



Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 3-F-20-HZ

PROPERTY LOCATION: 215 Sixteenth St. / Parcel ID 94 N E 019

DISTRICT: Ft. Sanders NC-1

MEETING DATE: 3/19/2020

APPLICANT: John Holmes

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Queen Anne cottage, c.1910.

One-story frame residence with an exterior of vinyl siding. Hipped roof with lower cross gables, and a sawn wood attic vent and cornice in the front gable. Two-over-two, double-hung windows. One-story, one-half porch with turned wood columns. Interior offset brick chimney, brick foundation.

► **DESCRIPTION OF WORK:**

- Demolition of rear (west) elevation shed-roof stoop.

- Construction of rear (west elevation) addition: addition will measure 12'-7" wide by 7'-3" deep and feature a shed roof, with a 24" by 24" casement window on the rear elevation of the addition. Addition will also require relocation of the rear door and rear elevation window to the gable-roof massing to the right.

- Reconstruction of front porch (east elevation): existing porch will be demolished and be reconstructed with a foundation clad in brick veneer, new 6" by 6" square posts to match existing, and a square picket railing. Wood steps will be removed and reconstructed with handrails to match railing.

- Windows: existing windows will be replaced with one-over-one, double-hung vinyl windows. Attic vents proposed to be replaced with egress windows on façade and side (north, east, and south) gable fields. Egress windows to be 36" x 42". Façade first story will receive additional double-hung window, 36" by 72". Several side windows proposed to be partially or fully enclosed.

► **APPLICABLE DESIGN GUIDELINES:**

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

Roofs

3. Use roofing materials that are in keeping with the historic development styles. Asphalt shingle, tile, pressed metal, and slate were used.

4. Darker shades of shingles were historically used and should be selected in new construction.

Porches



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1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in columns supports.
2. Porches should be no less than 6 feet deep and no more than 10 feet deep.

Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl), shingle (or shingle-like materials), or brick should be used.
5. In making additions to existing buildings, wall cladding should complement the original wall covering. Acceptable materials are clapboard, vinyl siding, cement fiber board, brick and stucco.

Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.
2. Windows should be double-hung sash windows. Vinyl or metal-clad windows may be used in place of wood frame windows.
- 2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.
3. Accent windows are appropriate with new construction.
4. Double-hung sash windows are recommended for two- to three-story new construction.
5. Variations of double-hung windows should be considered in relation to the design of new buildings.
6. The proportions of upper-level windows should not exceed the proportion of the first level.
9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.
10. When parking areas are provided behind buildings, rear entrances are also allowed.

Parking

2. Provide parking access off the alley or off a side street.

Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.
3. Transitional space shall be provided between the addition and the existing structure. ... The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' x 6' indentation.
4. Bays at least two feet in depth shall be provided for 50% of the side façade.
5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.

COMMENTS:

N/A

STAFF FINDINGS:

1. The house is a contributing resource to the Fort Sanders NC Overlay and National Register Historic District.



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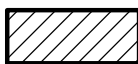
2. The rear shed-roof stoop is not a historic feature of the house and does not contribute to the house's overall integrity. Demolition of the existing shed roof and concrete block foundation for purposes of an addition is appropriate.
3. The rear addition is modest and does not detract from the overall architectural integrity of the house. It is sufficiently offset from the south elevation to differentiate it from the historic house. The proposed rear addition will feature materials that are appropriate within the guidelines. The rear addition should retain a shed roof similar to the existing or the addition constructed at 207 16th, instead of the hipped roof on the renderings.
4. The proposed egress windows meet the minimum size requirement for building code. While applicant has installed egress windows in side gable fields in multiple instances in the Fort Sanders overlay, a full-sized egress window of 36" by 42" is not appropriate for the façade front gable. The renderings provided by applicant are not to scale and the proposed egress window would be too large for the historic proportions of windows.
5. The proposed replacement 1/1 vinyl windows are appropriate under the Fort Sanders NC guidelines. However, partially enclosing the paired windows on the south elevation does not retain window proportions and symmetry that reflects the historic context.
6. Applicant has sufficiently documented deterioration of foundation under the bay window, porch, and shed roof; reconstruction in these locations is appropriate. However, if the scope of reconstruction exceeds that described in the application, applicant will need to submit additional information for review by staff or HZC.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the work proposed, with the following conditions: 1) omit egress window in façade (east) gable field (smaller casement window for natural light, if necessary, could be approved by staff); 2) paired windows on south elevation remain the same size as the original windows; 3) reconstructed front porch retain shed roof and square columns as existing; 4) if foundation must be reconstructed in locations other than front porch, under façade bay window, and rear addition, a revised application for a COA be submitted; 5) final drawings submitted for permitting to match specifics of the proposed construction, including final window placement and size; a shed-roof porch; and a shed-roof rear addition



