



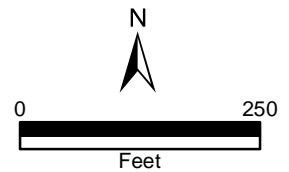
4-E-20-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



211 16th St. 37916
 Ft. Sanders NC-1

Original Print Date: 4/1/2020
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes





Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 4-E-20-HZ

PROPERTY LOCATION: 211 16th St. / Parcel ID 94 N E 018

DISTRICT: Ft. Sanders NC-1

MEETING DATE: 7/16/2020

APPLICANT: John Holmes

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Queen Anne cottage, c.1910

One-story frame residence with an exterior of vinyl siding. Hipped roof clad in asphalt shingles with a front-gable roof massing projecting to the front. One-over-one, double-hung windows. Façade features a cutaway bay window. One-story, shed-roof porch with turned wood columns. Interior offset brick chimney, brick foundation.

► **DESCRIPTION OF WORK:**

- Demolition of rear (west) elevation shed-roof stoop (one section of porch enclosed, will also be removed).
 - Removal of non-historic secondary entry on north elevation (including door, concrete steps, and shed roof).
 - Windows: existing windows will be replaced with one-over-one, double-hung vinyl windows. One 36" x 42" egress window proposed for front (east) gable field.
 - Reconstruction of front porch (east elevation): existing porch will be demolished and be reconstructed with a CMU foundation clad in brick veneer, new 6" by 6" square posts to match existing, and a square picket railing. Wood steps will be removed and reconstructed with handrails to match railing. New wood porch ceiling.
 - Construction of rear addition. Rear addition will be 13'-10" wide by 7'-11" deep, clad in fiber cement siding to match the house, and feature a gable roof with a 36" x 42" tall window in the gable field. A rear entry door and one-over-one, double-hung window will be located on the proposed addition.
 - Second-story gable-roof dormer addition proposed for the north (side) elevation to provide for a 36" x 42" egress window.
-

► **APPLICABLE DESIGN GUIDELINES:**

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

Roofs

3. Use roofing materials that are in keeping with the historic development styles. Asphalt shingle, tile, pressed metal, and slate were used.



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4. Darker shades of shingles were historically used and should be selected in new construction.

Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in columns supports.
2. Porches should be no less than 6 feet deep and no more than 10 feet deep.

Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl), shingle (or shingle-like materials), or brick should be used.
5. In making additions to existing buildings, wall cladding should complement the original wall covering. Acceptable materials are clapboard, vinyl siding, cement fiber board, brick and stucco.

Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.
2. Windows should be double-hung sash windows. Vinyl or metal-clad windows may be used in place of wood frame windows.
- 2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.
3. Accent windows are appropriate with new construction.
4. Double-hung sash windows are recommended for two- to three-story new construction.
5. Variations of double-hung windows should be considered in relation to the design of new buildings.
6. The proportions of upper-level windows should not exceed the proportion of the first level.
9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.
10. When parking areas are provided behind buildings, rear entrances are also allowed.

Parking

2. Provide parking access off the alley or off a side street.

Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.
3. Transitional space shall be provided between the addition and the existing structure. ... The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' x 6' indentation.
4. Bays at least two feet in depth shall be provided for 50% of the side façade.
5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.

COMMENTS:

N/A

STAFF FINDINGS:

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1. The house is a contributing resource to the Fort Sanders NC Overlay and National Register Historic District.
2. The rear shed-roof stoop is not a historic feature of the house and does not contribute to the house's overall integrity. Demolition of the existing shed roof, enclosed porch, and concrete block foundation for purposes of an addition is appropriate.
3. Placement of the addition at the rear of the property is appropriate. The rear addition will measure 13'-10" wide by 7'-11" deep, with a modestly-sized scale and massing that do not detract from the house's overall integrity. The rear addition will have a gable roof to provide an egress window on the rear elevation. The top of the gable roof is 20'-11" tall to the overall house height of 27'-4" tall. The rear addition should incorporate eave overhangs and fascia details to match the rest of the house.
4. A gable-roof dormer addition is proposed for the right (north) side elevation. The guidelines state "additions should be made to the rear or side of the building." The adjacent houses at 207 and 215 16th Street demonstrate similar side elevation gables which intersect the primary hipped rooflines. The dormer addition should be proportionate to the existing house; specific measurements should be provided to staff to confirm.
5. The proposed egress windows meet the minimum size requirement for building code. While applicant has installed egress windows in side gable fields in multiple instances in the Fort Sanders overlay, a full-sized egress window of 36" by 42" is not appropriate for the façade front gable. The proposed egress window would be too large for the historic proportions of windows.
6. Applicant has sufficiently documented deterioration of foundation under the front porch and proposed rear addition; reconstruction in these locations is appropriate. However, if the scope of reconstruction exceeds that described in the application, applicant will need to submit additional information for review by staff or HZC.
7. Moving the two historic windows on the right (north) elevation to serve interior purposes does not reflect "symmetry similar to historic styles in the neighborhood." Removal of the window on the left (south) elevation creates a large swath of wall space with insufficient transparency.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the work as proposed with the following conditions:

- 1) omit egress window in façade (east) gable field (smaller casement window for natural light, if necessary, could be approved by staff;
- 2) specifications on north elevation dormer addition measurements be submitted to staff for approval;
- 3) windows on right (north) elevation remain in existing locations;
- 4) retain window on left (south) elevation;
- 5) if foundation must be reconstructed in locations other than the front porch and rear addition, a revised application for a COA must be submitted.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

3/30/20

4/16/20

4-E-20-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner Contractor Engineer Architect/Landscape Architect

John Holmes

Name

Company

5914 Gray Gables Dr

TN

37931

Address

City

State

Zip

423-231-4980

jholmes6@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Evian Partners

PO Box 1335

423-231-1266

Owner Name (if different from applicant)

Owner Address

Owner Phone

211 16th St.

094NE018

Property Address

Parcel ID

Fort Sanders

RN5-NC-1

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

3/31/20

Staff Signature

Please Print

Date

John Holmes

John Holmes

11/25/19

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Replace roof with new asphalt shingles and sheeting. Remove front porch and rebuild, new foundation with brick facade
Remove rear porch, rebuild foundation and roof for rear porch and enclose. Replace all windows, doors, remove old siding, new Hardi siding
New turned post columns on front, stucco existing foundation brick, repoint. New gables for egress. See attached description

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:

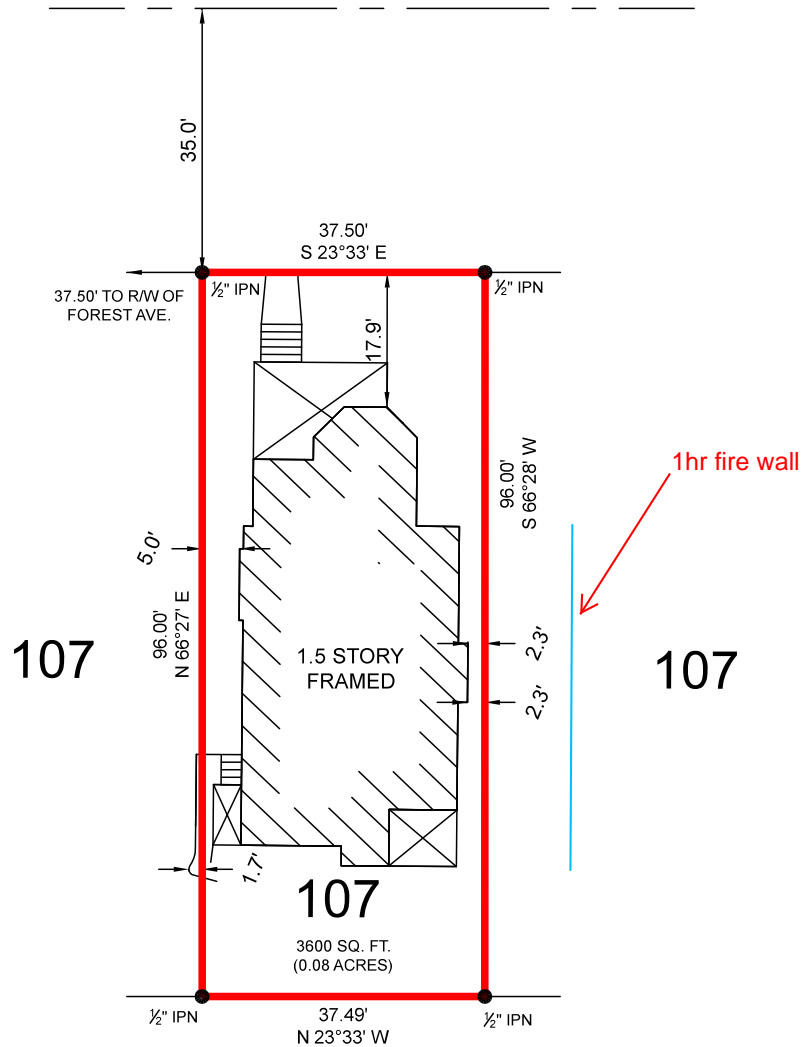
THIS SURVEY WAS PREPARED USING A COMBINATION OF TOTAL STATION
 AND R.T.K. G.P.S. DATA COLLECTION.
 G.P.S. RECEIVER INFO.: SOKKIA MESA S/N 144387, TOPCON ANTENNA:
 PG-S1. TOTAL STATION : TOPCON GPT-8205A
 VERTICAL DATUM IS NAVD88, GEOID12



IPN = IRON PIN, NEW
 R/W = RIGHT-OF-WAY

SIXTEENTH STREET

(CENTERLINE OF R/W)



CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY

I HEREBY CERTIFY THAT THIS CATEGORY 1 SURVEY
 AND THE RATIO OF PRECISION OF THE UNADJUSTED
 SURVEY IS 1:110,000 AS SHOWN HEREON
 SURVEYOR: STANLEY E. HINDS, TENN. REG. NO. 987

I HEREBY CERTIFY THAT THIS SURVEY
 HAS BEEN MADE USING THE LATEST
 RECORDED DEED AND OTHER DOCU-
 MENTS FURNISHED BY THE ATTORNEY,
 THAT THERE ARE NO ENCRAGEMENTS
 OR PROJECTIONS OTHER THAN THOSE
 SHOWN AND THAT THE SURVEY IS
 CORRECT TO THE BEST OF MY
 KNOWLEDGE AND BELIEF.

SURVEY FOR EVIAN PARTNERS
 DIST. 4 WARD 10 CITY OF KNOXVILLE COUNTY KNOX
 ADDRESS 211 SIXTEENTH STREET
 LOT NO. PART 107 BLOCK _____ UNIT _____
 S/D RAMSEY'S ADDITION
 INSTR. PC "A 172B SCALE 1" = 20' DATE 8-19 2019
 JOB NO. 1908009 ORDERED BY: INDEP.



HINDS SURVEYING CO.

3555 WINDY J FARMS DR. LOUISVILLE, TN 37777
 PH. 588-9799 FAX. 233-3393
 WWW.HINDSSURVEYING.COM

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Level 1:

Tongue and groove flooring for front porch, stained beadboard ceiling
new handrails (Picture of railings style included below)

Replace windows with 1/1 double hung windows (Jeld wen vinyl 2500 series or equal)

Replace attic vent with egress window on the gables, minimum size of 36"x42" high)

Replace vinyl siding with Hardi siding, new sheathing

Replace fascia, soffits, and gutters, fascia and soffits will be Hardi

Repair foundation brick, paint or stucco as necessary.

