

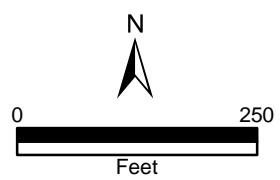


6-H-20-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

 428 E. Scott Ave. 37917
 Old North Knoxville H-1

Original Print Date: 6/3/2020
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Logan Higgins Aplos Home





Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 6-H-20-HZ

PROPERTY LOCATION: 428 E. Scott Ave. / Parcel ID 81 L Q 01501

DISTRICT: Old North Knoxville H-1

MEETING DATE: 6/18/2020

APPLICANT: Logan Higgins Aplos Home (Architect)

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Commercial Vernacular (c.1915)

One story brick with central entry with transom, flanked by paired one over one windows with brick bulkhead, flat roof with front parapet wall, rectangular plan.

► **DESCRIPTION OF WORK:**

Exterior rehabilitation for adaptive re-use of c.1927 commercial building, with a rear concrete block warehouse addition dating to the late 1960s. Scope of work involves: enlarging existing windows on side elevations, restoration of historic storefront, adding new windows and secondary entrances on secondary elevations, and repair to existing siding material.

Façade (north elevation): to receive two storefront systems (featuring divided-light transoms, single-pane storefront windows, and bulkheads) flanking paired single-light doors topped by a transom. Existing masonry piers surrounding main door to remain. A flat metal awning will extend the length of the storefront. Scope of work also includes decorative planters.

Right (west) side elevation: removal of non-historic clerestory windows on second-story of c.1927 structure, to be replaced with double-hung sash windows for egress; installation of three storefront systems on the first story of c.1960s section, featuring glazed doors topped by tall single-light transom windows; and installation of double-hung sash windows in place of existing windows; deteriorating gunite cladding to be removed and exterior covered in stucco.

Left (east) elevation: removal of non-historic clerestory windows on c.1927 structure, double-hung sash windows to be installed on two stories of original section; installation of three storefront systems on the first story of c.1960s section, featuring glazed doors topped by tall single-light transom windows; two bays of second story to receive single-light glazed doors with transoms and balconies; deteriorating gunite cladding to be removed and exterior covered in stucco.

Rear (south) elevation: removal of metal staircase and non-historic rear door; installation of single-light glazed door with transom and balcony; installation of three paired double-hung sash windows on second story.



Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 6-H-20-HZ

Some side elevation windows are noted as subject to change due to proximity to the property line.

▶ APPLICABLE DESIGN GUIDELINES:

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

C. Windows

5. It can be appropriate to design and install additional windows on the rear or another secondary elevation. The design must be compatible with the overall design of the building.

D. Entrances

3. It may be appropriate to design or construct a new entrance if the historic one is completely missing. Any restoration shall be based on historical, pictorial, or physical documentation, if available. It shall be compatible with the historic character of the building or with adjacent buildings.

4. A replacement entrance shall not create a false historic appearance. A new entrance or porch must be compatible in size, scale, and material.

5. Entrances must not be removed when rehabilitating a building; adaptation to new uses must include the original entrance.

Secretary of the Interiors Standards

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the buildings and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed



Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 6-H-20-HZ

in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

COMMENTS:

N/A

STAFF FINDINGS:

1. 428 E. Scott contributes to the ONK local historic overlay. The structure is unique to the district as a commercial building, used as a store, office building, and manufacturing structure. The original building was constructed in 1927, and a concrete block warehouse structure was added to the rear in the 1960s. The façade was rehabilitated again in the 1990s to remove the 1970s mansard roof.
2. Rehabilitation of the storefront draws from a 1930s photograph and the façade of a comparable structure built in Fort Sanders in 1926. The applicant proposes to install two storefront systems flanking a full-light double door. Storefront systems will feature bulkheads and four-light transom windows. The storefront window system exhibit proportions and a design appropriate for an early twentieth-century commercial building. Design of the façade restoration is appropriate.
3. The applicant has presented options of both metal and wood storefront systems for the façade, requesting that staff be granted the final approval of material. The neighborhood has expressed a preference for wood storefront systems. In staff's opinion, wood, metal, or aluminum-clad wood would be appropriate, as long as the muntin profiles, trim, and window sizes reflect what's shown in the application.
4. The flat metal awning is simple in design and comparable in size, design, and materials to awnings approved on historic commercial buildings in Knoxville. The awning is appropriate for the size of the façade, extending evenly across the storefront systems and doors. The design is not overly elaborate, does not create a false sense of history, and could be removed without detriment to the historic façade.
5. The c.1960s warehouse section is minimally visible from the public right-of-way; the west elevation is mostly obscured by the residence at 424 E. Scott, with the top right corner as the only visible section from E. Scott. The east elevation is not visible from Scott Ave. and minimally visible from Harvey Street. The rear elevation is not visible.
6. The proposed one-over-one, double-hung sash windows on the west elevation are appropriate for the c.1927 section. The windows will be minimally visible from E. Scott Ave. On the warehouse section, enlarging the metal industrial windows to be one-over-one, double-hung sash for egress is appropriate, and will visually tie the rear portion to the historic structure. The neighborhood has expressed a preference for wood windows.
7. One-over-one, double-hung sash windows are also proposed for the c.1927 section, east elevation. Applicant notes that these windows may not be ultimately permissible due to building code restrictions and this elevation may need to be re-designed.



Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 6-H-20-HZ

8. On the first floor of the warehouse section, both east and west elevations, the applicant has proposed full-light storefront systems with two adjoining levels of windows. While the windows are taller in proportion than the double-hung windows or the façade storefront systems, the rear section is a more modern structure, constructed for industrial purposes. The taller storefront systems do not detract from the overall integrity of the building, do not duplicate window patterns from an earlier period, and serve to differentiate the two sections.

9. Rear elevation work, including the addition of double-hung sash windows, removal of metal staircase, and removal of door, is appropriate.

10. On the c.1960s section, removal of the deteriorated gunite material and covering the concrete masonry units with stucco is appropriate.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the work as proposed, with the following conditions:

- 1) Specifics on balcony material and design be submitted to staff for final approval;
- 2) Pending further review alongside building codes, design of east elevation be submitted for review by staff; staff retains right to recommend east elevation design return to the Commission in the event of major changes in window placement and size;
- 3) Material specifications on façade storefront systems, double-hung windows, and side elevation storefront systems be submitted to staff for approval.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Logan Higgins

Applicant

6/1/20

6/18/2020

6-H-20-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Logan Higgins

Aplos

Name

Company

133c South Gay St

Knoxville

TN

37902

Address

City

State

Zip

423.502.4210

LoganAHiggins@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Lintz Lofts LLC

428 E Scott Ave

n/a

Owner Name (if different from applicant)

Owner Address

Owner Phone

428 E Scott Ave

081LQ01501

Property Address

Parcel ID

Old North

RN-5

Neighborhood

Zoning

AUTHORIZATION



Lindsay Crockett

6/1/2020

Staff Signature

Please Print

Date



Logan Higgins

6/1/20

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Adaptive re-use rehabilitation. Enlarging existing windows on sides, restoring historic storefront, new awning in front, adding new windows and secondary entrances to secondary elevations, repairing existing siding material.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:

LINTZ LOFTS

Historic Zoning Commission Application



428 EAST SCOTT AVENUE

History

Built in 1927, this building has spent nearly 100 years being out of place in the heart of Historic Old North Knoxville. Over the past century, it has been a store, an office building, a manufacturing building, and office again. In that time it was foreclosed on multiple times and has even been published as an example of why cities need zoning, to prevent out of place construction.



