



Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 12-F-19-HZ

PROPERTY LOCATION: 1610 Forest Ave. / Parcel ID 94 N E 015

DISTRICT: Ft. Sanders NC-1

MEETING DATE: 2/20/2020

APPLICANT: John Holmes

LEVEL OF WORK: Level III. Construction of new primary building

PROPERTY DESCRIPTION: N/A

N/A

► **DESCRIPTION OF WORK:**

UPDATED for February 20, 2020 meeting:

Construction of a new residence at 1610 Forest Avenue. Proposed house is approximately 64' long and 25' wide, with an 9'-8" deep by 11'-2" wide porch projecting slightly from the northeast corner of the house (façade). The one-and-one-half-story house will feature a hipped roof with gable-roof massings toward the sides and rear.

The house will rest on a concrete masonry unit, clad in stucco. Exterior siding will be HardiePlank siding. The roof will be clad in asphalt shingles. Side gable fields will be clad in diamond-shaped Hardie shingle siding.

A hipped-roof porch will project from the northeast corner of the house. The porch will be supported by turned wood posts and feature wood tongue-and-groove porch flooring and a stained wood porch ceiling. The rear door will be accessed by a single wood step up to the back door.

First floor windows will be 36" wide by 72" long, one-over-one, double-hung vinyl windows. Egress windows on the south, east, and west elevation gable fields will be 36" by 42" casement windows. A 24" by 24" casement window is proposed for the front (north) gable field.

► **APPLICABLE DESIGN GUIDELINES:**

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

A. Height, Scale, & Massing

1. Foundation heights should be consistent with other pre-1940 buildings in the neighborhood.
2. Single-family detached infill housing should be proportional to other pre-1940 houses in terms of height and width.

B. Roofs



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1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.
2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs and dormers.
3. Use roofing materials that are in keeping with the historic development styles. Asphalt shingle, tile, pressed metal, and slate were used.
4. Darker shades of shingles were historically used and should be selected in new construction.

C. Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.
2. Porches should be no less than 6 feet deep and no more than 10 feet deep. They may be recessed behind the main setback line or alternatively can extend 10 feet into the front setback line.

D. Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl), shingle (or shingle-like material), or brick should be used.
4. Quarried, square cut stone can be used on porches or other accents. Such stone should be used in constructing retaining walls.

E. Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.
2. Windows should be double-hung sash windows. Vinyl or metal-clad windows may be used in place of wood frame windows.
3. Accent windows are appropriate with new construction.
4. Double-hung sash windows are recommended for two to three-story new construction.
5. Variations of double-hung windows should be considered in relation to the design of new buildings. Inserts are acceptable to mimic traditional window forms.
6. The proportions of upper level windows should not exceed the proportion of the first level.
7. Upper level windows should be provided and aligned with doors.
9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.
10. When parking areas are provided behind buildings, rear entrances are also allowed.

F. Parking

1. In new building construction, the front yard space shall not be used for parking.
2. Provide parking access off the alley or off a side street.
3. Plant one native shade tree for every fifty feet of lot width, adjacent to or as islands within the parking area.
4. In constructing residential parking, 8.5-foot stall widths and 24-foot lane widths may be used for 90-degree angled parking lots.
7. Surface parking area shall always be to the rear of the building.



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G. Landscaping, Fencing, & Retaining Walls

1. Plant one native shade tree (e.g. oak or maple) and one ornamental tree (e.g. dogwood) in both the front and rear yards or every 50 feet of lot width.
2. Plant shrubs near new buildings to complement the foundation height, windows, and entries.
5. Keeping with tradition, low, square cut stone, poured concrete, or brick walls should be used in constructing retaining walls.

I. Placement on the Lot: Traditional Lot Development

1. The front yard setback should be the same distance as the majority of pre-1940 houses on the block.
3. Porches should extend 8 to 10 feet into the front yard setback. Steps needed to reach the front of a porch may also extend into the front yard.
4. Bays, composing up to 50% of the side façade, should extend 5 feet into side yard setbacks on corner lots.
5. Bays, composing up to 60% of the front façade, should extend up to 8 feet beyond the predominant portion of the structure or alternatively a porch should extend along the front façade.
6. Site distances should be considered when designing new buildings near intersections. Porches, bays, and steps on corner buildings may have to be stepped back to provide adequate visibility.

COMMENTS:

Application was postponed from December 2019 meeting for submittal of scaled site plan, elevation drawings, and floor plan.

STAFF FINDINGS:

1. As the house on this property was demolished, any pre-existing nonconformities that were previously associated with the house have been lost and the applicant will be required to conform to the side setback and lot coverage requirements of the base zoning, or request the necessary variances.
2. The house's front setback is appropriate for the historic streetscape of Forest Avenue.
3. The house's overall footprint, one-and-one-half-story height, and rectangular massing reflect the historic context of the block and neighborhood.
4. The house features a foundation height consistent with the surrounding houses and appropriate for the sloped topography of the block.
5. The 9'-8" deep front porch is an appropriate form for the historic context and complements the existing rhythm of the streetscape. The proposed wood tongue-and-groove flooring and turned wood posts are appropriate materials.
6. The hip-and-gable roofline is appropriately complex for the context. Proportions and placement of the windows on the north, west, and south elevations are appropriate and provide transparency that reflects the historic context



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of the neighborhood. Based on recommendations in the December 2019 staff report, applicant has added one additional window on the rear section of the east elevation to provide additional transparency and better reflect historic proportions.

