

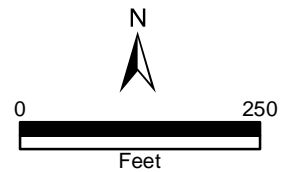
6-E-20-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



10817 Third Dr. 37934
Village of Concord HZ

Original Print Date: 6/3/2020
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Jonathan Abel





Staff Report - Certificate of Appropriateness Application

Knox County Historic Zoning Commission

File Number: 6-E-20-HZ

PROPERTY LOCATION: 10817 Third Dr. / Parcel ID 153043

DISTRICT: Village of Concord HZ

MEETING DATE: 6/18/2020

APPLICANT: Jonathan Abel

LEVEL OF WORK: Level II. Construction of addition or outbuilding

PROPERTY DESCRIPTION: Folk Victorian (c.1867)

Two story frame with aluminum siding wall covering. Side gable roof with asphalt shingle roof covering. Interior offset brick chimney. One story three-quarters front porch with wood columns with sawn wood trim, sawn wood balustrade. Six over six double hung windows. Transom at front entry. Brick foundation. One story rear ell. Irregular plan.

► **DESCRIPTION OF WORK:**

Modifications to outbuilding. Applicant is proposing the enclosure of an existing side-gable roof carport (north section of carport) and an 8' addition on the rear (west) elevation) of outbuilding. Carport will be enclosed with two garage doors (garage doors to feature windows to match house's design) and fiber-cement lap siding. The rear addition to the carport will feature a shed-roof, 8' wide extension, with an asphalt-shingle roof to match existing and fiber cement siding.

► **APPLICABLE DESIGN GUIDELINES:**

Village of Concord Design Guidelines, adopted by the Knox County Commission on October 22, 2001.

Outbuildings

Auxiliary or outbuildings are sometimes found in Concord, and would have included carriage houses, barns, outhouses and sheds. They may have been taller than one story and were built in styles that blended with the style of the primary building on the lot. Buildings that resemble carriage houses, work buildings or simple one story garages may be appropriate for the historic district. Their size and construction should duplicate the original outbuildings that would have been found. Their materials should reflect the materials found on the original primary building on the lot.

Infill & New Development

15. Garages and other outbuildings shall resemble outbuildings that have been historically constructed in the Village of Concord. Their size and construction shall use materials that correspond to the original primary buildings on the lot.



Staff Report - Certificate of Appropriateness Application

Knox County Historic Zoning Commission

File Number: 6-E-20-HZ

COMMENTS:

N/A

STAFF FINDINGS:

1. The main house is a contributing structure to the Village of Concord National Register Historic District and local historic overlay.
2. The carport dates to approximately 1990, featuring materials that compliment the existing house, including lap siding, an asphalt shingle roof, and cornerboards. The carport is currently set 80-feet from Olive Road at its closest point.
3. The proposed materials, including lap siding and two garage doors with windows that reflect the divided-light windows on the existing house, are appropriate. The fiber cement siding proposed for the addition should match the exposure of the existing siding.
4. An additional 8' extension on the rear of the carport will not detract from the property's overall historic integrity. The additional vegetation planted by the applicant will assist in making the carport less visible from the public right-of-way.

STAFF RECOMMENDATION:

Staff recommends approval of the work as proposed.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

JONATHAN and NANCY ABEL

Applicant

05/29/2020

6-E-20-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

JONATHAN and NANCY ABEL

Name	Company		
10817 THIRD (3RD) DR	KNOXVILLE	TN	37934
Address	City	State	Zip
(919)632-0670 J (919)622-9681 N	4abeljonathan@gmail.com	abel.nancy209@gmail.com	
Phone	Email		

CURRENT PROPERTY INFO

SAME AS ABOVE

Owner Name (if different from applicant)	Owner Address	Owner Phone
		153 043
Property Address	Parcel ID	
VILLAGE OF CONCORD		
Neighborhood	Zoning	

AUTHORIZATION

	Lindsay Crockett	5-29-20
Staff Signature	Please Print	Date
	JONATHAN R. ABEL	05/28/2020
Applicant Signature	Please Print	Date

Digitally signed by Jonathan R. Abel
Date: 2020.05.28 22:54:39 -04'00'

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: **REQUEST TO ENCLOSE THE EXISTING CARPORT AND EXTEND THE BUILDING 8' ALLOWING IMPROVED SECURE STORAGE OF VEHICLES AND PERSONAL ITEMS.**

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:

10817 Third Drive
Knoxville, TN 37934
Jonathan and Nancy Abel
Request for enclosure of carport approval

Date: 5/29/2020

WHEN: As soon as approved

WHERE: 10817 Third Drive, Old Concord Village, Knoxville TN 37934

WHY: Security and storage of personal belongings and vehicles.

