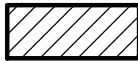






**8-D-21-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

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1361 Armstrong Ave. 37917  
Old North Knoxville H

Original Print Date: 8/9/2021  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Danny Downing

  
  
 0 250  
 Feet

**Meeting:** 8/19/2021  
**Applicant:** Danny Downing  
**Owner:** Danny Downing

---

## Property Information

**Location:** 1361 Armstrong Ave. **Parcel ID** 81 L E 034  
**District:** Old North Knoxville H  
**Zoning:** RN-4 (General Residential Neighborhood)  
**Description:** Neoclassical, c.1925

Two-story frame residence with a hipped roof clad in cement tile, an exterior of brick veneer, and a brick foundation. Façade features a one-story, full-length front porch with paired round fluted wood columns and a turned wood balustrade. Double-hung six-over-six windows. Sidelights at front entry.

---

## Description of Work

Level II Major Repair or Replacement

Proposed replacement of the existing cement tile roof with a new GAF dimensional asphalt shingle roof.  
Replacement of low-slope porch roof (currently asphalt roll) with new TPO rubber roofing material.

---

## Applicable Design Guidelines

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

### A. Roofs

The roofs in Old North Knoxville are now nearly all modern asphalt shingles. There were a variety of original roofing materials, such as standing seam metal or metal shingles, wood or slate shingles, large patterned asphalt or asbestos shingles, or shaped roof tiles of terra cotta or concrete.

The best roof materials to use when roofing are replicas of the original. If that cannot be done, asphalt or fiberglass shingles can be used, but their colors should be carefully selected to reflect the original roofing colors.

4. Materials used in roofing existing buildings or new construction shall duplicate the roofing materials originally found in the neighborhood. Asphalt or fiberglass shingles can be appropriate, as are wood, slate, standing seam metal, or metal shingle or tile roof coverings. The color of roofing materials should be a dark green, charcoal gray, black or dark reddish brown to simulate the original roof colors.

6. Roofs that are visible from streets shall retain their original shapes

---

## Comments

N/A

---

## Staff Findings

1. 1361 Armstrong Avenue is a contributing resource to the Old North Knoxville National Register Historic District and the local overlay.
2. In general, requests for replacement of original slate and cement tile roofs with asphalt or architectural shingles have been approved in Old North Knoxville, recognizing the ~100 year life span of the original roof materials, the difficulty of significant repairs, and the cost-prohibitive nature of replacing in kind. A recent comparable case was at 700 E. Scott (10-H-12-HZ), where the original cement tiles were approved to be replaced with dimensional asphalt shingles to match the existing closely in color.
3. The applicant has provided documentation of the roof's overall deterioration from a home inspector and a roofing contractor. There are photos of ceilings, especially in the second story, showing lasting moisture damage from previous leaks. Inspection report also includes moisture damage at the eaves, damaged sheathing and roof planks, and a plastic swimming pool used to collect leaking water in the attic.
4. The previous owner and family members completed a substantial amount of preventative maintenance to the existing roof, including patching in tiles, repair to sheathing, and replacing rear sections of cement tile with asphalt shingles and rubber roofing material.
5. Replacement with a new cement tile roof would be cost-prohibitive, totaling approximately \$70-75,000 (citing the quote provided by the applicant).
6. ONK Guidelines note that roofing materials shall duplicate roofing materials originally found in the neighborhood, including asphalt shingles, slate, metal shingle, or tile roof coverings; should be a dark green, charcoal gray, black, or dark reddish brown to simulate the original roof colors; and that roofs visible from street shall retain their original shapes. The submitted material does meet these guidelines. The new roof material could use a color that reflects the roof's original color.

---

## Staff Recommendation

Staff recommends approval of Certificate 8-D-21-HZ, with the condition that new dimensional asphalt shingle roofing be a color that closely reflects the original roof color.