7. The proposed materials of a brick-clad porch foundation, HardiePlank lap siding, and an asphalt shingle roof are appropriate materials within the guidelines.

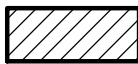
8. Per the guidelines, new construction should be complemented by one native shade tree per fifty feet of lot width in the front and rear yards. Two existing trees are located in the front yard and should be retained. One native shade tree should be planted in the rear yard.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the work as proposed, with the conditions that 1) one native shade tree be planted in the rear yard and 2) parking to meet requirements delineated in the City zoning ordinance.



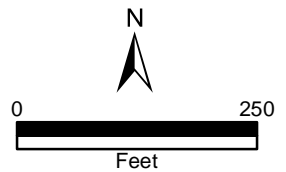
12-F-19-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1610 Forest Ave. 37916
Ft. Sanders NC-1

Original Print Date: 12/10/2019
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

11/25/19

12/19/19

12-F-19-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner Contractor Engineer Architect/Landscape Architect

John Holmes

Name

Company

5914 Gray Gables Dr

TN

37931

Address

City

State

Zip

423-231-4980

jholmes6@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

1610 Forest Ave

094ne015

Property Address

Parcel ID

Fort Sanders

R3/NC1

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett
Please Print

12-4-19
Date

John Holmes
Applicant Signature

John Holmes
Please Print

11/25/19
Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Reconstruction of original house. Existing window locations, door locations, roof pitch, gables sizes and locations, to remain. Original features of diamond accents in gables will be recreated with Hardi siding, along with the fascia and soffits. Porch foundation re-built with brick facade. House foundation rebuilt with smooth stucco finish. Front porch roof re-built and new turned post columns and railings.

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
FEE 2:		
FEE 3:		

1610 Forest Avenue

Materials List:

Fascia - 1x10 smooth Hardi
Soffits - Smooth Hardi vented soffit
Corner Boards - 1x6 Smooth Hardi Siding
Siding - 7 1/4" Smooth Hardi Siding
Gables - Diamond patterned Hardi Siding
to match original style
Gutters - 5" white metal
Shingles - Asphalt Weathered Slate

Porch:

2x2 square pickets
6" Turned Newell posts
3/4" Tongue and groove flooring

Foundation:

Brick facade for porch
Gray stucco for house

Windows:

Front Gable- 24"x24" casement
Side Gable Egress - 36"x42" Casement
Rear Gable Egress - 36"x42" Casement
Typical Windows - 36"x72" Double Hung
Stained glass accent - 18"x18" on East Side

All windows are Jeld Wen Vinyl, no dividers

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

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PAGE TITLE

DRAWINGS PROVIDED BY:

DATE:
1/4/2020

SCALE:

SHEET:

P-1

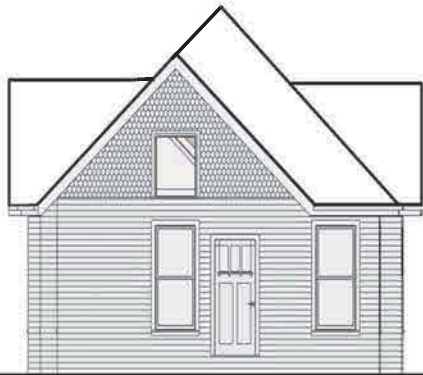
1610 Forest Avenue



Front Elevation

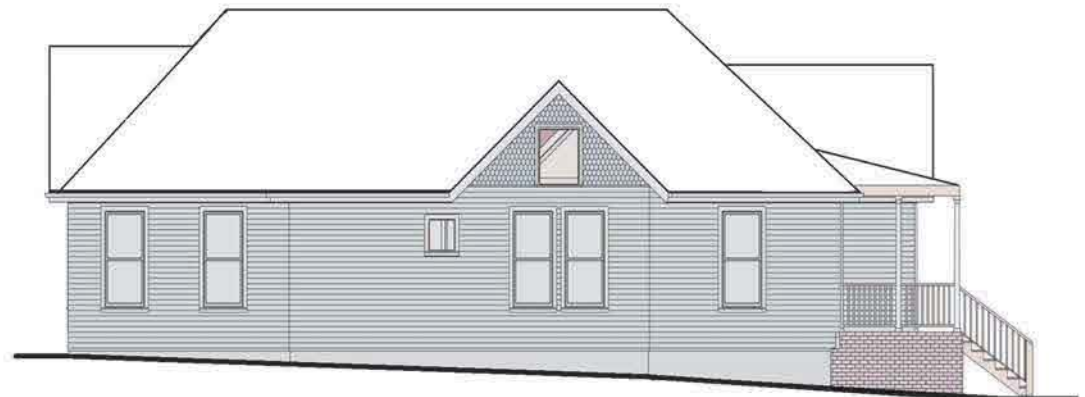


West Elevation

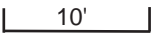


No step at rear, <8"