1930's photo



Identical structure built 1926 in Fort Sanders neighborhood

At some point in the 1960s, the building was more than doubled in size by a concrete warehouse attached to the back, the historic facade was also removed to be replaced by a mansard roof and connected to a house next to it to form a large manufacturing and office facility. In the late 1990s, it was purchased by a local architect and restored to be closer to the original structure, but remained offices.



1970's facade



1990's renovation

In 2018, the building was purchased by a group of neighbors and named Lintz Lofts, after the original owner. At the time of purchase, the building's 10,000 sf of available office space was 23% occupied and was purchased with the intent of undergoing an adaptive re-use to make it fit in better with the neighborhood by converting it to residential.



Proposed Project



This is an adaptive re-use of a building in the Old North Neighborhood. It is the only Commercial Building in the overlay and a recipient of the City of Knoxville's Historic Preservation Fund from 2019. The plan is to transform a building that is completely out of place in this neighborhood into a thriving contributing element of the neighborhood.

In 2018 when a group of neighbors bought the building, they had it rezoned to higher density residential (RN-5) to allow it to become residential. Now that it is time for that conversion, certain changes must be made to the building envelope to comply with building codes, restore historic elements, and create good living space.

The Old North Knoxville Historic District Design Guidelines states that:

"Designation of Old North Knoxville as a local historic district has reinforced past activities in the neighborhood, helping to create a strong, viable residential section that contributes to Knoxville's progress while symbolizing its history."

This is exactly what we inspire to do by converting this building into residential lofts: create a vibrant living community that adds to the neighborhood, while also preserving the history and promoting Knoxville's progress.

This document will demonstrate that:

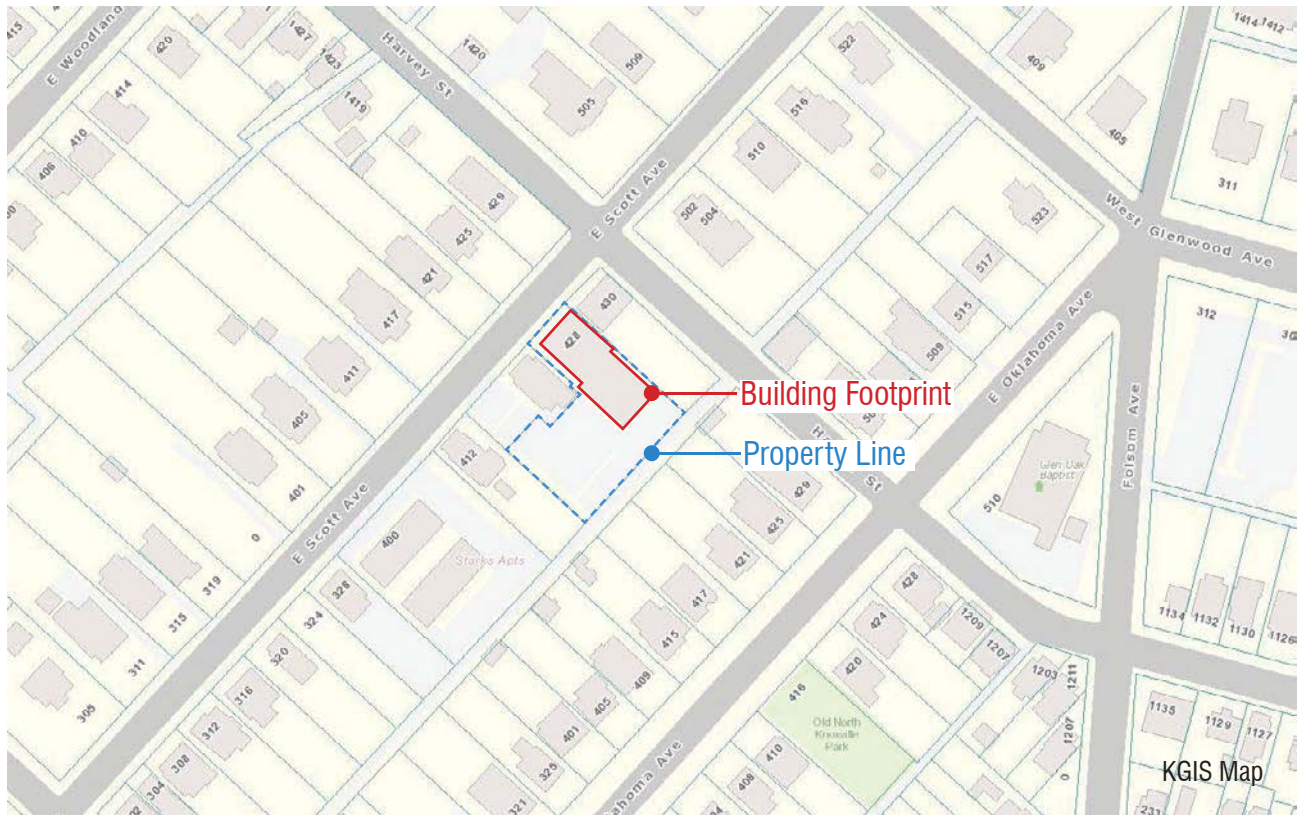
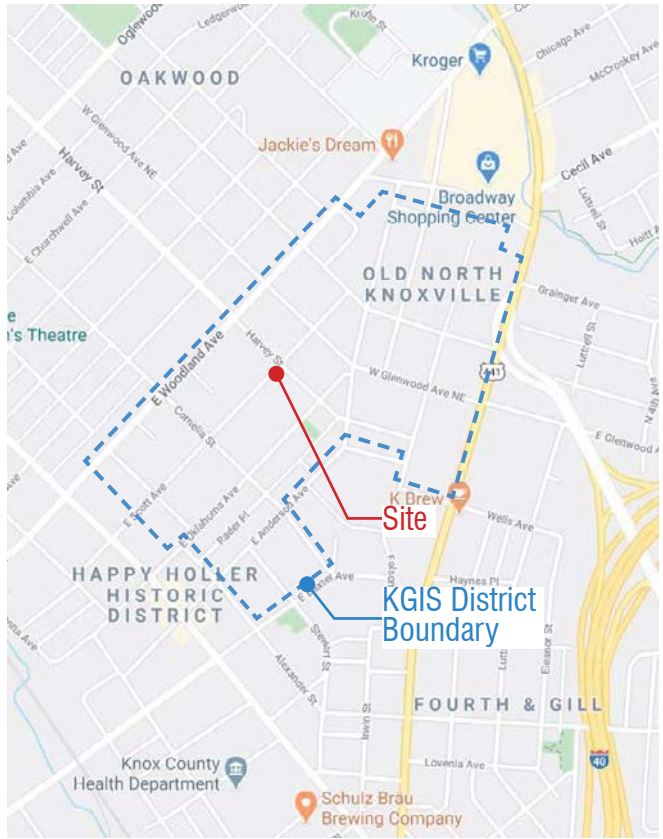
1. The new renovation of the exterior is in keeping with the building's history and surrounding neighborhood(s).
2. Any changes to the exterior are necessary for the benefit of future residences and will not only enhance the historic significance of the building.
3. Any changes made to the exterior of the building are in accordance with The Secretary of the Interior's Guidelines for the Treatment of Historic Properties.