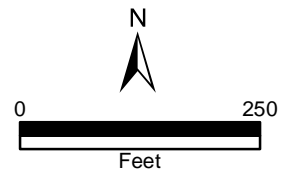
3-F-20-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



215 Sixteenth St. 37916
Ft. Sanders NC-1

Original Print Date: 3/3/2020
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

2/28/20

March 19, 2020

3-F-20-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner Contractor Engineer Architect/Landscape Architect

John Holmes

Name

Company

5914 Gray Gables Dr

TN

37931

Address

City

State

Zip

423-231-4980

jholmes6@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Evian Partners

PO Box 1335

423-231-1266

Owner Name (if different from applicant)

Owner Address

Owner Phone

215 16th St.

094NE019

Property Address

Parcel ID

Fort Sanders

RN5-NC-1

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett
Please Print

3/2/20
Date

John Holmes
Applicant Signature

John Holmes
Please Print

11/25/19
Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
FEE 2:		
FEE 3:		

Level 1:

Tongue and groove flooring for front porch, stained beadboard ceiling
new handrails (Picture of railings style included below)

Replace windows with 1/1 double hung windows (Jeld wen vinyl 2500 series or equal)

Replace attic vent with egress window on the gables, minimum size of 36"x42" high)

Replace vinyl siding with Hardi siding, new sheathing

Replace fascia, soffits, and gutters, fascia and soffits will be Hardi

Repair foundation brick, paint or stucco as necessary.

Replace front and rear door

Replace the roof, remove old shingles (6 layers), new sheathing over existing 1' slat boards, new drip edge, asphalt shingles

Rebuild front steps, including handrails

Remove chimney below roof line

Front Gable window is 36"x42" casement for egress

Side gable windows 36"x42" Casement for egress.



Level 2:

Remove and rebuild front porch and roof with same dimensions. New 6"x6" square posts to match existing. See pictures documenting the poor condition. The brick wall is collapsing inwards and will have to be rebuilt. There are no footers under the brick and will collapse again if not properly rebuilt. Porch ceiling is rotten and will need to be replaced as well. Front porch foundation will be 8" CMU with brick façade.

New foundation under window box, it is currently supported with assorted blocks and bricks.

Remove and rebuild rear porch and enclose, no addition to the existing lot coverage. The existing concrete is deteriorating severely and appears to have no footers underneath the walls. Remove the existing shed roof over the rear porch and rebuild shed roof (like 203 and 207 16th next door) with 4:12 pitch. 30"x30" window on rear bathroom. Matches the sister houses next door at 207 16th and 203 16th.

