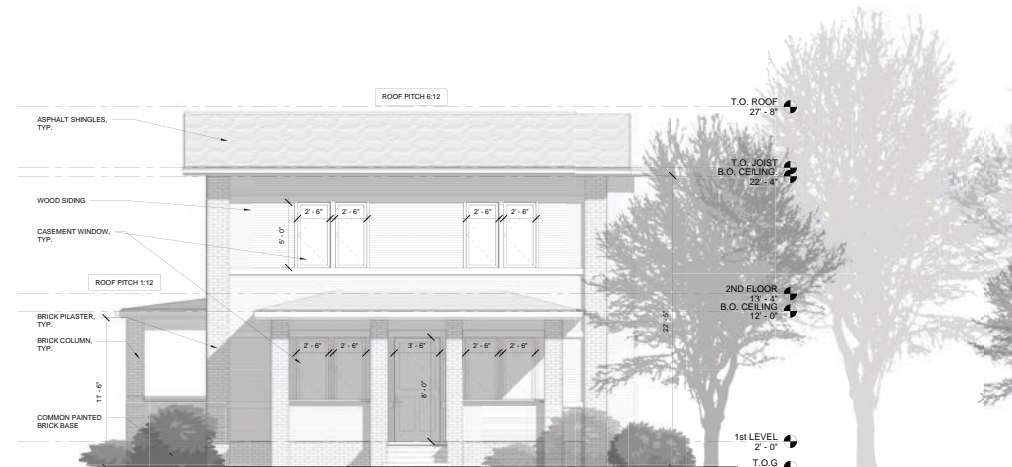
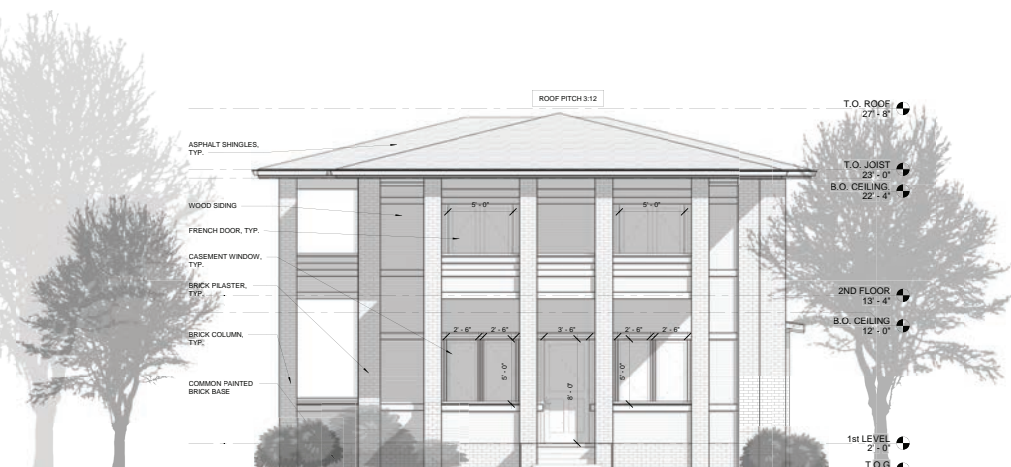
Mentioned previously, the building on the opposite side of the block from our sites is larger than the others on this side of the block and acts like somewhat of a bookend for the block.

Existing Buildings on Deery:





ALL PROPOSED HOUSES



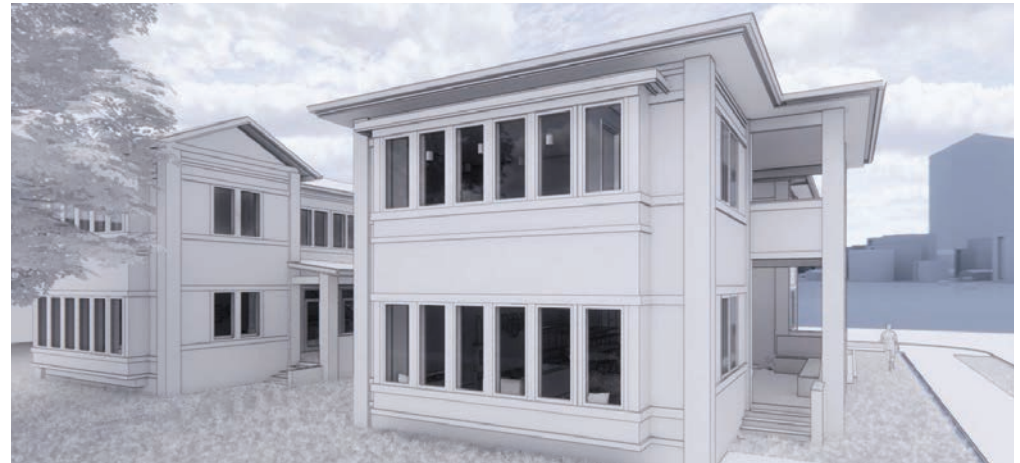
ALL PROPOSED HOUSES



ALL PROPOSED HOUSES



ALL PROPOSED HOUSES





700 MORGAN STREET



WILLIAM AND JESSIE M. ADAMS RESIDENCE [1900]