Site Context

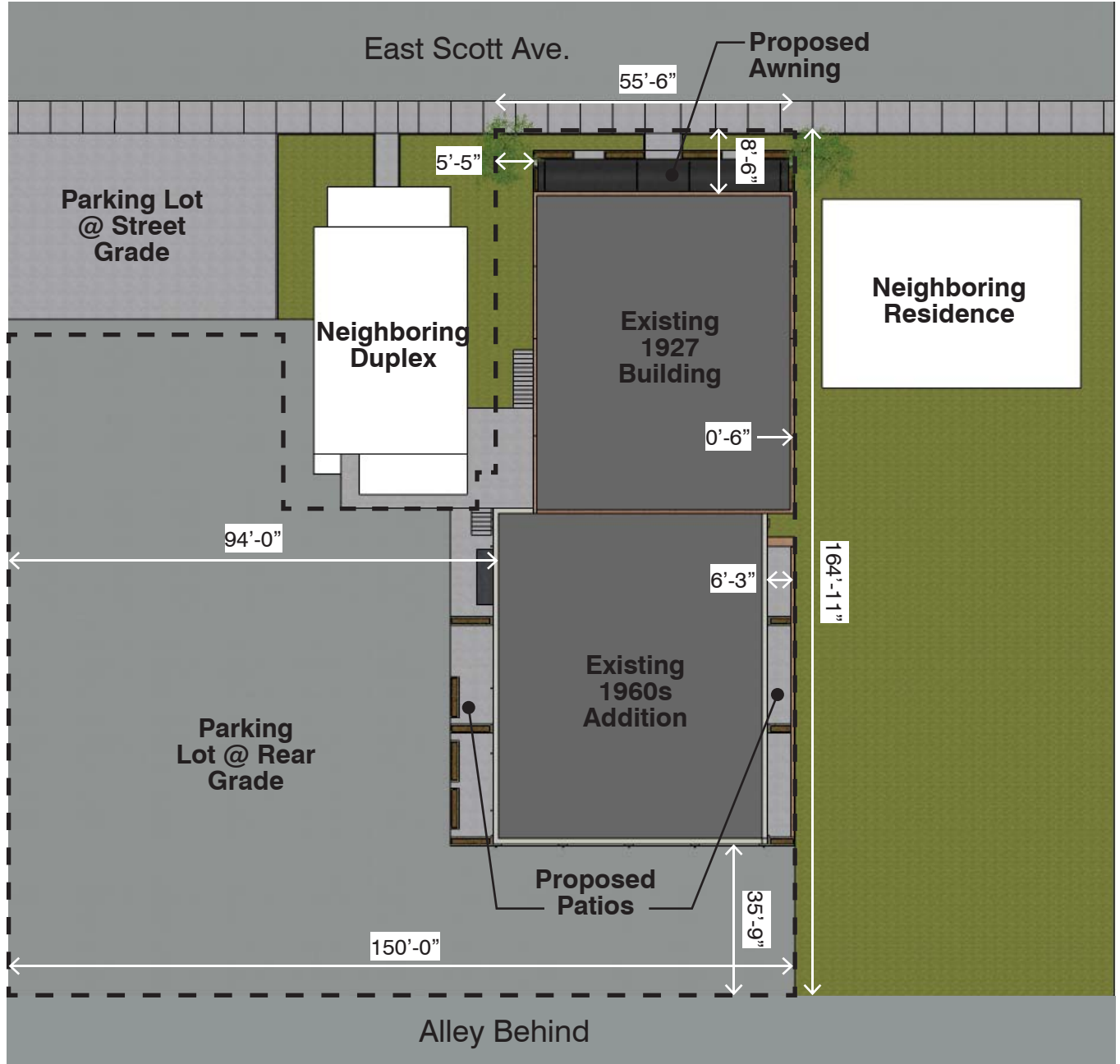
The building sits within the Old North Knoxville Historic District boundary provided by KGIS. However, because this building is a historic commercial building, it does not necessarily align with the Old North Knoxville Historic District Design Guidelines, which are mainly residential. Therefore, this project shall also refer to The Secretary of the Interior's Standards for the Treatment of Historic Properties.

The building is the only historic commercial building that sits inside the District boundary. Old North is bordered by two commercial thoroughfares on North Broadway and North Central Street. Several of the buildings on these streets can serve as great examples of exterior renovations for this project (see further in document).

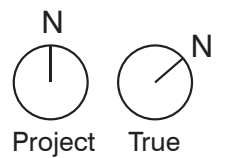


Site Plan

The building is flanked on either side by residences, one duplex, and one single family. The parking lot at the rear of the property will serve the Lintz Lofts residences and can be accessed by the alley behind. The only additions to the site will be an awning covering the entry and patios at the East Scott Ave. elevation and uncovered patios on both the east and west sides of the back of the building.



Harvey St.



Proposed Changes and Compatibility Guidelines

The changes proposed include:

1. Modifying front facade to make it more historically accurate to the building’s original design. This will include:

- a) Restoring the storefront look as closely as possible to the original. For spatial and economic reasons, we cannot match them identically, but this change will follow the original as closely as possible.
- b) Adding a historically compatible awning that will allow the storefront openings to become like front porches, blending the commercial building into the neighborhood better.

2. Modifying existing windows and adding windows and doors on the sides and rear of the building to comply with code and give entrances and better access to the outdoors. This includes:

- a) Replacing the rotting clerestory windows that were made smaller than original in the later part of the century.
- b) Adding new windows and openings to the rear portion of the building where there are currently few openings. This makes the building livable.
- c) Adding secondary entrances on the rear portion, a floor and a half below the street level.

*We request that Commission give staff authority to permit changes in sizes of fenestration shown. Limitations may arise due to structural or building code restrictions. Furthermore, some exact heights need to be discovered through demolition. What’s shown is ideal, any changes would be minor

3. Covering existing sprayed-on gunite material on rear portion of the building. This sprayed-on, non-historic material is failing and has allowed for water damage and insect damage.

- a) We intend to remove damaged portions and repair the underlying concrete, then cover entire material with a synthetic stucco to keep the appearance of the concrete structure.

Due to this being the only commercial building in the Historic Overlay, the Old North Guidelines don’t have anything to say about the handling of commercial buildings. So we looked to The Secretary of the Interior’s Standards for the Treatment of Historic Properties.