Replace front and rear door

Replace the roof, remove old shingles (6 layers), new sheathing over existing 1' slat boards, new drip edge, asphalt shingles

Rebuild front steps, including handrails

Remove chimney below roof line

Front Gable window is 36"x42" casement for egress

Side gable windows 36"x42" Casement for egress.



Level 2:

Remove and rebuild front porch and roof with same dimensions. New 6"x6" turned posts. See pictures documenting the poor condition. The brick wall is collapsing inwards and will have to be rebuilt. There are no footers under the brick and will collapse again if not properly rebuilt. Porch ceiling is rotten and will need to be replaced as well. Front porch foundation will be 8" CMU with brick façade. Remove the wooden access panel on front porch and move to the side. The current cinderblock construction on left and right side of stairs is not original or historically appropriate, nor is the metal railing.

Remove side entrance door, concrete steps, and patio. See picture of the sides collapsing.

Remove and rebuild rear porch and enclose, no addition to the existing lot coverage. The existing concrete is deteriorating severely and appears to have no footers underneath the walls. Remove the existing shed roof over the rear porch and rebuild shed roof (like 203 and 207 16th next door) with 4:12 pitch. 30"x30" window on rear bathroom. Matches the sister houses next door at 207 16th and 203 16th.

Add gable on rear façade of house for egress.

Add gable on side of house for egress.



FRONT SIDE

SCALE: 1/8" = 1'-0"



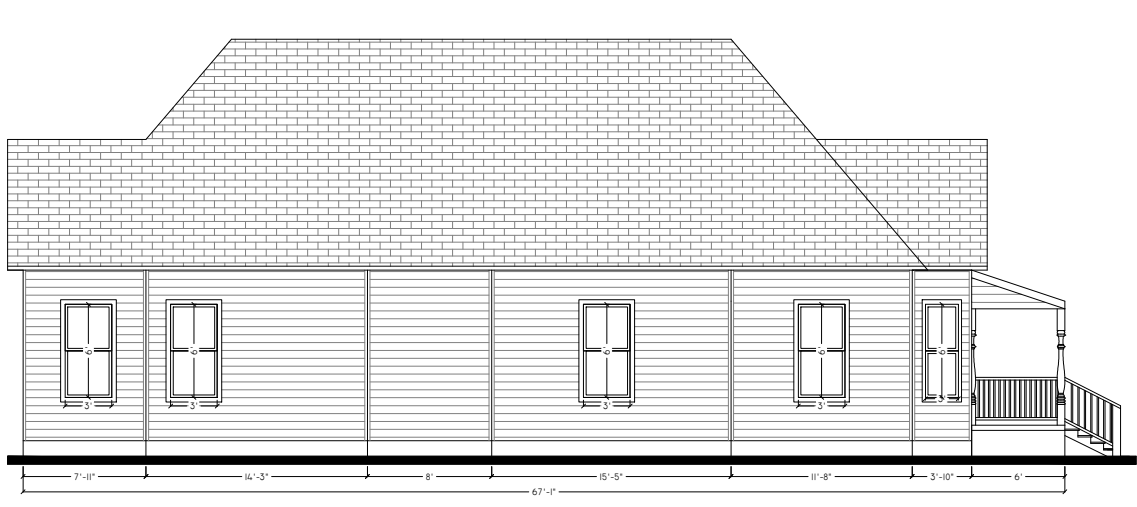
RIGHT SIDE

SCALE: 1/8" = 1'-0"



REAR SIDE

SCALE: 1/8" = 1'-0"



LEFT SIDE

SCALE: 1/8" = 1'-0"

ISSUED

REVISION:

DESIGNED BY:

CHECKED BY:
PROJECT NO.:
COPYRIGHT:

SHEET TITLE

ELEVATIONS

SCALE
1/8" = 1'-0"