L.K. HORNER RESIDENCE [1908]

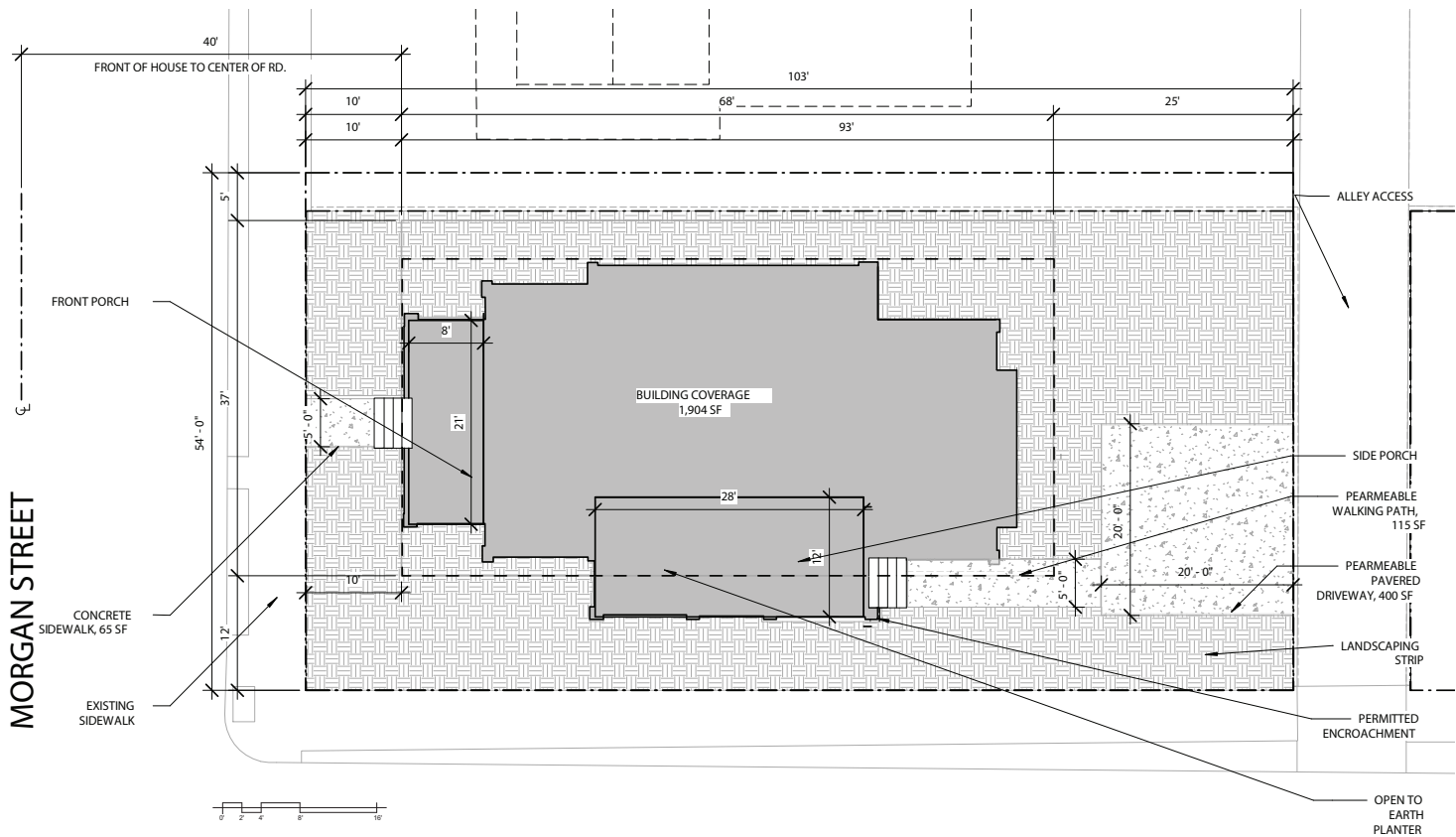


700 MORGAN STREET

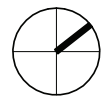
700 MORGAN STREET

APPENDIX B - ZONING CODE, ARTICLE 4.3
Table 4 -1: Residential Districts Dimensional Standards