For both of those changes, the guidelines recommend the following:

1a. Replacing or adding entrances/porches:

RECOMMENDED	NOT RECOMMENDED
Designing the Replacement for Missing Historic Features	
Designing and installing a new entrance or porch when the historic feature is completely missing or has previously been replaced by one that is incompatible. It may be an accurate restoration based on documentary and physical evidence, but only when the historic entrance or porch to be replaced coexisted with the features currently on the building. Or, it may be a new design that is compatible with the size, scale, material, and color of the historic building.	Creating an inaccurate appearance because the replacement for the missing entrance or porch is based upon insufficient physical or historic documentation, is not a compatible design, or because the feature to be replaced did not coexist with the features currently on the building.

1a. Replacing or adding storefronts:



Designing the Replacement for Missing Historic Features	
Designing and installing a new storefront when the historic storefront is completely missing or has previously been replaced by one that is incompatible. It may be an accurate restoration based on documentary and physical evidence, but only when the historic storefront to be replaced coexisted with the features currently on the building. Or, it may be a new design that is compatible with the size, scale, material, and color of the historic building.	<p>Creating an inaccurate appearance because the replacement for the missing storefront is based upon insufficient physical or historic documentation, is not a compatible design, or because the feature to be replaced did not coexist with the features currently on the building.</p> <p>Using new, over-scaled, or internally-lit signs unless there is a historic precedent for them or using other types of signs that obscure, damage, or destroy character-defining features of the storefront and the building.</p>

1b. Replacing or adding awnings:

RECOMMENDED	NOT RECOMMENDED
Replacing missing awnings or canopies that can be historically documented to the building, or adding new signage, awnings, or canopies that are compatible with the historic character of the building.	Adding vinyl awnings, or other awnings that are inappropriately sized or shaped, which are incompatible with the historic character of the building; awnings that do not extend over the entire length of the storefront; or large canopies supported by posts that project out over the sidewalk, unless their existence can be historically documented.

1b. Improving compatibility with the Neighborhood.

Old North is a front porch community, by replacing the storefronts and awning in a way that allows the front of the building to feel like a front porch, it will improve the relationship between commercial and residential buildings while seamlessly blending it all together.

RECOMMENDED	NOT RECOMMENDED
Retaining the historic relationship between buildings and landscape features in the setting. For example, preserving the relationship between a town common or urban plaza and the adjacent houses, municipal buildings, roads, and landscape and streetscape features.	<p>Altering the relationship between the buildings and landscape features in the setting by widening existing streets, changing landscape materials, or locating new streets or parking areas where they may negatively impact the historic character of the setting.</p> <p>Removing or relocating buildings or landscape features, thereby destroying the historic relationship between buildings and the landscape in the setting.</p>

2a and b. New windows on secondary elevations:

RECOMMENDED	NOT RECOMMENDED
Alterations and Additions for a New Use Adding new window openings on rear or other secondary, less-visible elevations, if required by a new use. The new openings and the windows in them should be compatible with the overall design of the building but, in most cases, not duplicate the historic fenestration.	<p>Changing the number, location, size, or glazing pattern of windows on primary or highly-visible elevations which will alter the historic character of the building.</p> <p>Cutting new openings on character-defining elevations or cutting new openings that damage or destroy significant features.</p> <p>Adding balconies at existing window openings or new window openings on primary or other highly-visible elevations where balconies never existed and, therefore, would be incompatible with the historic character of the building.</p>

2c. Adding secondary entrances and porches:

Designing and constructing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the building (i.e., ensuring that the new entrance or porch is clearly subordinate to historic primary entrances or porches).	Constructing secondary or service entrances and porches that are incompatible in size and scale or detailing with the historic building or that obscure, damage, or destroy character-defining features.
---	--

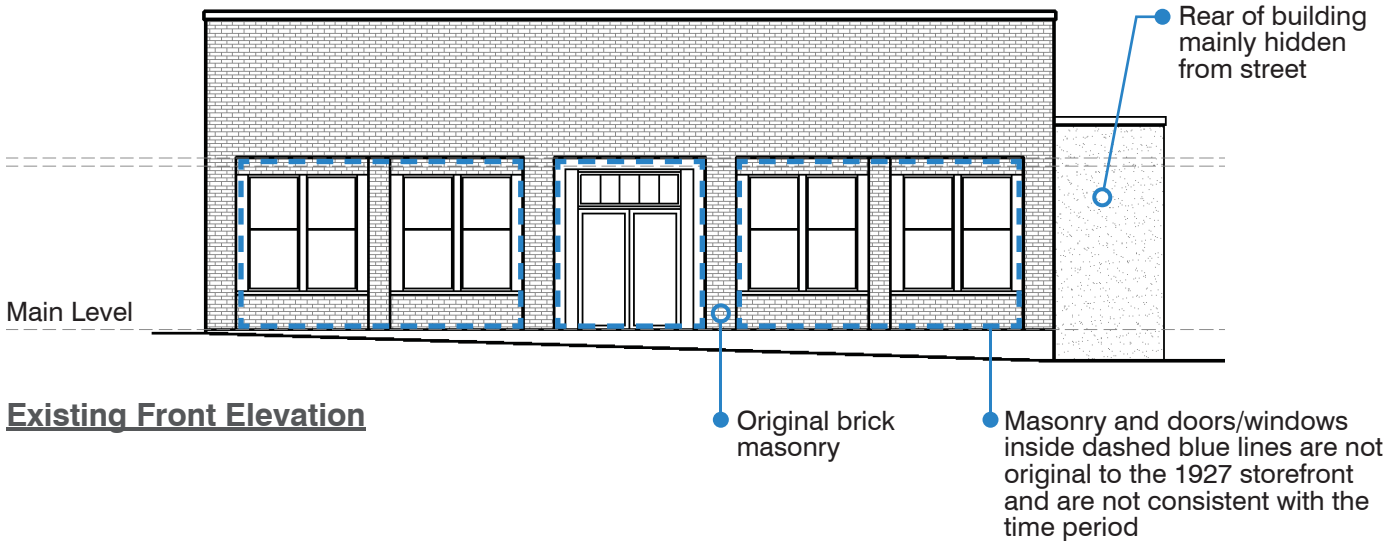


Proposed Changes Part One

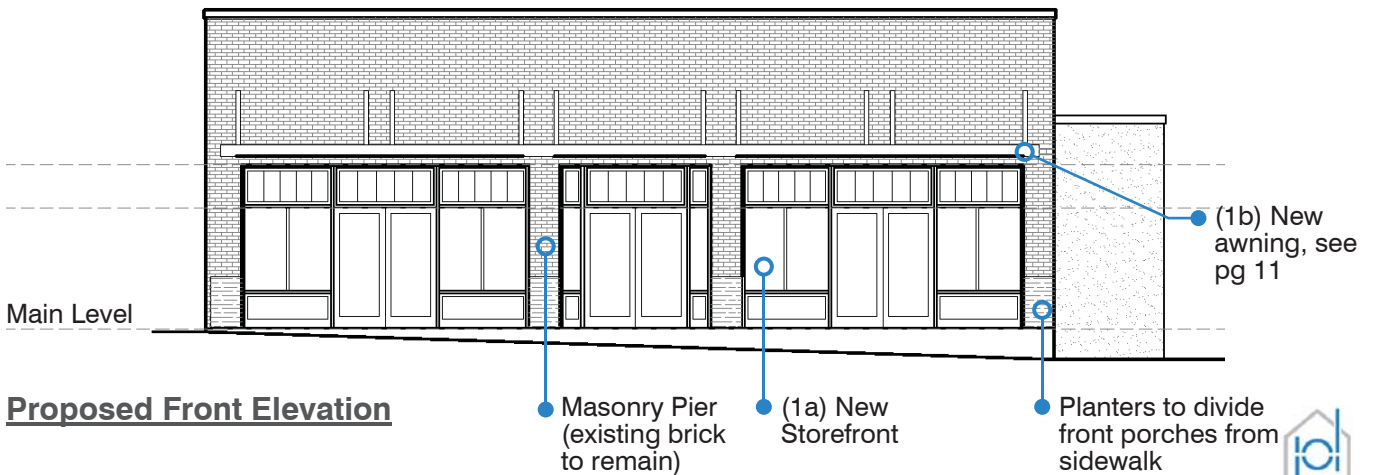
Altering existing front facade to be more similar to original storefront



