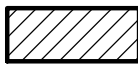




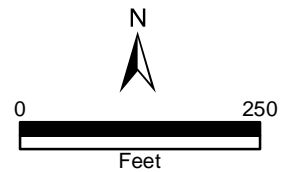
**5-I-20-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



1419 Harvey St. 37917  
 Old North Knoxville H-1

Original Print Date: 5/6/2020  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Juan Mino





# Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 5-I-20-HZ

**PROPERTY LOCATION:** 1419 Harvey St. / Parcel ID 81 L R 015

**DISTRICT:** Old North Knoxville H-1

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**MEETING DATE:** 5/21/2020

**APPLICANT:** Juan Mino

**LEVEL OF WORK:** Level IV. Demolition or relocation of contributing structure

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**PROPERTY DESCRIPTION:** Folk Victorian / Shotgun

The Old North Knoxville overlay report, dating to 1981, describes the house as a "one-story, shotgun, clapboard siding, wood trim, gable roof, front porch with shed roof." The National Register nomination describes the house as a Folk Victorian from 1905: "one-story frame with aluminum siding. Front gable roof with wood louvered attic vent, asphalt shingle covering. Double-hung three-over-one windows. One-story, two-thirds front porch with shed roof, lattice panels between piers, square wood posts, sawn wood brackets and spindled balustrade. Interior central brick chimney. Brick foundation. Modified by side ell from shotgun plan." These characteristics remain today.

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► **DESCRIPTION OF WORK:**

Proposed demolition of a primary residence and associated outbuilding at 1419 Harvey Street. House dates to approximately 1910, and is noted as a "contributing" resource to the Old North Knoxville National Register Historic District. It is not listed among the "non-contributing" resources in the report prepared to accompany the Old North Knoxville Historic overlay in 1981.

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► **APPLICABLE DESIGN GUIDELINES:**

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

The Old North Knoxville design guidelines lack specific guidelines relating to demolition. Guidance for demolition from other overlays is displayed below. These design guidelines are not the adopted guidelines for Old North Knoxville, but can assist in guiding a discussion of the proposed demolition.

Fourth & Gill H Overlay:

Demolition creates a permanent change in the historic district, removing part of the neighborhood's historic and architectural significance. Demolition should only be considered when all other opportunities have been discounted.

1. Demolition of any original feature or part of a historic building should be avoided.
2. Demolition of any building which contributes to the historic or architectural significance of the Fourth & Gill neighborhood should not occur unless public health and safety require the removal of the building or structure.
3. Demolition may be considered if the building does not contribute to the historical or architectural character of the district.



# Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 5-I-20-HZ

Fort Sanders NC Overlay:

1. Physical Condition: The Historic Zoning Commission may allow demolition of a building that has been condemned by the City of Knoxville for structural reasons. Demolition may also be allowed if the Historic Zoning Commission finds that structural problems and the costs to address those problems warrant demolition; the decision shall be based on an assessment by a licensed structural engineer or architect.
2. Architectural Integrity: The Historic Zoning Commission may allow demolition if the original design is so compromised that historic architectural integrity is lost and cannot, in the Commission's view, be reasonably reestablished

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## COMMENTS:

The applicant has provided a substantial amount of photographs showing deterioration on the house's foundation. While a letter from a structural engineer confirming the house's inability to be feasibly salvaged is not a requirement for demolition in Old North Knoxville (per the design guidelines or the Planning Checklist for Supporting Documentation), the applicant has been encouraged to secure such a letter.

## STAFF FINDINGS:

1. The house is a contributing resource to the Old North Knoxville National Register Historic District and local historic overlay. All features noted in the NRHP nomination's architectural description remain today.
2. The front-gable roof, shotgun form of house is a less prevalent style in Old North Knoxville (though visible on Alexander Street, Anderson Avenue, and Harvey Street) but common in neighborhoods which originated for mill workers and other laborers, like Oakwood.
3. The house has suffered from deterioration by neglect. No Certificates of Appropriateness have been issued for any exterior work on the house since the creation of the Old North Knoxville Historic Overlay, other than minor roof repairs in 1993.
4. In early March, staff was notified of exterior work commencing at the property without historic zoning review. City staff visited the property on 3/17 and found the foundation removed, including the porch foundation and flooring. The applicant was informed that they needed to apply for a COA and correct their building permit. After the 3/17 visit from the City, the porch's shed roof was fully removed, and the foundation received further excavation and wood supports. The foundation has been open to the elements to the present day.
5. The nearby concrete block garage was constructed in the early 1990s and does not contribute to the property or neighborhood.
6. The shed-roof section on the southeast elevation was a later addition, not shown on the 1917 Sanborn map, but it retains historic Craftsman-style windows and is most likely a historic addition. The shed-roof addition on the house may be more significantly deteriorated than the original shotgun house, due to the slope of the ground and the addition resting directly on the ground.



# Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 5-I-20-HZ

7. While the applicant has provided photographs showing rot in sections of the floor joists, especially on the shed-roof addition which rests on the grade, there is not sufficient information to prove that the house is structurally deteriorated to warrant demolition. Moreover, while the house does exhibit a modest form and details in comparison to high-style houses in ONK, the house does retain architectural integrity characteristic of a shotgun house. In the opinion of staff, architectural integrity could still be reestablished in the house.

► **STAFF RECOMMENDATION:**

Staff recommends denial without prejudice of the proposed demolition. Sufficient documentation of the unfeasible nature of salvaging the house should be reviewed by the Commission.



## DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

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Applicant

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Date Filed

Meeting Date (if applicable)

File Number(s)

### CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner    Contractor    Engineer    Architect/Landscape Architect

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Name

Company

---

Address

City

State

Zip

---

Phone

Email

### CURRENT PROPERTY INFO

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Owner Name (if different from applicant)

Owner Address

Owner Phone

---

Property Address

Parcel ID

---

Neighborhood

Zoning

### AUTHORIZATION

*Lindsay Crockett*

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Staff Signature

Please Print

Date

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Applicant Signature

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

**FEE 1:**

**FEE 2:**

**FEE 3:**

**TOTAL:**

May 7, 2020

Dear Historic Zoning Commission:

My name is Juan Mino, and I am a long-time resident of Old North Knoxville. Recently, my wife and I purchased 1419 Harvey street with the purpose of renovating it. The sons of the late lady owner had a long history of crime and drug activity on the property, and we considered this acquisition as an opportunity to improve our surroundings, help rehabilitate our neighborhood, clean the place up, and get rid of the nuisance.

We made a costly attempt to start remodeling the house by raising the house in order to rebuild the foundation, and at that time we, sadly, found out that the condition of the structure of the house was significantly worse than expected:

- There was no foundation, only a few crumbling brick piers
- The addition facing south was built into the ground, essentially without any footings; and the floor joists and half of the exterior wall are rotten beyond salvageable
- The rear addition was built on 4x4s piers, that were damaged by the elements and the whole area had dropped down one foot
- The original house is a plank construction, no vertical framing lumber, only planks connecting the floor system to the roof
- To top it all, a major fire was discovered, hidden previously by paneling inside and vinyl siding outside. It damaged many floor joists and some of the bearing walls, compromising the structural integrity of the whole house.

*I am requesting a demolition permit for the dilapidated structure at 1419 Harvey Street.* At the advice of several professionals, including Daniel Schuh, Matt Sterling, and architect Ben Garlington, we have come to the determination that the place is beyond salvaging. I am proposing to build a new structure that will be a contributor to the character of our historic neighborhood, following the ONK Design guidelines.

The property is located on the boundary of the Old North Knoxville, but we believe that due to a number of factors it seized to be of a historic significance to the neighborhood.

- The original footprint of the 1917 Map had a basic rectangular building; and the structure had been changed considerably since then.
- The 2 additions and a storage building are not original; they were built about 25 years ago.
- The concrete block storage building is an eyesore
- The original doors and windows have been replaced
- Vinyl siding replaced the original siding.
- The front setback is not consistent with the original adjacent properties.
- Years of neglect and abuse destroyed the house and its soul.

I contacted the city for some advice; and they told me that they work in concert with the neighborhood association to grant a demolition permit. I contacted the ONK board member Susie Laise Smith, and she was very supportive of my plan to build a house that would enhance our historic neighborhood. I have talked with several neighbors and members of ONK neighborhood board; and they are very supportive and glad to hear of this plan. I encourage you to drive by and witness the condition of the structure and the urgency of the need to resolve this issue, complicated by the Covid-19 pandemic.

I have contributed more than 30 years to bringing our cherished Old North Knoxville to where it is now. I have been involved in the remodeling of several old houses in the historic neighborhoods. I also built a new infill house from the ground up in the Historic Fourth and Gill (803 Gratz st), for which I received a Knoxville 2009 MPC Excellence Award.

Thank you for your help!

Juan Mino  
425 E Scott ave. Knoxville TN 37917  
juanmino333@gmail.com  
865-386-9792

CC: Lindsay Crockett



May 11, 2020

421 East Scott Avenue  
Knoxville, Tennessee 37917

Knoxville / Knox County Historic Zoning Commission  
Suite 403, City / County Building  
400 Main Street  
Knoxville, Tennessee 37902

re: Application 5-I-20-HZ

Commissioners,

I am an architect and resident of the Old North Knoxville Historic District and I am writing to support the application for the proposed level 4 alteration at 1419 Harvey Street.. The subject property abuts the NE corner of my primary residence and the applicant is my direct neighbor to the east on Scott Avenue.

I believe strongly that demolition within historic districts should be a last resort and avoided when feasible. In this case, I believe demolition is warranted. The architecture of the subject property does not significantly contribute to the district – it is not an exemplar of any of the late nineteenth or early twentieth century styles that characterize Old North and does not exhibit the historic integrity found in the prevailing contributing structures within the district. It has been rendered further non-contributing by virtue of non-historic alternations and neglect by previous owners. I have lived in Old North for seven years and this property has been an unfortunate source of blight in an otherwise lovely corner of the neighborhood. To his credit, Mr. Mino recently purchased the property with the intent to repair the structure and improve it so that it would once again contribute positively to the neighborhood. He has demonstrated a good faith effort to try and do so, but has found that the structure is legitimately beyond reasonable repair. He initially found that there were not adequate foundations present and he had the entire structure temporarily raised so that he could construct new foundations. After raising the structure, he discovered both significant rot and fire damage to the wood structure. At this point, it was apparent that constructing new foundations and attempting to repair the extensive damage was approaching the limits of technical and economic feasibility. I have visited the property and confirmed these conditions.

Given its lack of historic integrity and poor condition, I believe the best thing for the neighborhood and the viability of the property is to demolish the structure. If the structure is required to remain, I see no feasible path forward for Mr. Mino or other

potential owners to improve the structure – it is likely that the property will continue to be a blighted area in the neighborhood. Allowing demolition to proceed will allow Mr. Mino or others to develop a new structure in compliance with the Old North Design Guidelines and return this property to a condition in keeping with adjacent properties and the rest of Old North.

Regards,

A handwritten signature in black ink, appearing to read "Brad R.", with a stylized flourish at the end.

Bradford A Raines



1419 Harvey Street, photos taken by staff May 7, 2020



Photo taken by City staff March 17, 2020



Photo provided by applicant, prior to work



Detail shots  
submitted by  
applicant



Detail shots  
submitted by  
applicant