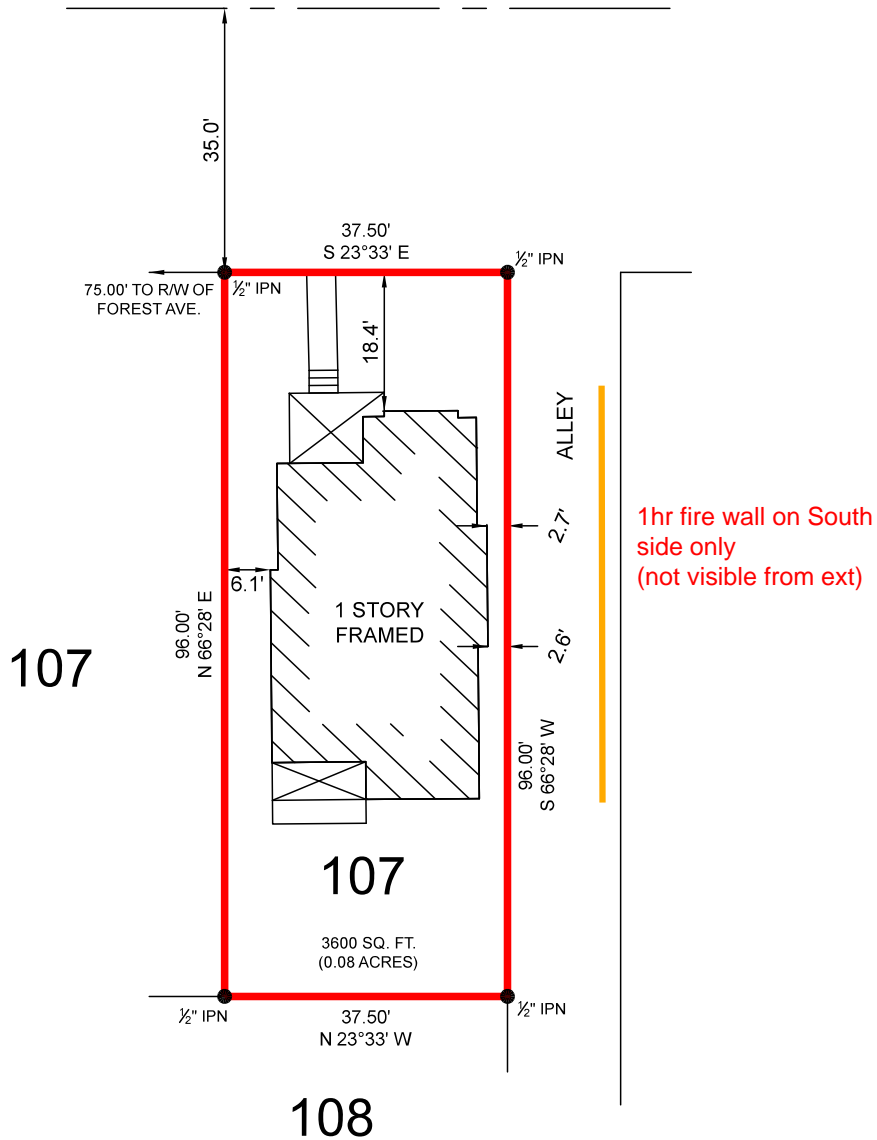
THIS SURVEY WAS PREPARED USING A COMBINATION OF TOTAL STATION
AND R.T.K. G.P.S. DATA COLLECTION.
G.P.S. RECEIVER INFO.: SOKKIA MESA S/N 144387, TOPCON ANTENNA:
PG-S1. TOTAL STATION : TOPCON GPT-8205A
VERTICAL DATUM IS NAVD88, GEOID12



IPN = IRON PIN, NEW
R/W = RIGHT-OF-WAY

SIXTEENTH STREET

(CENTERLINE OF R/W)



CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY

I HEREBY CERTIFY THAT THIS CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:110,000 AS SHOWN HEREON
SURVEYOR: STANLEY E. HINDS, TENN. REG. NO. 967

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE LATEST RECORDED DEED AND OTHER DOCUMENTS FURNISHED BY THE ATTORNEY, THAT THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THAN THOSE SHOWN AND THAT THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SURVEY FOR EVIAN PARTNERS
DIST. 4 WARD 10 CITY OF KNOXVILLE COUNTY KNOX
ADDRESS 215 SIXTEENTH STREET
LOT NO. PART 107 BLOCK _____ UNIT _____
S/D RAMSEY'S ADDITION
INSTR. PC "A 172B SCALE 1" = 20' DATE 8-19 2019
JOB NO. 1908010 ORDERED BY: INDEP.



HINDS SURVEYING CO.