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Danny Downing

Applicant		
Date Filed	Meeting Date (if applicable)	File Number(s)
8/2/21	8/19/21	8-D-21-HZ

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Danny Downing

Name	Company		
1361 Armstrong Avenue	Knoxville	TN	37917
Address	City	State	Zip
8654052804	dannyydowning@gmail.com		
Phone	Email		

## CURRENT PROPERTY INFO

Owner Name (if different from applicant)	Owner Address	Owner Phone
	081LE034	
Property Address	Parcel ID	
	RN2/H	
Neighborhood	Zoning	

## AUTHORIZATION

*Lindsay Crockett*  
Staff Signature

Lindsay Crockett  
Please Print

8.2.21  
Date

*D. Downing*  
Applicant Signature

Danny Downing  
Please Print

8/2/21  
Date

DOWNTOWN DESIGN

HISTORIC ZONING

INFILL HOUSING

ATTACHMENTS

# REQUEST

DESIGN REVIEW REQUEST



DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_

HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: \_\_\_\_\_

INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure
  - Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_

STAFF USE ONLY

**ATTACHMENTS**

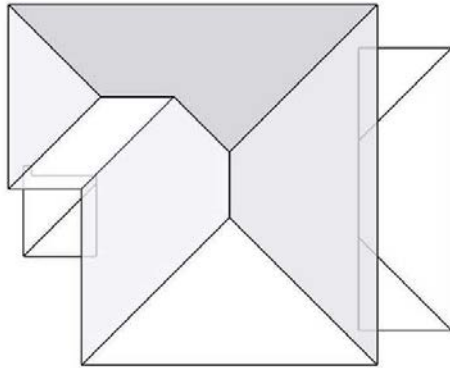
- Downtown Design Checklist
- Historic Zoning Design Checklist
- Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500**

<b>FEE 1:</b>		<b>TOTAL:</b>
<b>FEE 2:</b>		
<b>FEE 3:</b>		



In this 3D model, facets appear as semi-transparent to reveal overhangs.

## PREPARED FOR

Contact:	Kevin Pack
Company:	CORNERSTONE Construction Services Inc.
Address:	234 Morrell Road Knoxville, TN 37919
Phone:	865-769-9920

## TABLE OF CONTENTS

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## MEASUREMENTS

Total Roof Area = 2,338 sq ft  
 Total Roof Facets = 11  
 Predominant Pitch = 6/12  
 Number of Stories > 1  
 Total Ridges/Hips = 182 ft  
 Total Valleys = 17 ft  
 Total Rakes = 1 ft  
 Total Eaves = 248 ft

Measurements provided by [www.eagleview.com](http://www.eagleview.com)



**Certified Accurate**

[www.eagleview.com/Guarantee.aspx](http://www.eagleview.com/Guarantee.aspx)



## IMAGES

The following aerial images show different angles of this structure for your reference.