We are requesting approval to enclose the existing carport.

The impact to the property and community should be minimal and overall positive as the existing structure will not change significantly and will actually hide more clutter than the existing carport.

Please see included pictures and documentation.

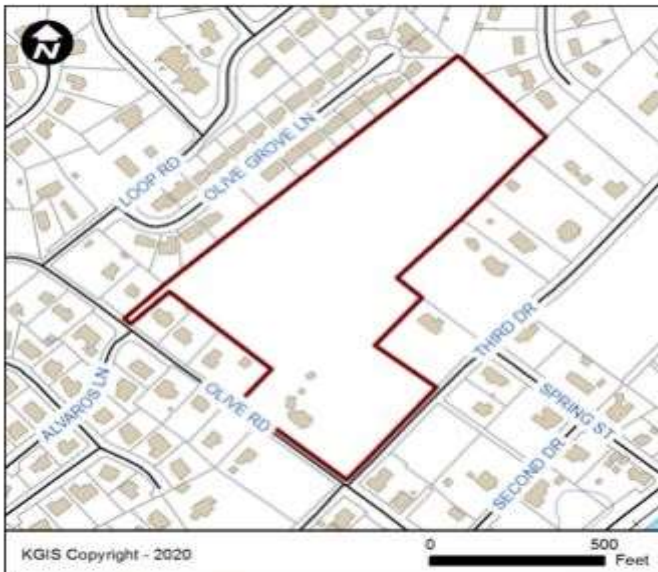
Thank you for your consideration.

Jonathan and Nancy Abel (and family)

10817 Third Drive
 Knoxville, TN 37934
 Jonathan and Nancy Abel
 Request for enclosure of carport approval



Parcel 153 043 - Property Map and Details Report



Property Information

Parcel ID:	153 043
Location Address:	10817 THIRD DR
CLT Map:	153
Insert:	
Group:	
Condo Letter:	
Parcel:	43
Parcel Type:	
District:	W6
Ward:	
City Block:	
Subdivision:	ROLL BACK TAXES EFFECTIVE APPLICATION #A-4029
Rec. Acreage:	15
Calc. Acreage:	0
Recorded Plat:	-
Recorded Deed:	20191223 - 0042537
Deed Type:	Deed:Full Coven
Deed Date:	12/23/2019

Address Information

Site Address:	10817 THIRD DR KNOXVILLE - 37934
Address Type:	DWELLING, SINGLE-FAMILY
Site Name:	

Jurisdiction Information

County:	KNOX COUNTY
City / Township:	

Political Districts

Owner Information

ABEL JONATHAN R & ABEL NANCY L 10817 3RD DR KNOXVILLE, TN 37934

The owner information shown in this section does **not** necessarily reflect the person(s) responsible for Last Year's property taxes. Report any errors to the Knox County Property Assessor's office at [865-219-2368](tel:865-219-2368).

MPC Information

Census Tract:	58.08
Planning Sector:	Southwest County

Please contact Knox County Metropolitan Planning Commission (MPC) at [865-215-2500](tel:865-215-2500) if you have questions.

School Zones

10817 Third Drive
Knoxville, TN 37934
Jonathan and Nancy Abel
Request for enclosure of carport approval

Streets with potential impact:

OLIVE ROAD: There would be some chance of drivers/walkers and several homeowners on Olive Road seeing the carport, but during the spring and summer months the hedge is thick and limits visibility. We have also planted additional evergreen bushes that will fill in and create a better natural screen throughout the seasons.



The carport structure is located right next to the house. The only real view of the carport is from the back of the property where the road and homes along the road are higher than our property elevation. From pretty much all other angles the carport is not visible unless on the property.

10817 Third Drive
Knoxville, TN 37934
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Request for enclosure of carport approval

We would like to enclose the front and right side of the carport and extend the rear out approximately 8' to allow for more storage of personal belongings while also allowing vehicles to be parked.

2 Garage doors with windows similar to the windows on the home would be installed in the front allowing access by vehicles. A man door would be installed on the right-side allowing access to storage areas.

Everything else would be sided with cement siding and painted to match the existing carport/house.

The extension would be roofed with shingles that match the existing to the best of our ability.

It is our belief that from the road and other properties there would be little change in what they see, except perhaps an improvement as they would not be able to see the clutter.

We also believe that this change will work well with the look of the property as the carport is an already existing building that we will simply update to be more useful and secure.