Existing Front Elevation Photo



Existing Front Elevation



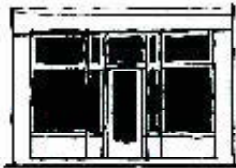
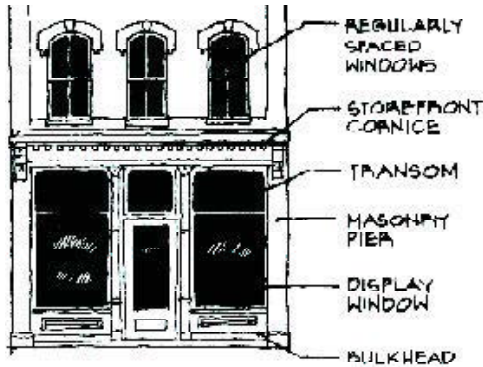
Proposed Front Elevation



Storefront Research / Precedents

Recommendations from the Secretary of the Interior's Guidelines for Replacement of Missing Historic Storefronts:

- *Designing and installing a new storefront when the historic storefront is completely missing or has previously been replaced by one that is incompatible. It may be an accurate restoration based on documentary and physical evidence, but only when the historic storefront to be replaced coexisted with the features currently on the building. Or, it may be a new design that is compatible with the size, scale, material, and color of the historic building.*
- *Alterations and Additions for New Use: Retaining the glazing and the transparency that is so important in defining the character of a historic storefront when the building is being converted for residential use. Window treatments (necessary for occupants' privacy) should be installed that are uniform and compatible with the commercial appearance of the building, such as screens or wood blinds.*



Late 1800s to Early 1900s

- SIMPLE CORNICE
- TRANSOM WINDOWS
- RECESSED ENTRANCE



Early 1900s to 1930s

- METAL WINDOW FRAMES
- STRUCTURAL GLAZING
- RECESSED ENTRANCE

Left: Examples of the typical format of historic storefronts from the Knoxville Historic Zoning Commission's Market Square Design Guidelines



Proposed Front Elevation

- Bulkhead
- Transom
- Display Window
- Existing Masonry Pier

Proposed Materials

Based on the Dept. of the Interior's guidelines, we believe that both metal and wood would be appropriate for the storefronts. We request that Commission Grant MPC Staff authority to approve final material selection.



Identical structure built 1926 in Fort Sanders neighborhood



1930's photo of the building -

Of all the renovations of the front facade in the past, we would like this proposed project to be the closest to the original to date.



Storefront Research / Precedents

The following images are of nearby commercial buildings that have at one point had an inappropriate renovation and have now been rehabilitated to a more historically accurate storefront.



1134 N Broadway | 2007 and 2019



1324-1328 N Broadway | 2007 and 2019



1208 N Central St | 2007 and 2019 (aluminum windows)



1121 N Central St | 2007 and 2019 (aluminum storefront, metal awning)



Awning Precedents / Research

Recommendations from the Secretary of the Interior’s Guidelines for Replacement of Missing Historic Storefronts:

- *Replacing missing awnings or canopies that can be historically documented to the building or adding new signage, awnings, or canopies that are compatible with the historic character of the building.*

The Department of the Interior’s Preservation Brief 11 also notes:

- *Fixed metal canopies supported by guy wires, for example, were common in late 19th and early 20th century storefronts in southern states where it was advantageous to have shaded entrances all year long.*

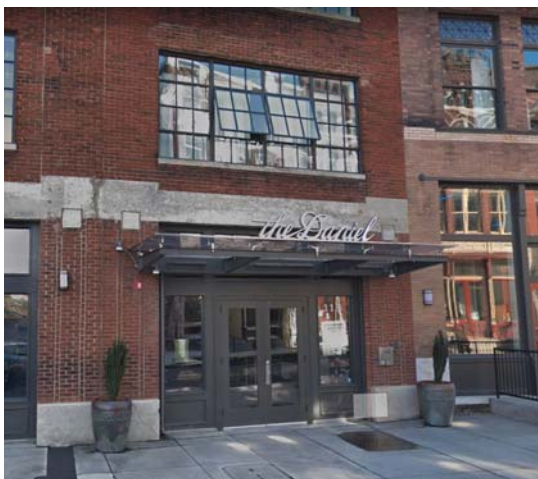


The Daylight Building, built in 1927 and located at 517 Union Ave, features a historic metal awning



The New Sprinkle Building, built in 1927 and located at 510 Union Ave, features a historic metal awning

Though the Daylight and New Sprinkle Building awnings are larger and more elaborate than we are proposing, awnings downtown would have been more elaborate than those of a neighborhood building and they show that a metal awnings were common for 1927, when our building was built.



Located in the Old City, both The Daniel (left) and JFG (right) feature metal awnings over their residential entry points. Even though the awning would not be historic to either building, this shows that is desirable to provide a sheltered space for residents to enter the building.



Proposed Changes Part Two

Modifying existing windows and adding windows and doors on the sides and rear of the building to comply with code and give entrances and better access to the outdoors. This includes:

- Replacing the rotting clerestory windows that were made smaller than original in the later part of the century.
- Adding new windows and openings to the rear portion of the building where there are currently few openings. This makes the building livable.
- Adding secondary entrances on the rear portion, a floor and a half below the street level.

The secondary elevations have low visibility from the street due to adjacent buildings and topography change.



View down West Elevation from Front Elevation, the rear of the building is hidden by adjacent residence



West Elevation from parking lot



View from the street, the West Elevation is largely obscured by the existing residence.





Looking down East Elevation from Front Elevation



East Elevation from Harvey St, Neighboring Property in foreground. Vegetation and fencing obscure the view of the east side of the property.