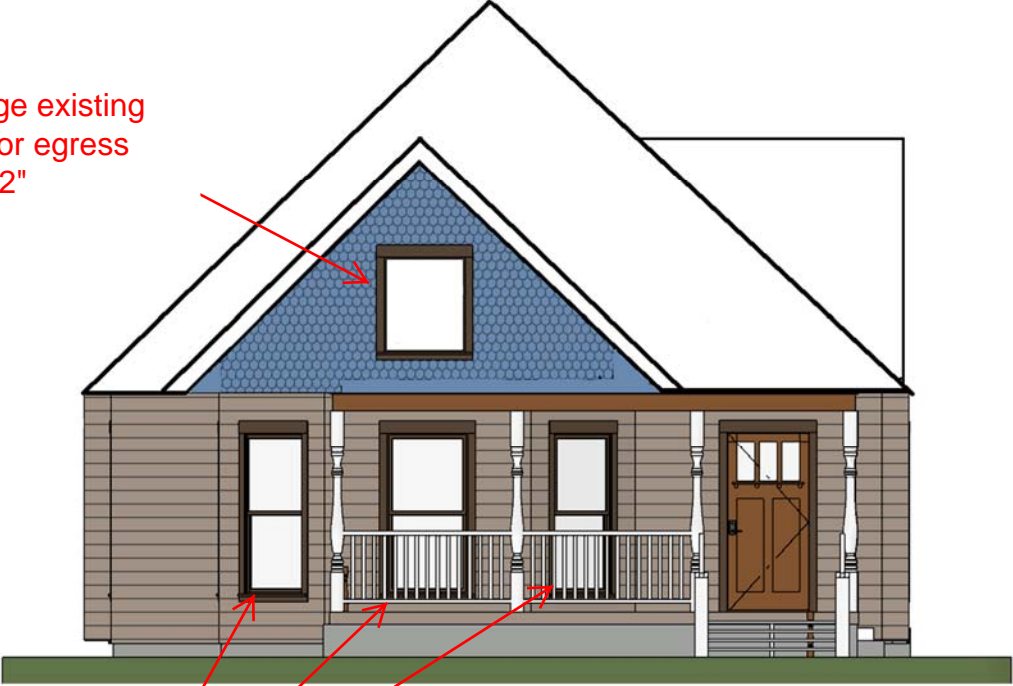
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Elevations:

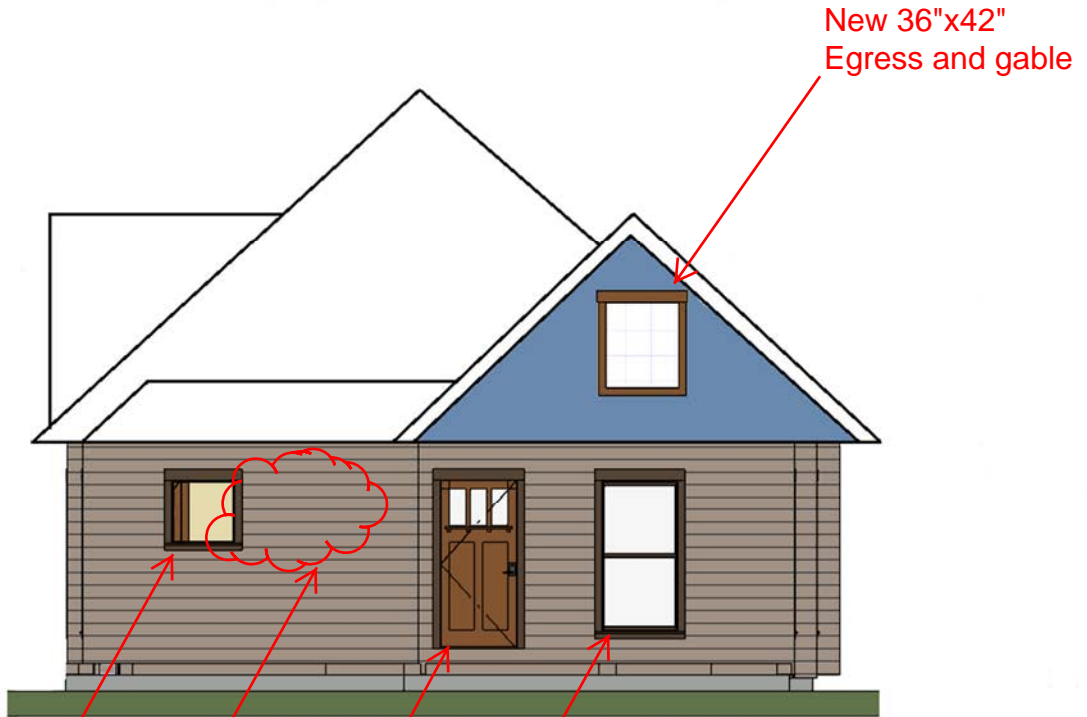
East:

Enlarge existing
vent for egress
36"x42"



36"x72" No change

West:



New 36"x42"
Egress and gable

30"x30" New
window

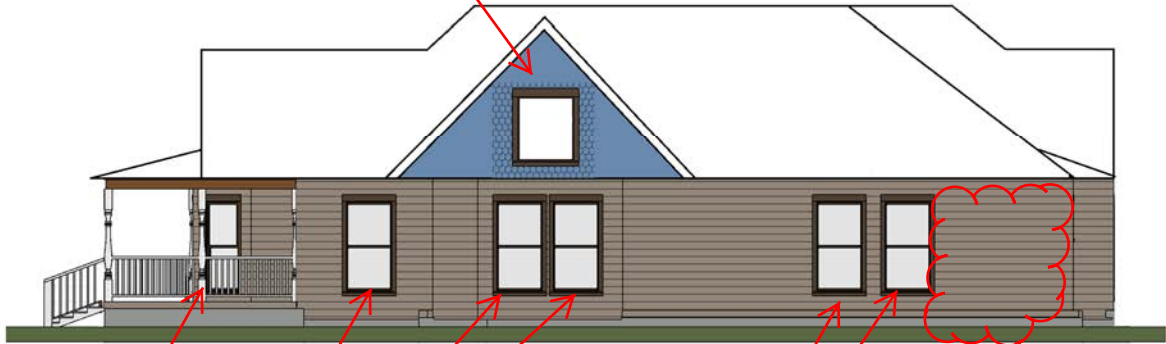
36"x72" New

Remove side by
side window

Rear exit, shift to
left on enclosed
porch

North:

36"x42" New
Egress window
New gable



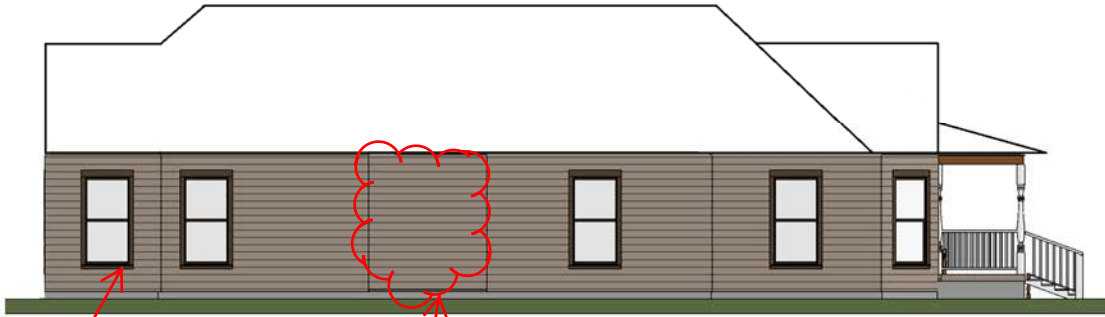
36"x72" No
Change

36"x72" No
Change

36"x72"
Move to 12"
apart

Remove side
apartment entrance
door, stairs, and
landing

South:



New 36"x72"
window on
enclosed porch

Remove windows





