Top View



# IMAGES

North Side



South Side





# IMAGES

East Side



West Side



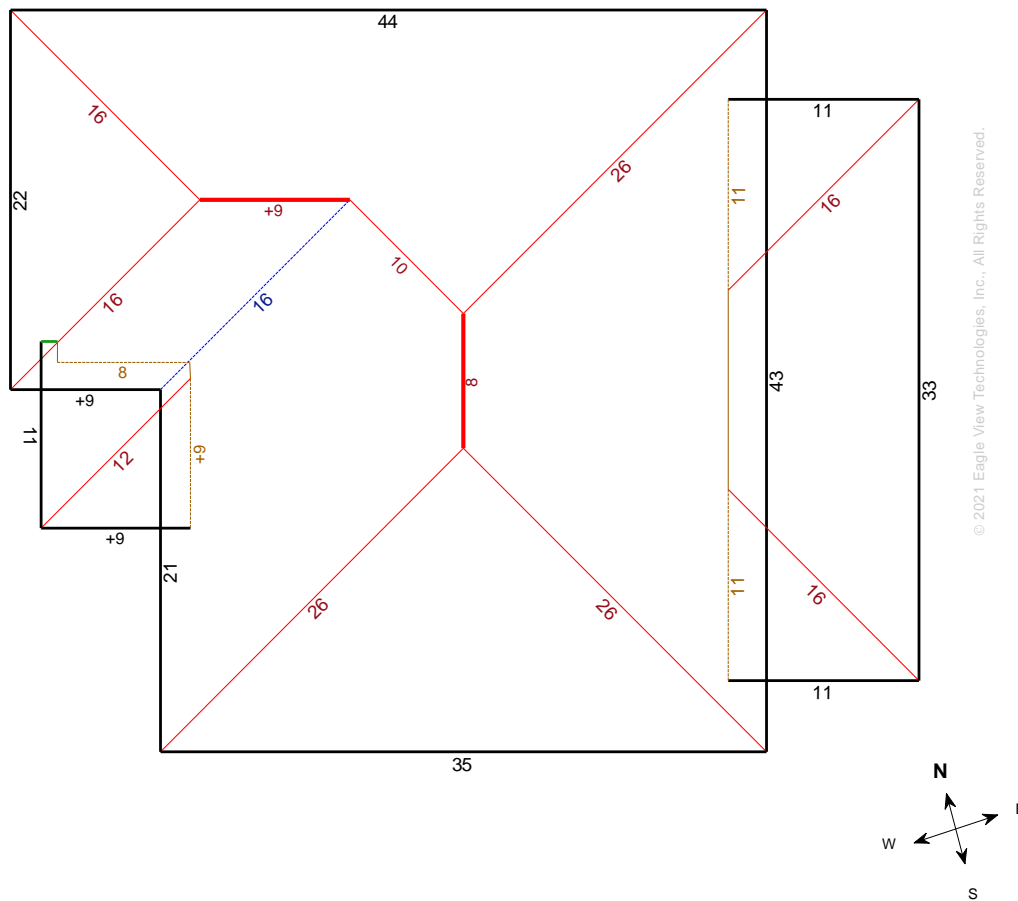
# LENGTH DIAGRAM

Total Line Lengths:

Ridges = 17 ft  
Hips = 165 ft

Valleys = 17 ft  
Rakes = 1 ft  
Eaves = 248 ft

Flashing = 14 ft  
Step flashing = 39 ft  
Parapets = 0 ft



Note: This diagram contains segment lengths (rounded to the nearest whole number) over 5.0 Feet. In some cases, segment labels have been removed for readability. Plus signs preface some numbers to avoid confusion when rotated (e.g. +6 and +9).

## REPORT SUMMARY

### All Structures

#### Areas per Pitch

Roof Pitches	1/12	3/12	6/12
Area (sq ft)	369.4	86.0	1882.0
% of Roof	15.8%	3.7%	80.5%

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

#### Structure Complexity

Simple	Normal	Complex

#### Waste Calculation

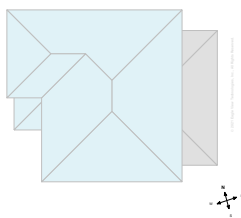
NOTE: This waste calculation table is for asphalt shingle roofing applications. All values in table below only include roof areas of 3/12 pitch or greater. For total measurements of all pitches, please refer to the Lengths, Areas, and Pitches section below.

Waste %	0%	4%	9%	14%	17%	19%	21%	24%	29%
Area (Sq ft)	1968	2047	2146	2244	2303	2342	2382	2441	2539
Squares *	20.00	20.66	21.66	22.66	23.33	23.66	24.00	24.66	25.66
	Measured					Suggested			

\* Squares are rounded up to the 1/3 of a square

Additional materials needed for ridge, hip, and starter lengths are not included in the above table. The provided suggested waste factor is intended to serve as a guide—actual waste percentages may differ based upon several variables that EagleView does not control. These waste factor variables include, but are not limited to, individual installation techniques, crew experiences, asphalt shingle material subtleties, and potential salvage from the site. Individual results may vary from the suggested waste factor that EagleView has provided. The suggested waste is not to replace or substitute for experience or judgment as to any given replacement or repair work.

### All Structures Totals



Total Roof Facets = 11

#### Lengths, Areas and Pitches

Ridges = 17 ft (2 Ridges)  
 Hips = 165 ft (9 Hips).  
 Valleys = 17 ft (1 Valleys)  
 Rakes† = 1 ft (1 Rakes)  
 Eaves/Starter‡ = 248 ft (11 Eaves)  
 Drip Edge (Eaves + Rakes) = 249 ft (12 Lengths)  
 Parapet Walls = 0 (0 Lengths).  
 Flashing = 14 ft (3 Lengths)  
 Step flashing = 39 ft (4 Lengths)  
 Predominant Pitch = 6/12  
 Total Area (All Pitches) = 2,338 sq ft

#### Property Location

Longitude = -83.9224495  
 Latitude = 35.9887994

#### Notes

This was ordered as a residential property. There were no changes to the structure in the past four years.