10817 Third Drive
Knoxville, TN 37934
Jonathan and Nancy Abel
Request for enclosure of carport approval
CURRENT IMAGES



FRONT VIEW



FRONT/RIGHT SIDE VIEW

10817 Third Drive
Knoxville, TN 37934
Jonathan and Nancy Abel
Request for enclosure of carport approval



RIGHT SIDE/REAR VIEW



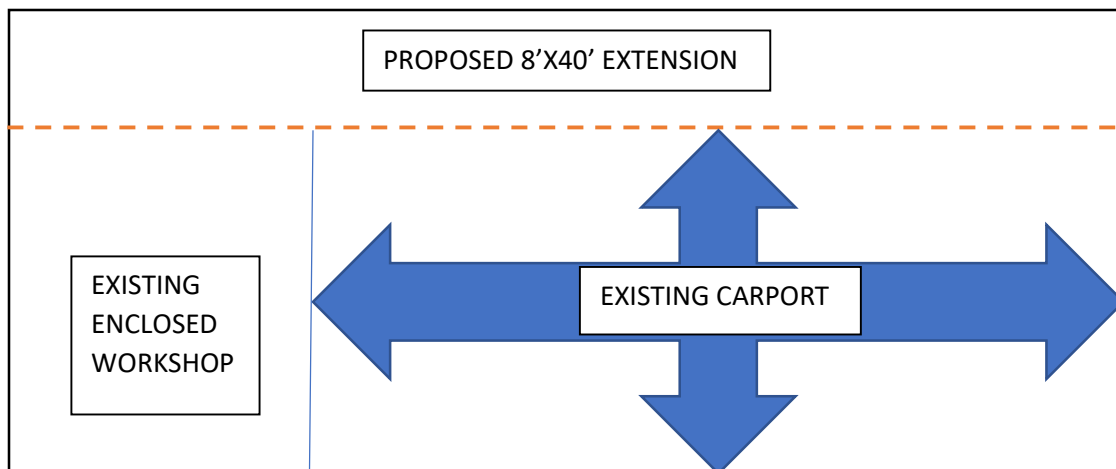
REAR / LEFT SIDE VIEW

10817 Third Drive
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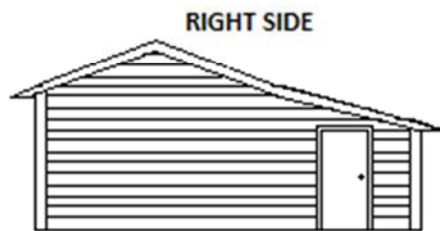
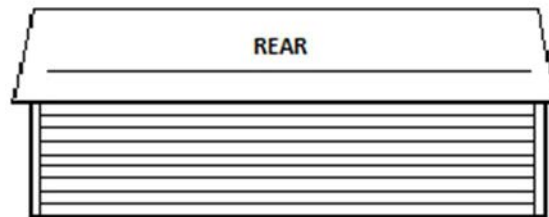
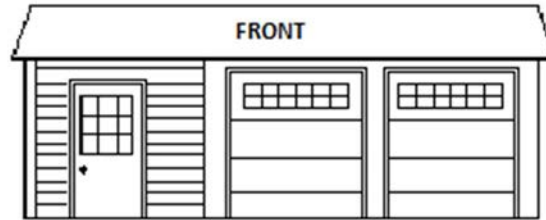
PROPOSED CHANGES



These are not the exact doors as we have not chosen any yet, but this is what kind of look we are looking for. We want the windows in the garage doors to match the home. We may not have the bottom panels like what is pictured above.



10817 Third Drive
Knoxville, TN 37934
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Request for enclosure of carport approval



As you can see from the above sketch the only change other than simply enclosing the existing carport would be to extend the back of the entire building approximately 8' and the addition of an access door allowing for extra storage while still allowing vehicles to be parked securely in the garage.

10817 Third Drive
Knoxville, TN 37934
Jonathan and Nancy Abel
Request for enclosure of carport approval

WHAT WE ARE DOING TO LIMIT THE VIEW FROM NEIGHBORS



The existing hedge along the rear and Olive Rd side of the property is pretty effective at limiting sightlines during the spring and summer months, but in the fall and winter it is pretty bare. With this in mind, we have planted additional evergreen bushes along the hedge which will help to maintain a natural screen throughout all the seasons.

Choose color to see construction availability.



Over 700 factory-applied colors available. See Amarr Color Zone page for more information. Color Zone options not shown in Door Summary or Door Builder image.