3555 WINDY J FARMS DR. LOUISVILLE, TN 37777
PH. 588-9799 FAX. 233-3393
WWW.HINDSSURVEYING.COM

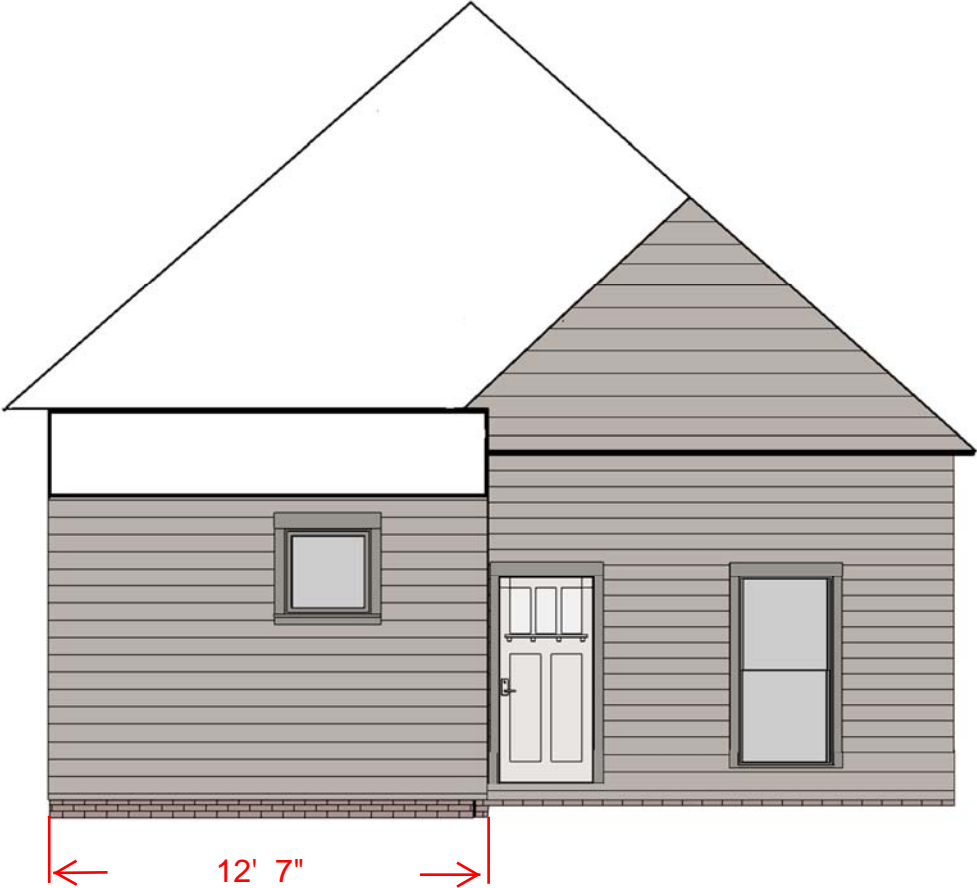
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Elevations:

East



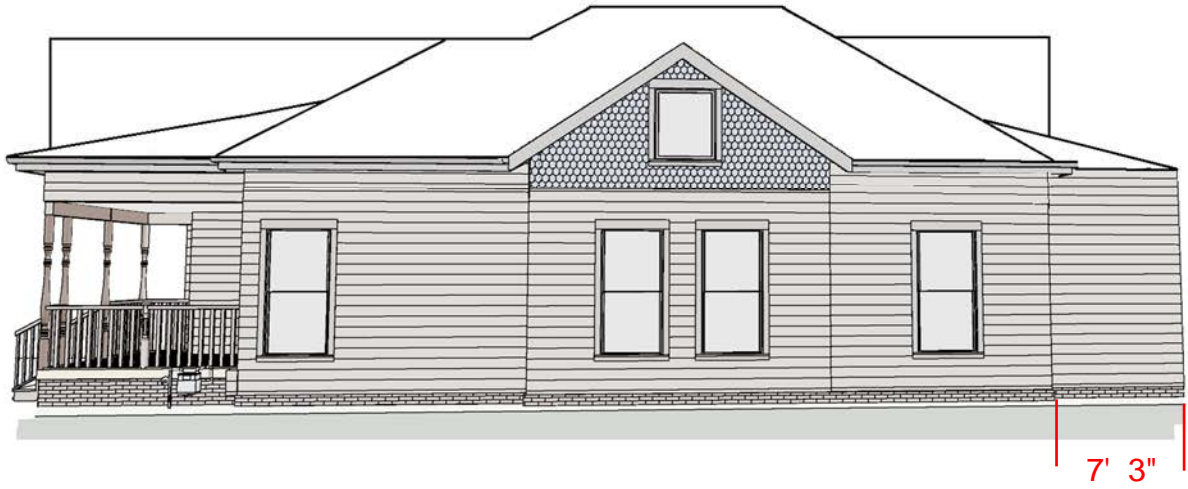
West



South



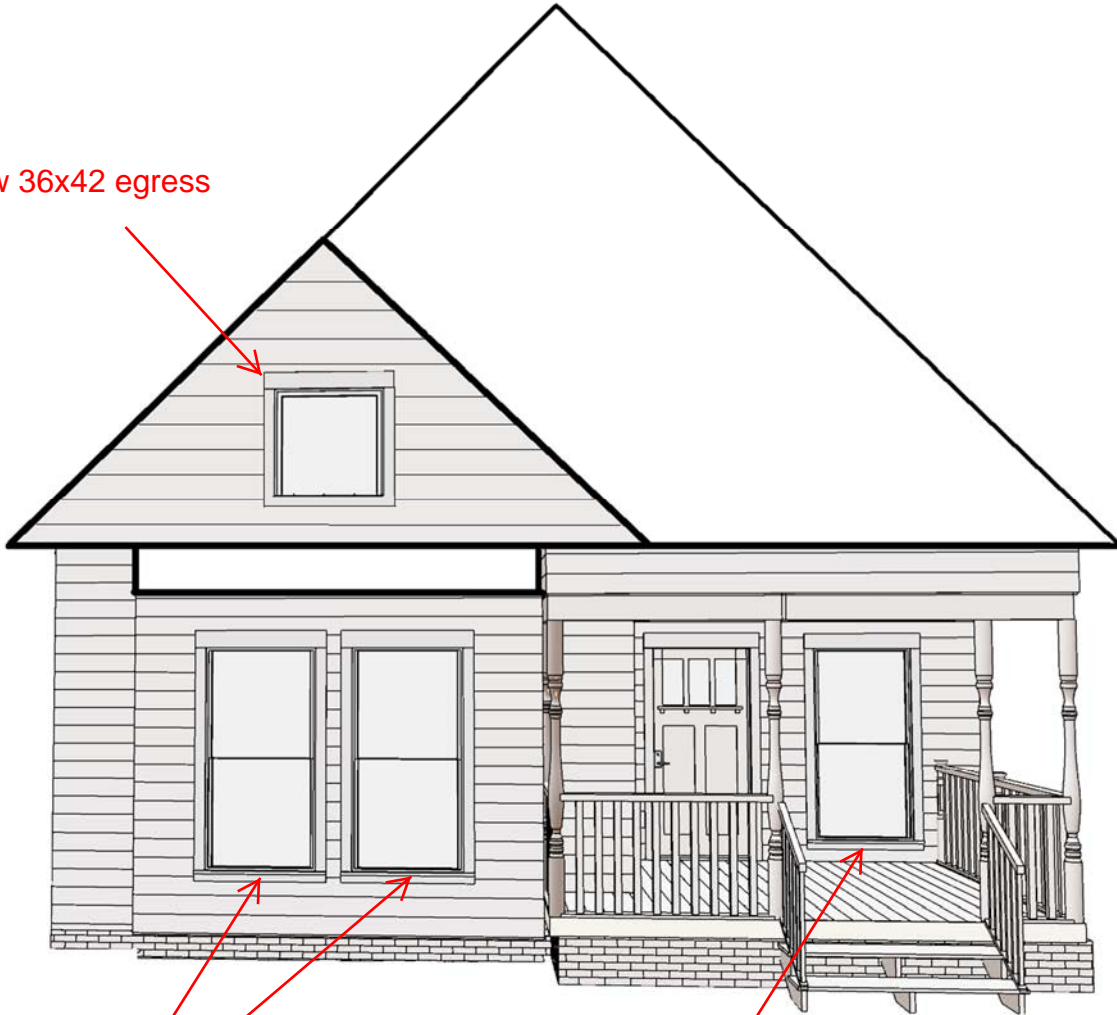
North



Elevations:

East

New 36x42 egress



Existing, No Change
36"x72"

New
36"x72"

West

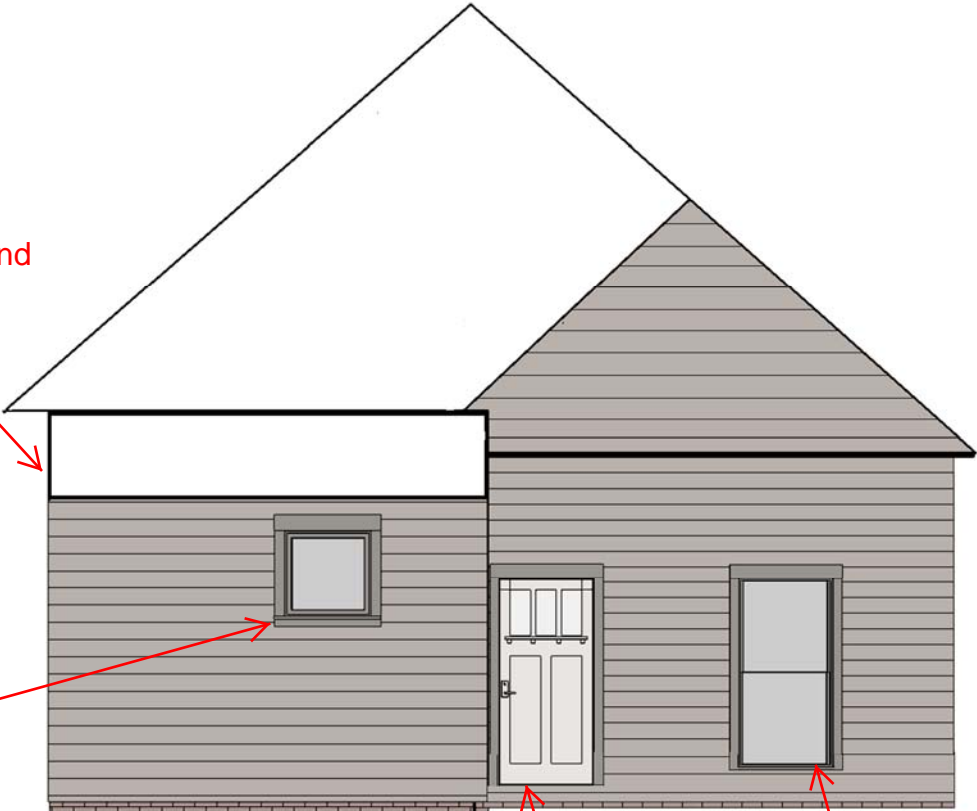
enclose existing porch, like 203 and 207, shed roof

New 24"x24" Casement

12' 7"

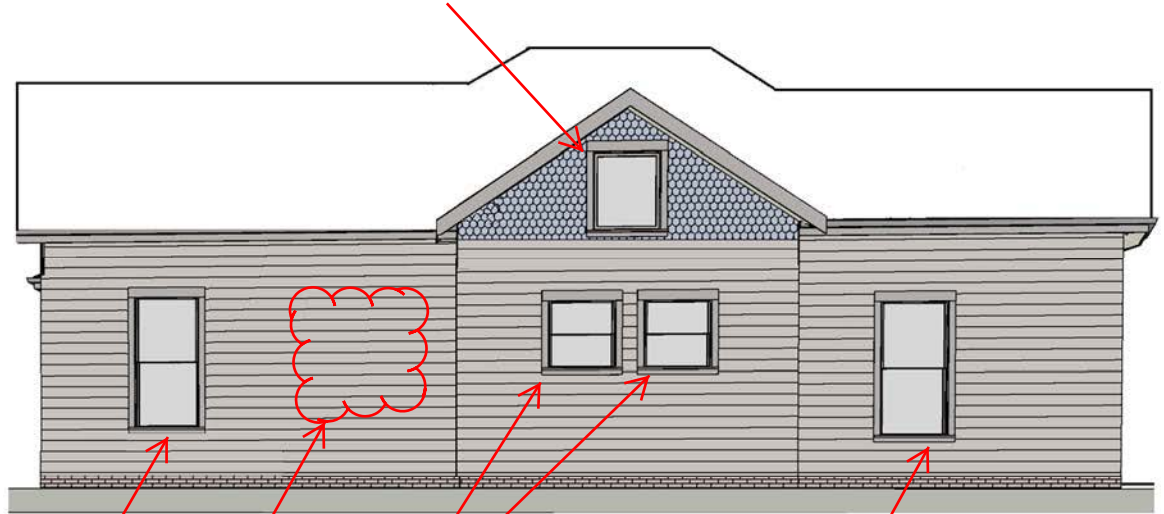
Existing, No Change 36"x72"