† Rakes are defined as roof edges that are sloped (not level).

‡ Eaves are defined as roof edges that are not sloped and level.

# Home Inspection Report



1361 Armstrong Ave , Knoxville , TN 37917

---

**Inspection Date:**

Tuesday, March 23, 2021

**Prepared For:**

Danny Downing

**Prepared By:**

Mark Hunter

P.O. Box 5325

Maryville, TN 37802

8652740808

**Report Number:**

032321-2

**Inspector:**

Mark Hunter

**License/Certification #:**

1328

**Inspector Signature:**



---

# Report Summary

## Major Concerns

---

Roof was leaking and nearing the end of its useful life. Several leaks and stained ceilings were observed throughout. Recommend further roofer evaluation and repairs / replacement as needed.

\*\*\*\* Damaged sheathing / planking should be part of roofer evaluation to properly prepare an estimate of repairs.

\*\*\*\* Ceiling stains and damage observed at all 2nd floor rooms. Report will be marked as damaged and stained.

## Potential Safety Hazards

---

No Carbon Monoxide Detectors Present, Recommend Installing Detectors Within 15ft Of All Sleeping Areas.

Smoke detectors recommended at all bedrooms.

Exterior door deadbolts are double keyed, use with caution.

## Deferred Cost Items

---

Roof that is 50+ years old, and nearing the end of its useful life.

20+ years radiator heat in place. Recommend further evaluation by a qualified technician to clean and evaluate system.

Pump / regulators show slight leaks and corrosion.

## Improvement Items

---

**Read the comment sections throughout report for all details.**

Normal cosmetic and maintenance repairs where needed. Cosmetic refers to items such as: paint, stain, trim, workmanship deficiencies, incompleteness, door adjustments, typical shrinkage and settling cracks, nail pops, drywall tape and joint shrinkage cracks, cleanliness, blown lightbulbs, normal wear, tear and scuffing at floor coverings, carpet stains and wear. Typical wood boring bee and woodpecker damage can be addressed by your pest control company. If structural items are affected it will be mentioned in the report. The summary sheet is not the complete report.

No representation is made to the condition of any inaccessible or not readily available areas. Such as: attics, crawl spaces, covered walls, etc. A fee may be associated if a reinspection is required.

**The Above Lists Are Described In The Report. Read The Entire Report And Comment Sections For All Details. Mechanical Units That Work During The Inspection Can Fail Directly After The Inspection. This Report Is A Snapshot Of What I as The Inspector Observe At The time Of The Inspection. A Full Walk Through Inspection Is Recommended Before Closing To Ensure The House Is In The Same Condition As When Inspection Was Performed.**

---



# Roof

**General**

**Visibility**

None  All  Partial

Tile roof at house and garage were evaluated by a 3rd party roofing contractor. Roofs at both structures are nearing the end of their useful life. Recommend budgeting for replacement.

**Photos**



Ceilings at kitchen and gathering room show moisture damage. Recommend further evaluation and repair as.

\*\*\*\* Damage appears to be due to previous leaks from above.

**Heating/Cooling Source**

Yes  No

**Comments**

**Floor**

**Condition**  Satisfactory  Marginal  Poor  Sloping  Squeaks

**Comments**

**Appliances**

**Disposal**  N/A  Not tested Operable:  Yes  No

**Oven**  N/A  Not tested Operable:  Yes  No

**Range**  N/A  Not tested Operable:  Yes  No

**Dishwasher**  N/A  Not tested Operable:  Yes  No

**Trash Compactor**  N/A  Not tested Operable:  Yes  No

**Exhaust fan**  N/A  Not tested Operable:  Yes  No

**Refrigerator**  N/A  Not tested Operable:  Yes  No

**Microwave**  N/A  Not tested Operable:  Yes  No

**Other** : Operable:  Yes  No

**Dishwasher airgap**  Yes  No

**Dishwasher drain line looped**  Yes  No

**Receptacles present**  Yes  No Operable:  Yes  No

**GFCI**  Yes  No Operable:  Yes  No Recommend GFCI Receptacles:  Yes  No

Potential Safety Hazard(s)

**Open ground/Reverse polarity:**  Yes  No  Potential Safety Hazard

**Comments**

Appliances only tested for operation, working or not. Quality or extent of operation not part of testing or inspection.