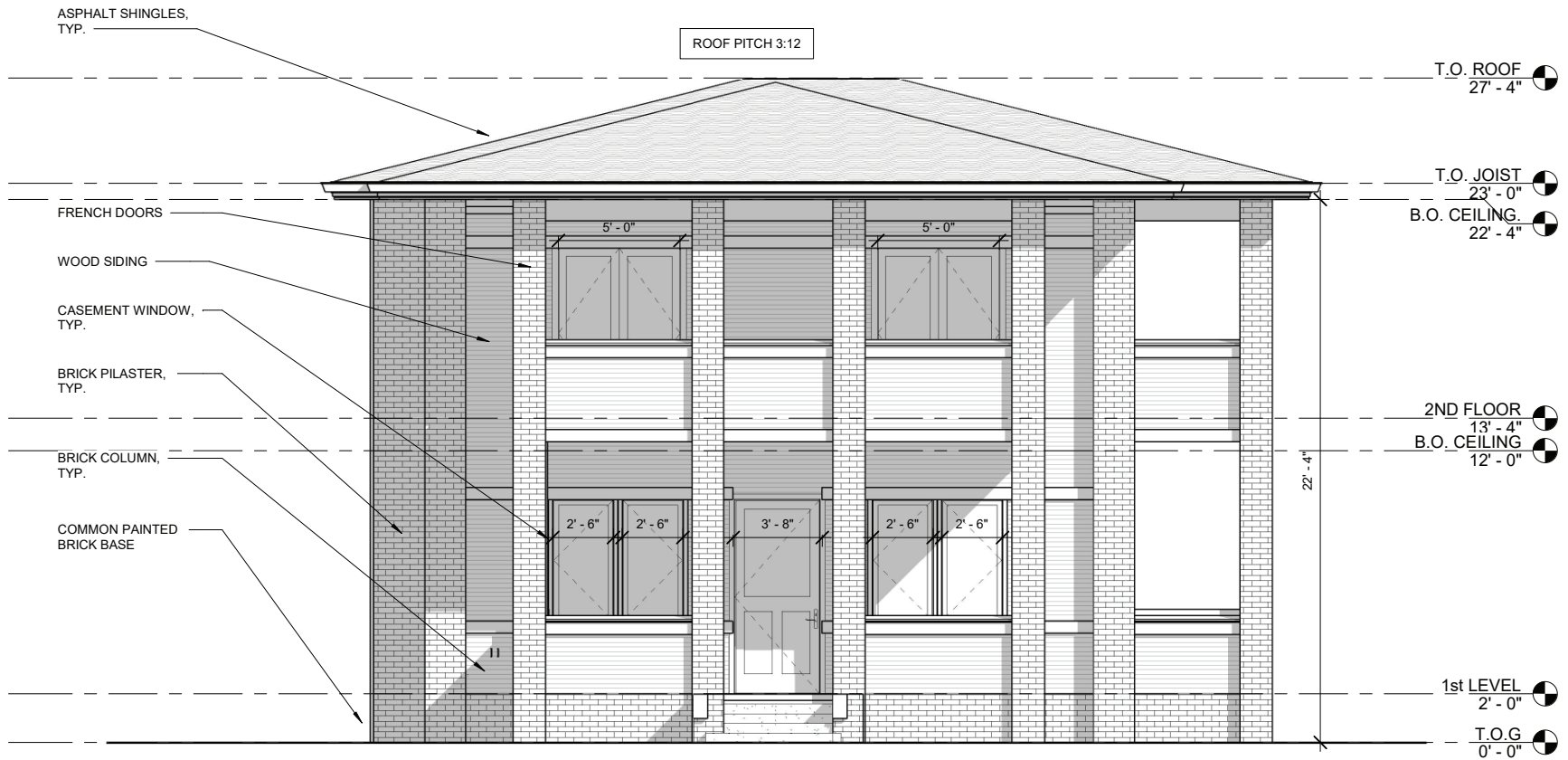
700 MORGAN - ZONED RN -3 (5562 SF)	ALLOWED	PROVIDED
MAXIMUM BUILDING HEIGHT	35'-0"	27'-4"
MAXIMUM BUILDING COVERAGE	35% (1946 SF)	34% (1904 SF)
MAXIMUM IMPERVIOUS SURFACE	45% (2488 SF)	38% (2117 SF)
SETBACKS		
MINIMUM FRONT SETBACK 10' or the average of blockface, whichever is less	10'-0"	10'-0"
MINIMUM CORNER SIDE SETBACK	12'-0"	12'-0"
MINIMUM INTERIOR SIDE SETBACK 5' or 15% of lot width, whichever is less; in no case less than 15' combined	5'-0"	5'-0"
MINIMUM REAR SETBACK	25'-0"	25'-0"