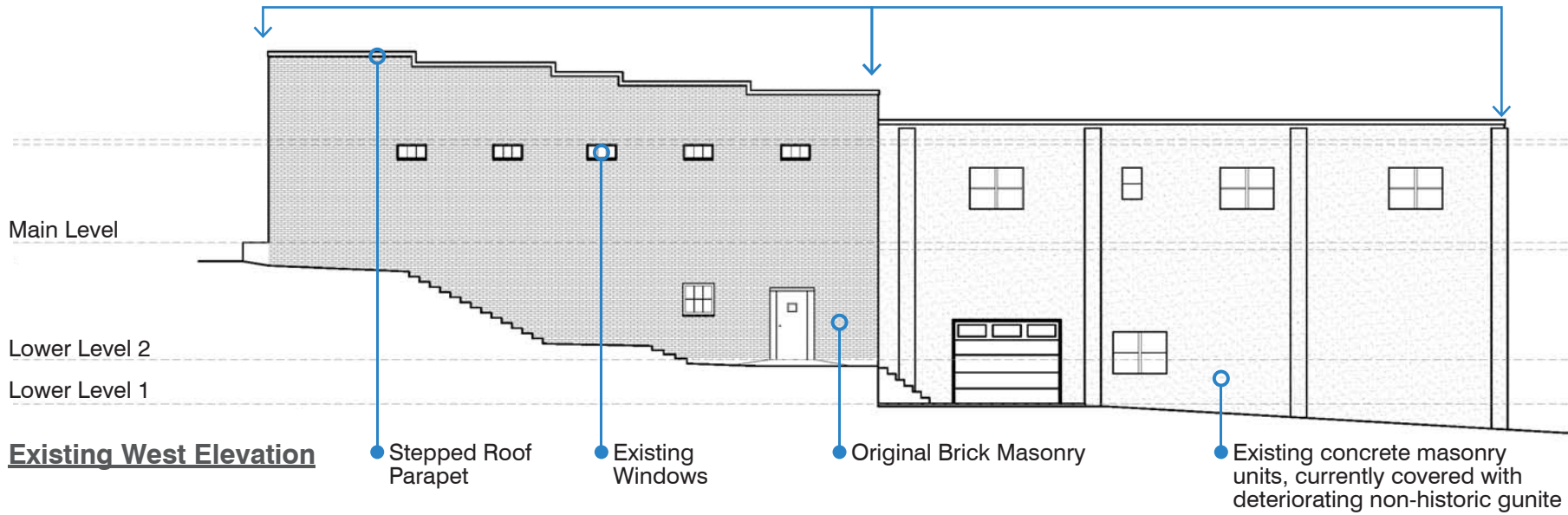


Existing Rear Elevation

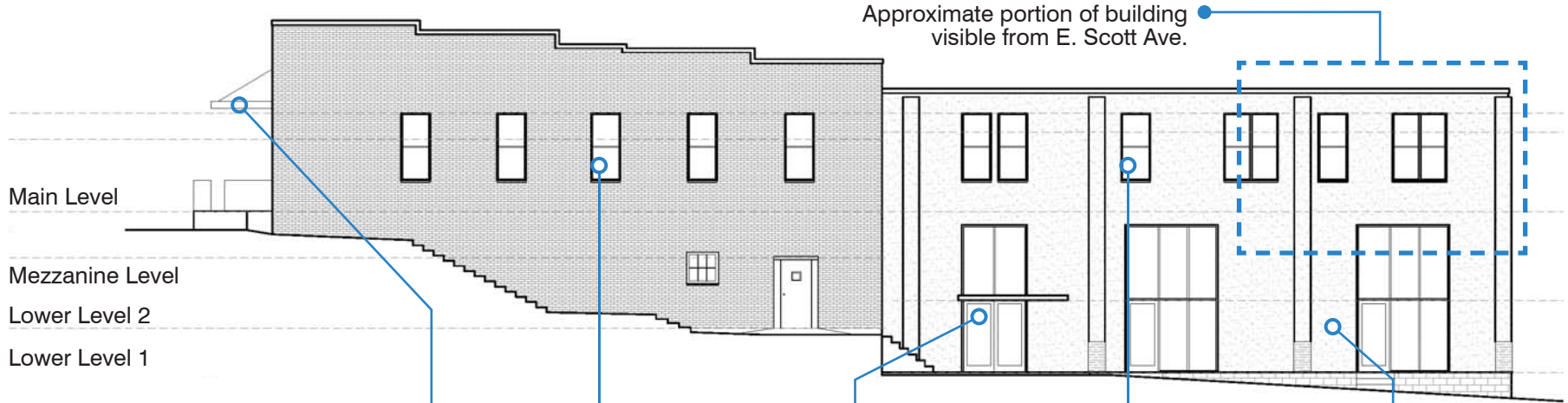


1927

1960s



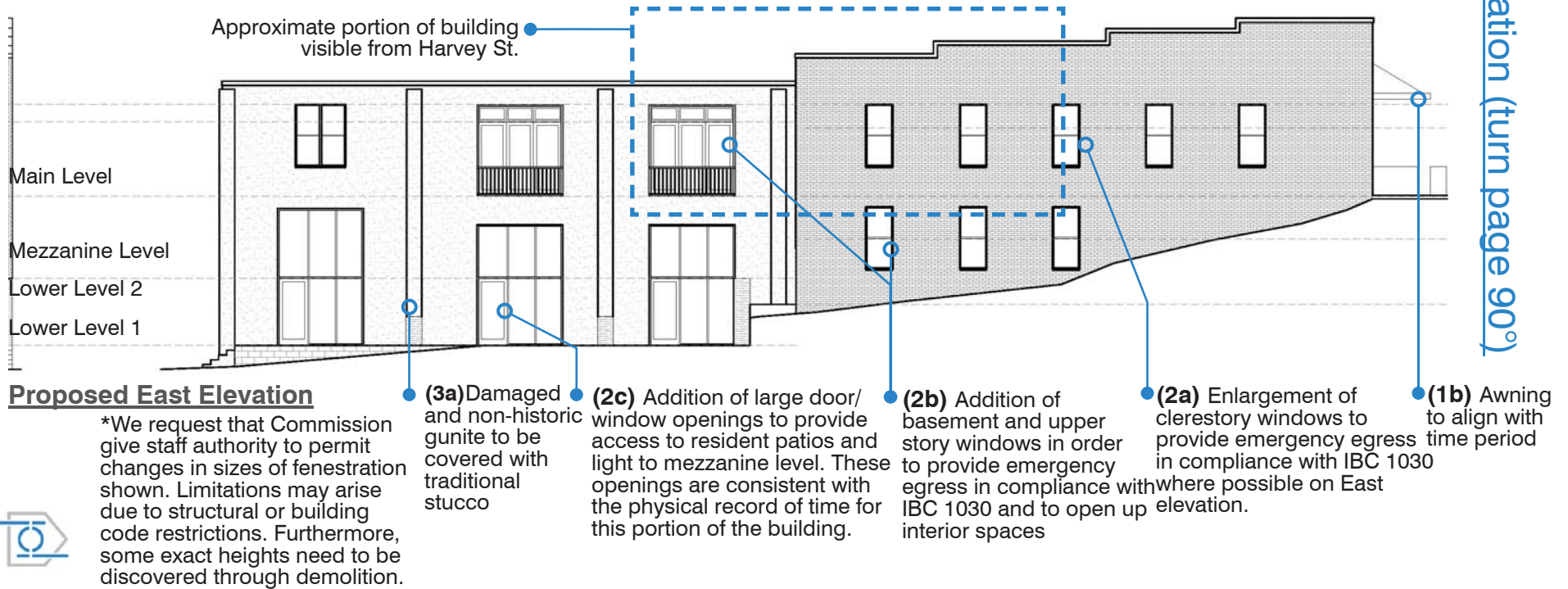
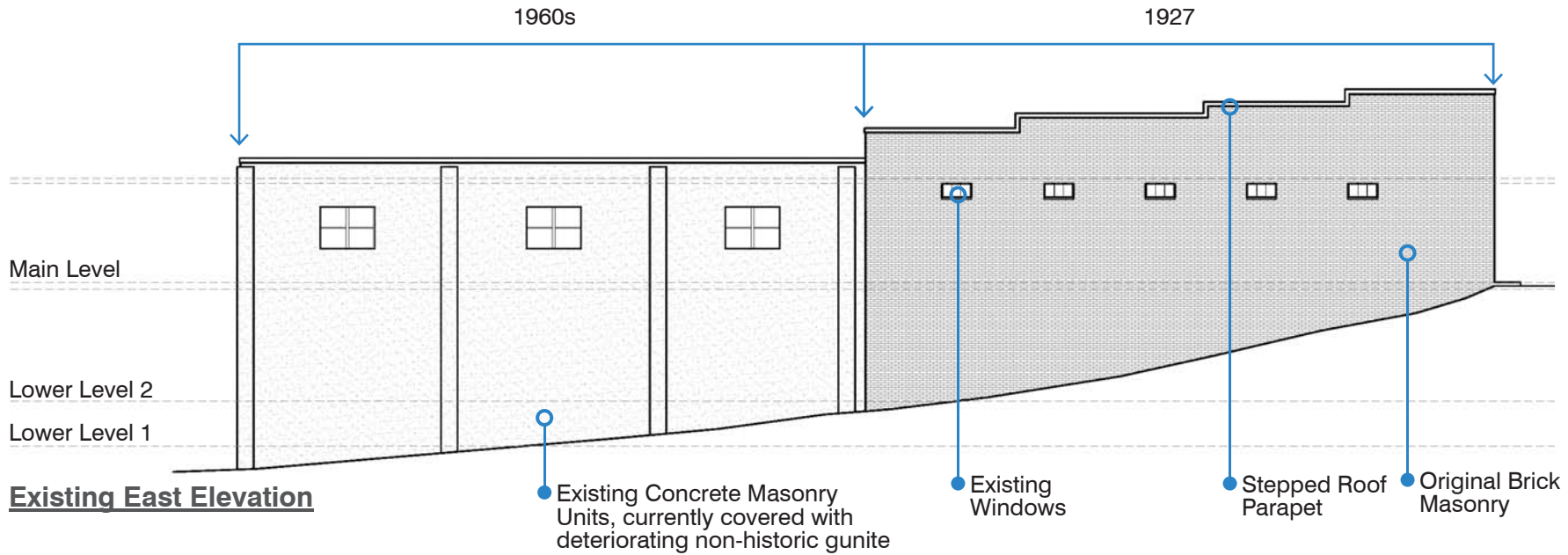