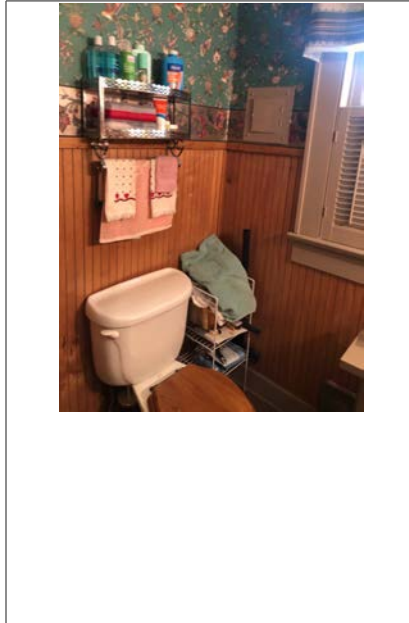
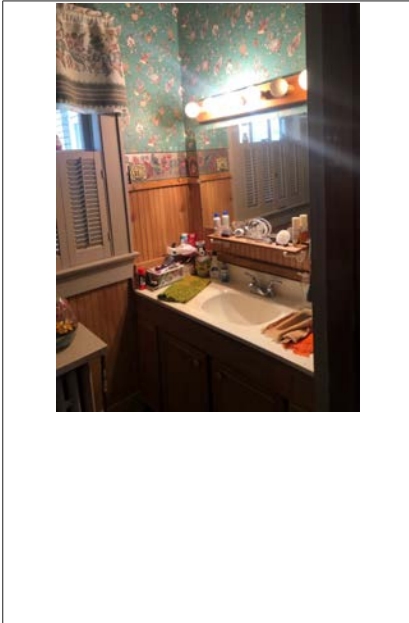
# Bathroom

## Bath

- Location** First floor bath
- Sinks** Faucet leaks:  Yes  No Pipes leak:  Yes  No
- Toilet** Bowl loose:  Yes  No Operable:  Yes  No  Cracked bowl  Toilet leaks
- Drainage**  Satisfactory  Marginal  Poor
- Water flow**  Satisfactory  Marginal  Poor
- Moisture stains present**  Yes  No  Walls  Ceilings  Cabinetry
- Doors**  Satisfactory  Marginal  Poor
- Window**  None  Satisfactory  Marginal  Poor
- Receptacles present**  Yes  No Operable:  Yes  No
- GFCI**  Yes  No Operable:  Yes  No  Recommend GFCI
- Open ground/Reverse polarity**  Yes  No  Potential Safety Hazard
- Heat source present**  Yes  No
- Exhaust fan**  Yes  No Operable:  Yes  No  Noisy

**Comments**

**Photos**



Ceilings at kitchen and gathering room show moisture damage. Recommend further evaluation and repair as.

\*\*\*\* Damage appears to be due to previous leaks from above.

# Room (1)

**Room**

**Location** Second floor

**Type** BEDROOM

**Walls & Ceiling**  Satisfactory  Marginal  Poor  Typical cracks  Damage

**Moisture stains**  Yes  No

Where: Walls and ceiling

**Floor**  Satisfactory  Marginal  Poor  Squeaks  Slopes  Tripping hazard

**Ceiling fan**  None  Satisfactory  Marginal  Poor  Recommend repair/replace

**Electrical** Switches:  Yes  No  Operable Receptacles:  Yes  No  Operable

Open ground/Reverse polarity:  Yes  No  Safety hazard  Cover plates missing

**Heating source present**  Yes  No Holes:  Doors  Walls  Ceilings

**Bedroom Egress restricted**  N/A  Yes  No

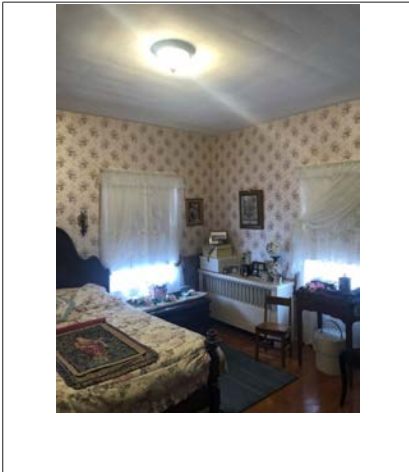
**Doors**  None  Satisfactory  Marginal  Poor  Cracked glass  Broken/Missing hardware

**Windows**  None  Satisfactory  Marginal  Poor  Cracked glass  Evidence of leaking insulated glass

Broken/Missing hardware

**Comments**

**Photos**



Example of staining and moisture damage.