4 Select construction: Stratford ST1000



ST1000 Single-layer: Steel Details



ST2000 Double-layer: Steel + Insulation Details

5 Select decorative hardware (optional): —

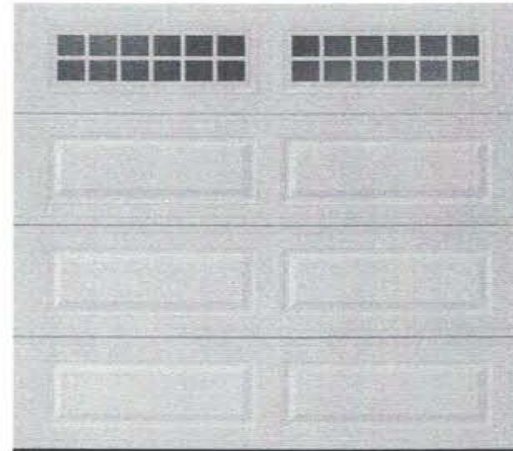
Showing 1 of 1



Amarr Lock Zoom

California Residents: Proposition 65 WARNING

Need Some Help?



DOOR SUMMARY

Find A Dealer

Door Design: Long Panel
Windows: Long Panel Stockton
Color: True White
Construction*: Stratford ST1000
Decorative Hardware: —

Save to Favorites

*Not shown in image.

GARAGE DOORS

- Carriage Style Doors
Traditional Style Doors
Specialty Style Doors
Steel Doors
Wood Doors
All Garage Doors
Product Reviews

OPENERS & ACCESSORIES

- Amarr Garage Door Openers
LiftMaster Door Openers
Linear Garage Door Openers
All Opener Accessories
All Garage Accessories
Mobile App for Door Openers

BEFORE YOU BUY

- Amarr Advantage
Choosing a Garage Door
Energy Efficiency
Garage Door Construction
Product Brochures
Wind Load Garage Doors
CE Approved Garage Doors
Choosing a Dealer

SERVICE & SUPPORT



FIND A DEALER

BECOME A DEALER

DOOR DESIGNER

Common Issues

Please Note: Door shown represents an 8'x7' Amarr garage door. Actual design may vary based on door width and height. Entrematic reserves the right to modify designs without notice. Actual color may vary due to screen presentation. ask your dealer for color sample before ordering. Download additional door drawings and specifications here.



Share




4 Select construction: Hillcrest HI1000




HI1000 Single-layer: Steel Details
HI2000 Double-layer: Steel + Insulation Details
HI3138 Steel + Insulation + Steel Details
HI3000 Steel + Insulation + Steel Details

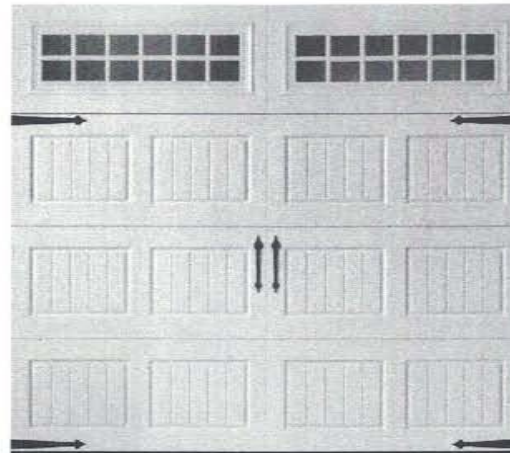
5 Select decorative hardware (optional): Blue Ridge 11" Handles and Blue Ridge 16" Strap Hinge



 Add a unique and distinctive look to your garage door with magnetic decorative clavos. See [guide page](#) for ideas. Clavos options not shown in Door Summary or Door Builder image.

 California Residents: [Proposition 65 WARNING](#)

Need Some Help?



DOOR SUMMARY

Door Design: Bead Board
Windows: Long Panel Stockton
Color: True White
Construction*: Hillcrest HI1000
Decorative Hardware: Blue Ridge 11" Handles and Blue Ridge 16" Strap Hinge

[Find A Dealer](#)

[Save to Favorites](#)

*Not shown in image.

GARAGE DOORS

- Carriage Style Doors
- Traditional Style Doors
- Specialty Style Doors
- Steel Doors
- Wood Doors
- All Garage Doors
- Product Reviews

OPENERS & ACCESSORIES

- Amarr Garage Door Openers
- LiftMaster Door Openers
- Linear Garage Door Openers
- All Opener Accessories
- All Garage Accessories
- Mobile App for Door Openers

BEFORE YOU BUY

- Amarr Advantage
- Choosing a Garage Door
- Energy Efficiency
- Garage Door Construction
- Product Brochures
- Wind Load Garage Doors
- CE Approved Garage Doors
- Choosing a Dealer

SERVICE & SUPPORT

- Garage Door Repair
- Garage Door Installation
- Con-
- Care & Maintenance

FIND A DEALER

- BECOME A DEALER
- DOOR DESIGNER
- MY FAVORITES

Please Note: Door shown represents an 8'x7' Amarr garage door. Actual design may vary based on door width and height. Entrematic reserves the right to modify designs without notice. Actual color may vary due to screen presentation, ask your dealer for color sample before ordering. Download additional door drawings and specifications [here](#).



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