Existing West Elevation



Proposed West Elevation

Existing and Proposed - West Elevation (turn page 90°)

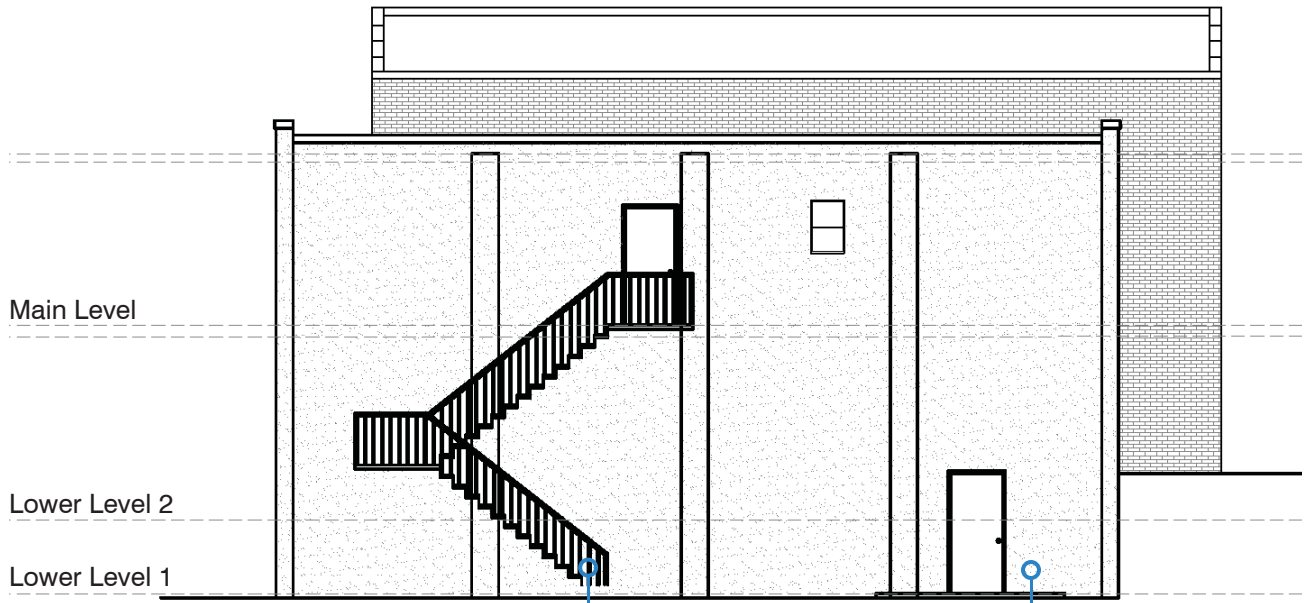




Proposed Elevations - East Elevation (turn page 90°)