# Room (2)

**Room**

**Location** Second floor

**Type** BEDROOM

**Walls & Ceiling**  Satisfactory  Marginal  Poor  Typical cracks  Damage

**Moisture stains**  Yes  No

Where: Walls and ceiling

**Floor**  Satisfactory  Marginal  Poor  Squeaks  Slopes  Tripping hazard

**Ceiling fan**  None  Satisfactory  Marginal  Poor  Recommend repair/replace

**Electrical** Switches:  Yes  No  Operable Receptacles:  Yes  No  Operable

Open ground/Reverse polarity:  Yes  No  Safety hazard  Cover plates missing

**Heating source present**  Yes  No Holes:  Doors  Walls  Ceilings

**Bedroom Egress restricted**  N/A  Yes  No

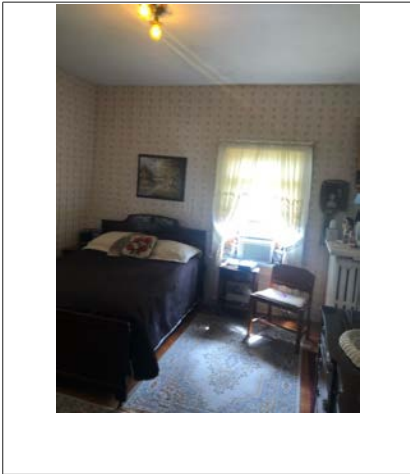
**Doors**  None  Satisfactory  Marginal  Poor  Cracked glass  Broken/Missing hardware

**Windows**  None  Satisfactory  Marginal  Poor  Cracked glass  Evidence of leaking insulated glass

Broken/Missing hardware

**Comments**

**Photos**



Example of staining and moisture damage.



# Room (3)

**Room**

**Location** Second floor

**Type** BEDROOM

**Walls & Ceiling**  Satisfactory  Marginal  Poor  Typical cracks  Damage

**Moisture stains**  Yes  No

Where: Walls and ceiling

**Floor**  Satisfactory  Marginal  Poor  Squeaks  Slopes  Tripping hazard

**Ceiling fan**  None  Satisfactory  Marginal  Poor  Recommend repair/replace

**Electrical** Switches:  Yes  No  Operable Receptacles:  Yes  No  Operable  
Open ground/Reverse polarity:  Yes  No  Safety hazard  Cover plates missing

**Heating source present**  Yes  No Holes:  Doors  Walls  Ceilings

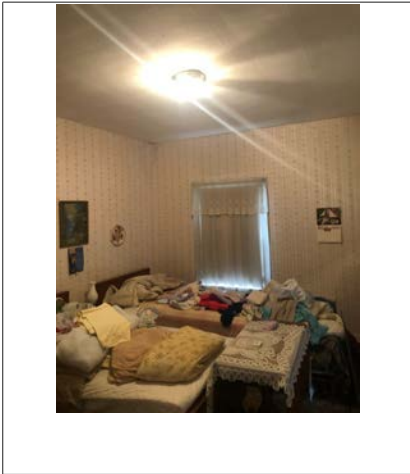
**Bedroom Egress restricted**  N/A  Yes  No

**Doors**  None  Satisfactory  Marginal  Poor  Cracked glass  Broken/Missing hardware

**Windows**  None  Satisfactory  Marginal  Poor  Cracked glass  Evidence of leaking insulated glass  
 Broken/Missing hardware

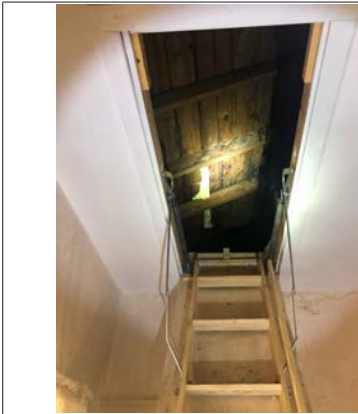
**Comments**

**Photos**



Example of staining and moisture damage.