Shift rear door over to align with hallway like 203 and 207 16th.



South

New 36x42 egress



Enclose to 36"x36"
instead of 36"x72"

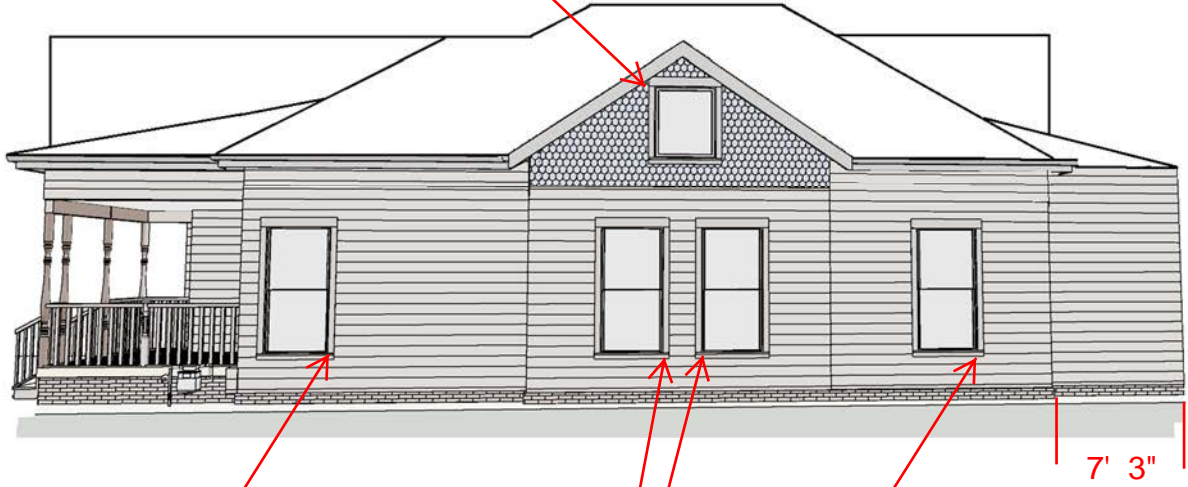
Remove 30x36 window

Existing, No Change
36"x72"

Existing, No Change
36"x72"

North

New 36"x42" egress window



Shift 18" to front so its not in the staircase.
Size to remain same.
36"x72"

Change existing 28"x42" to 36"x72". Existing casement will not meet egress code.