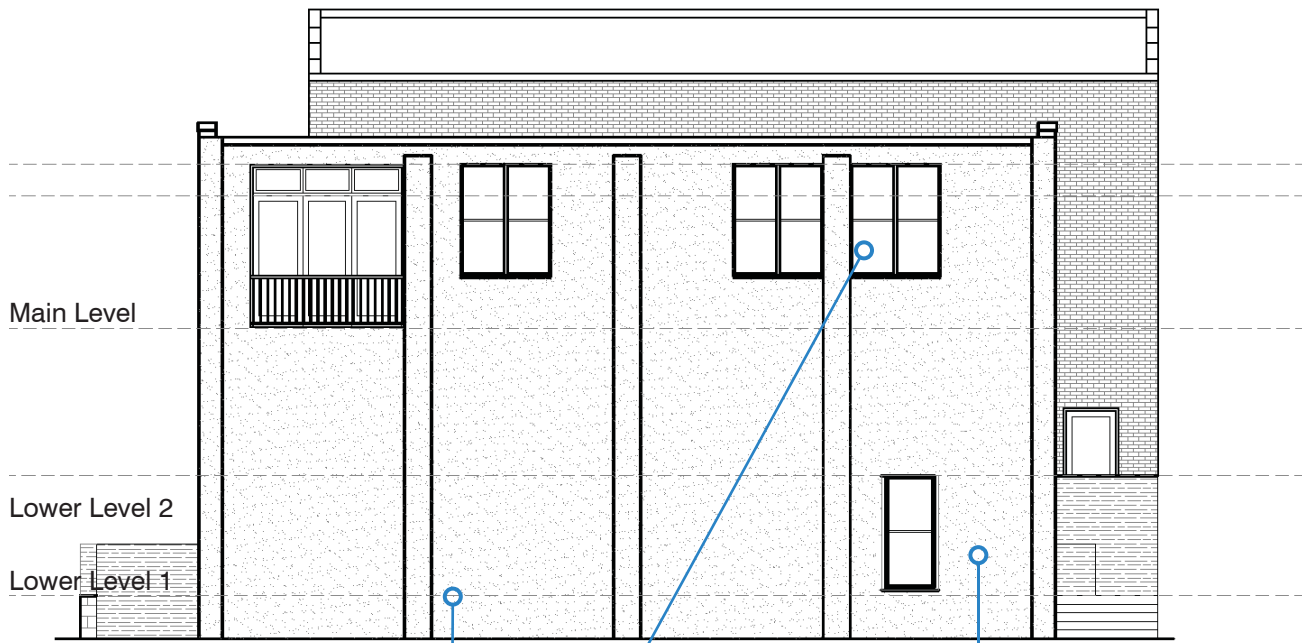
Existing and Proposed - Rear Elevation



Existing Rear Elevation

Existing Metal Staircase

Existing Concrete Masonry Units, currently covered with deteriorating non-historic gunite



Proposed Rear Elevation

(3a) Damaged and non-historic gunite to be covered with traditional stucco

(2b) Addition of windows to provide emergency egress in compliance with IBC 1030

Door not needed, convert to window



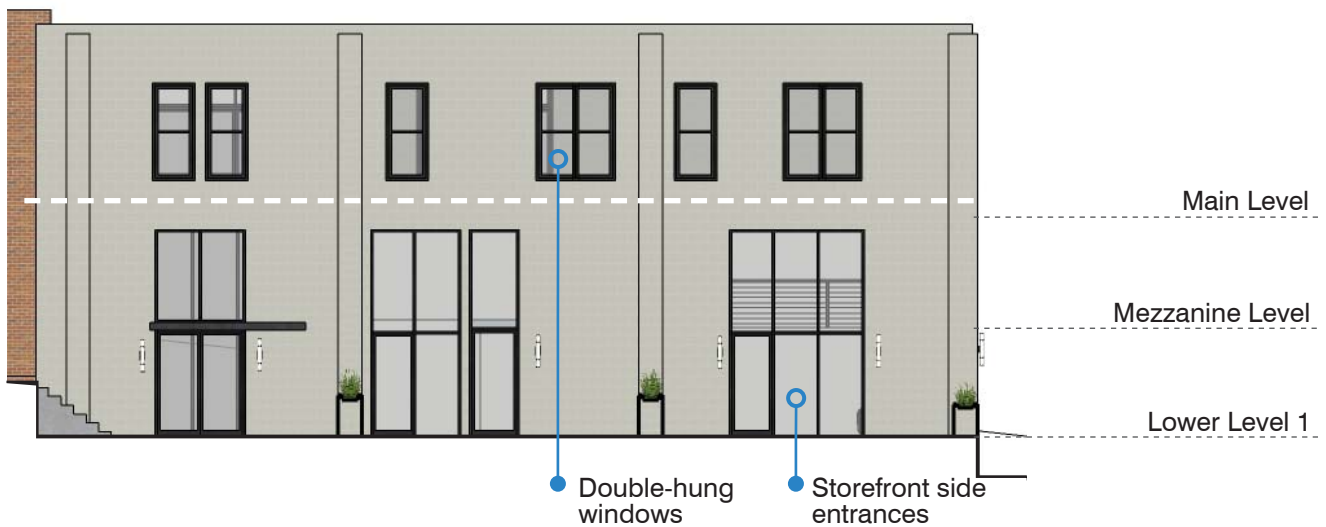
4 2 8 E S C O T T A V E · L I N T Z L O F T S

Side Elevations Glazing Research/Precedents

Recommendations from the Secretary of the Interior's Guidelines for Window Alterations and Additions for a New Use:

- *Adding new window openings on rear or other secondary, less-visible elevations, if required by a new use. The new openings and the windows in them should be compatible with the overall design of the building but, in most cases, not duplicate the historic fenestration.*

The proportions of the large storefront openings on the sides of the building are in keeping with many prominent Knoxville buildings that have been converted from warehouse/industrial buildings into lofts. The history of the use of these buildings has led to traditional window openings on the upper floors and storefront systems on the lower floor. In the renovation of the warehouse addition portion of the Lintz Lofts building, we wish to draw inspiration from Knoxville's historic warehouse lofts and use these large ground floor storefront windows to bring natural light into the Mezzanine level of the apartments as well as tie into the storefront system used on the front of the building.



The Armature (left), Jackson Ateliers (middle) and The Daniel (right) are all historic warehouse buildings renovated into loft apartments in Knoxville. The bottom portions of the buildings feature large storefront windows while the top features more residentially appropriate double hung windows. The Lintz loft building will also use double hung windows at any window that is not storefront, which additionally helps to tie into the style of windows found in the surrounding neighborhood of Old North.

Proposed Materials

Based on the Dept. of the Interior's guidelines, we believe that both metal and wood are appropriate door and window materials for this building's time period. We request that Commission Grant MPC Staff authority to approve final material selection.



4 2 8 E S C O T T A V E · L I N T Z L O F T S

Side Elevations Glazing Research/Precedents

It is not uncommon for secondary elevations to be modified in order to meet the needs of an adaptive re-use. JFG in Knoxville is a great example of that.



Because the rear addition is less visible from the street, we believe that it is acceptable to propose new window locations that are compatible with the overall design of the building and its original warehouse nature. In order to keep up with current design ideals and to provide vibrant living spaces for this community, we believe this is an important alteration. Below are examples of loft style residences that feature double story glazing in order to allow light to reach the mezzanine level.



Top Left: Rendering of industrial building turned loft apartments in Barcelona, Spain
Top Right: Hollywood Lofts in Seattle, WA, a historic brick building turned loft apartments
Bottom Left: East Union, a newly built loft apartment building in Seattle, WA
Bottom Right: 851 Indiana in San Francisco, CA, a renovated brick industrial building with glazed double story entries at the ground floor



Record of time

Standard Number 3 of the Dept. of the Interior's Standards for Rehabilitation of historic properties states: *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

To avoid the notion that adding larger windows to this building may go against its historic character. Let's keep in mind that this building, built in the late 1960's, was built as an office/warehouse/small factory and is now being turned into homes. Below are some examples of buildings built in the same time period using the same construction methods, primarily, concrete.



Knoxville Auditorium 1960's



1950's warehouse Knoxville



Simon Fraser University 1965



Geisel Library 1968-72



Rosen House 1961



House for Mr O'Flaherty 1966



International Shoe factory 1962



The Economist HQ 1964



Proposed Renderings



Front



Rear