Photos



Example of energized knob and tube in contact with insulation. Recommend repair as needed.



Example of moisture damage at eaves.



Example pics of sheathing / planking damaged noted in roofing section of report.



Plastic swimming pool appeared to be containment during leaking.



# CORNERSTONE CONSTRUCTION SERVICES

Consulting ✦ Inspections ✦ New Construction ✦ Remodel ✦ Repairs

7-8-21

## Roof Replacement Quote

Danny Downing

1361 Armstrong Ave

Knoxville, TN. 37917





Re-Roof Quote

Address: 1361 Armstrong Ave

- ▶ Cornerstone Roofing will Furnish and Install including all materials, Labor, Taxes and Equipment to perform the following:
  - ▶ Scope of work:
    - ▶ Replace low slope roof on front of house over porch: (420 sf w/waste)
      - ▶ Remove current asphalt roof down to decking.
      - ▶ Replace decking if necessary due to water intrusion and rot. Price per 4x8 sheet of **7/16" OSB installed is \$98. (zero sheets included in this quote)**
      - ▶ Install new tapered polyiso insulation over existing decking to add more slope to the roof.
      - ▶ Install new 60mil TPO roofing system with all flashings and trim as required.
  - ▶ Sloped Shingle Roof: (2000 sf w/waste)
    - ▶ Remove existing ceramic tile roof down to underlying decking & remove all debris from the premises.
    - ▶ Re-sheet the entire roof surface (65 sheets included in quote)
    - ▶ Install new GAF Timberline HDZ Dimensional Shingles: 20 sq(Color: TBD)
    - ▶ Install GAF Pro Start Starter Shingles.
    - ▶ Install GAF Weatherwatch Ice/Water shield in valleys, around penetrations, at roof to wall areas, and around chimneys as needed.
    - ▶ Install GAF Feltbuster Synthetic Underlayment on the entire roof surface not covered with Weatherwatch.
    - ▶ Install GAF Seal A Ridge Hip and Ridge Shingles.
    - ▶ Install Metal Drip Edge along eaves and rakes as needed. (Color: Black, Brown, or White)
    - ▶ Install all new rubber pipe boots and other flashings as needed.
    - ▶ Includes all nails and necessary sealant
    - ▶ Includes a Cornerstone 2 yr. workmanship warranty
    - ▶ Quoted price includes a GAF Golden Pledge Roofing System Warranty

Total Job Price: \$22,358

Accepted by : \_\_\_\_\_

Date : \_\_\_\_\_





# CORNERSTONE CONSTRUCTION SERVICES

Consulting ✦ Inspections ✦ New Construction ✦ Remodel ✦ Repairs

7-27-21

## Roof Replacement Quote

Danny Downing

1361 Armstrong Ave

Knoxville, TN. 37917







Re-Roof Quote

Address: 1361 Armstrong Ave

- ▶ Cornerstone Roofing will Furnish and Install including all materials, Labor, Taxes and Equipment to perform the following:
  - ▶ Scope of work:
    - ▶ Replace low slope roof on front of house over porch: (420 sf + waste)
      - ▶ Remove current asphalt roof down to decking.
      - ▶ Replace decking if necessary due to water intrusion and rot. Price per 4x8 sheet of 7/16" OSB installed is \$98. (zero sheets included in this quote)
      - ▶ Install new tapered polyiso insulation over existing decking to add more slope to the roof.
      - ▶ Install new 60mil TPO roofing system with all flashings and trim as required.
  - ▶ Sloped Cement Tile Roof: (2000 sf + waste)
    - ▶ Remove existing ceramic tile roof down to underlying decking & remove all debris from the premises.
    - ▶ Re-sheet the entire roof surface (65 sheets included in quote)
    - ▶ Install new concrete Tile with all trim pieces
    - ▶ Install Mid States HT Ice & Water shield on entire roof deck
    - ▶ Install all related eave, hip & ridge, sidewall, and valley flashings in matching color
    - ▶ Install pre molded pipe boots
    - ▶ Install all new rubber pipe boots and other flashings as needed.
    - ▶ Includes all fasteners, rivets, tape, and necessary sealant
    - ▶ Includes a Cornerstone 2 yr. workmanship warranty

Total Job Price: \$71,896.11

Accepted by : \_\_\_\_\_

Date : \_\_\_\_\_