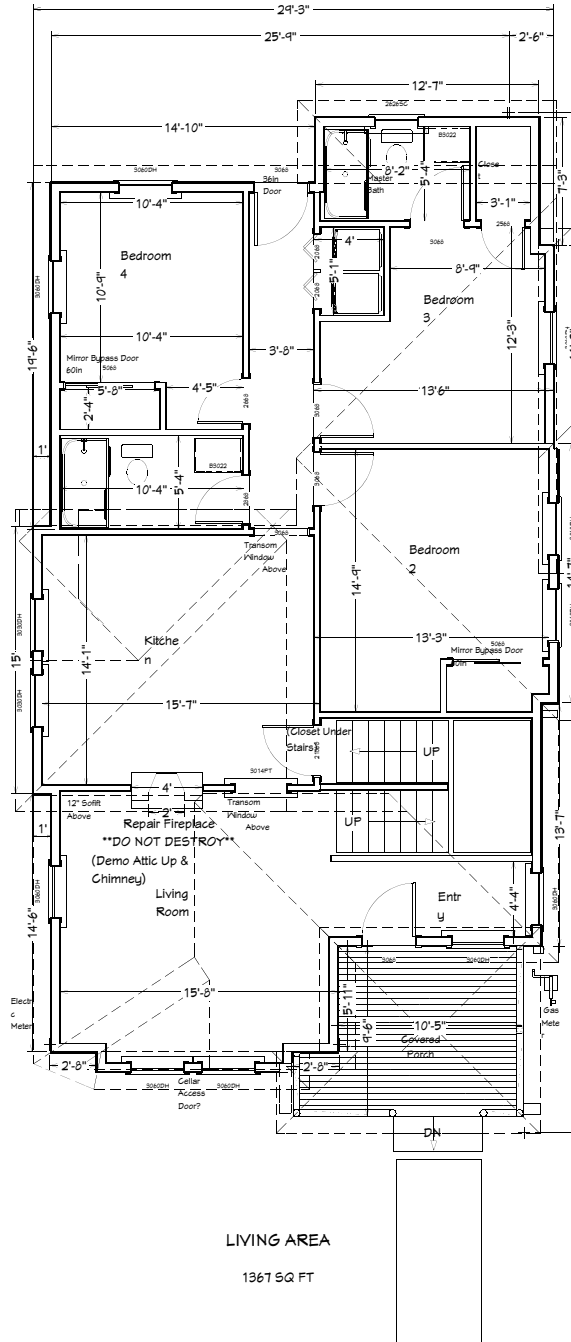
Existing, No Change
36"x72"

PRELIMINARY - NOT APPROVED!

(Small Rear Yard Facing Nest)

215 16th St - Cottage 4BR 3BA (EVIP) 16ST215

MAIN LEVEL



LIVING AREA

1367 SQ FT

(Front Yard Facing East to 16th Street)

MAIN LEVEL NOTES:

Insulation: (Fiberglass Batts)

Walls - R20
(Entire house wall sheathing will be replaced)
Ceilings - R49 flats (R-30 Attic sloped areas)
Floors - R19
Crawlspace walls - R-10 XPS interior
1/2" OSB sheathing per R316.5.4

Heat/Cooling:

14 Seer Split
50,000 BTU Gas furnace
R-8 Duct insulation
Duct test required

Water Heater:

Electric 50gallon electric

Windows:

36" w x 12" H
U-Factor - .29
SHGC - .28
No windows required to be tempered
IRC302.1(1) - No windows <3' from property line

Exterior Walls:

7/16 OSB Sheathing
2x2 added to exterior walls so that
R20 insulation may be properly installed
Vapor Barrier
Hardi Siding

Framing:

Exterior walls existing 2x4 rough cut @ 16" O.C.
2x2 added to existing exterior walls for insulation depth
New Exterior walls 2x6 @ 16" O.C.
New interior walls 2x4 @ 16" O.C.
Floor sheathing 3/4" OSB
Headers are 2x12 (2) (longest span 60")
Existing ceiling joists are rough cut 2x4"
Ceiling joists replaced with 2x12 #2 prime @ 16" O.C.
Floor joists replaced with 2x12 #2 prime @ 16" O.C.

Roof:

No changes, original framing @ 24" O.C. to remain
new 2x10 collar ties and purlins to reinforce existing roof
2x10 sister on all original roof joists
Knee walls @ 4"
New 1/2" sheathing and shingles
New roof over addition is stick built 2x10 @ 16" O.C.

All doors have min 36" min landing
Rear of property is a 6'x20' paver patio
Front entry is on the porch

Fire wall:

None required

Front Porch:

rebuild front porch and roof
Stucco Front
replace tongue and groove flooring
Replace joists with 2x8 PT as needed.

Radon:

3" PVC tee under vapor barrier installed through roof exten min of 1' above roof line

Door Landings:

Front door and rear door shall have min 36"x36" clear landing
Plans show 15'x9.5' for front door
Rear door opens to paver patio 6'x20'



Façade view, photographer facing west



Northeast oblique



Southwest oblique, photographer facing northeast



Southeast oblique

East



East



North



South



West



Front Porch brick caving in (North side)



Front foundation collapsing (East)
Supported by piecemeal brick and block



Front porch corner collapsing