E. 4TH AVE



FRONT ELEVATION



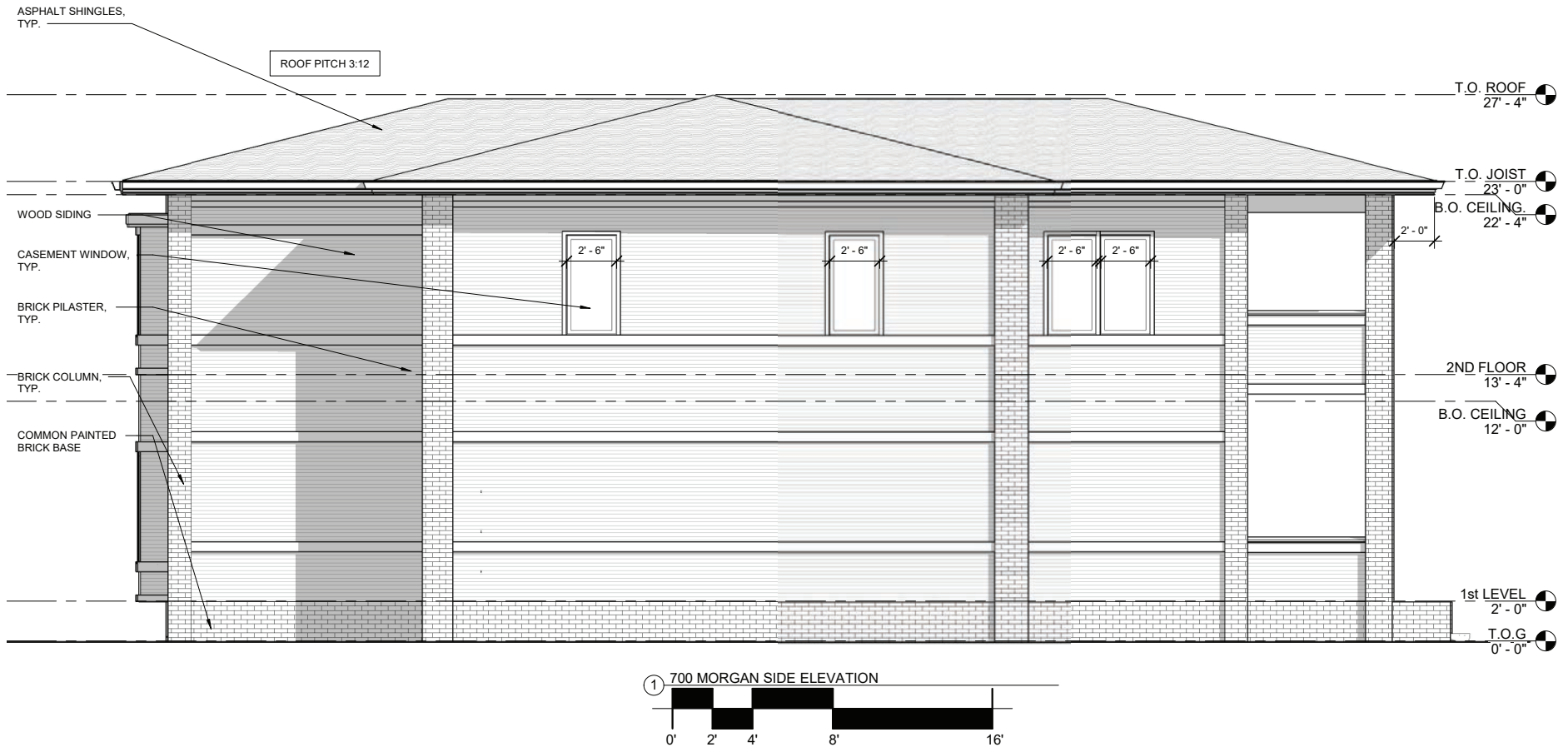
700 MORGAN STREET

SOUTH EAST (FOURTH AVE) ELEVATION



① 700 MORGAN SIDE ELEVATION

NORTH WEST SIDE ELEVATION



700 MORGAN STREET

REAR ELEVATION