Rear Elevation



East Elevation

Scale:  10'

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWINGS PROVIDED BY:

DATE:

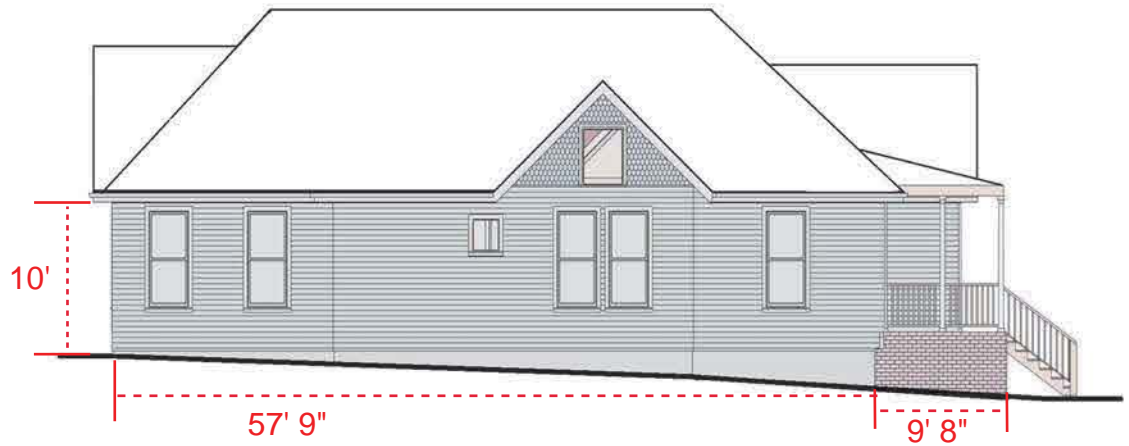
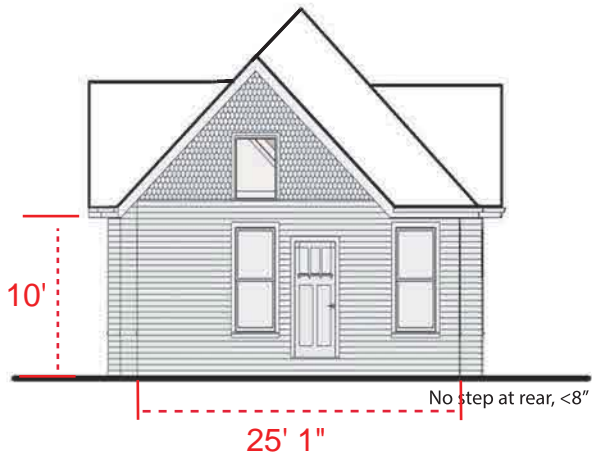
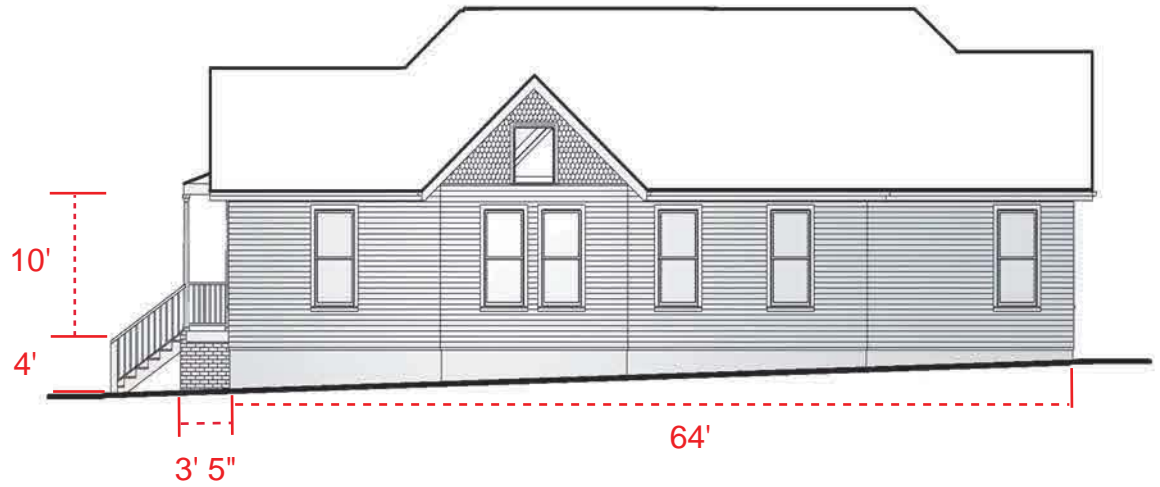
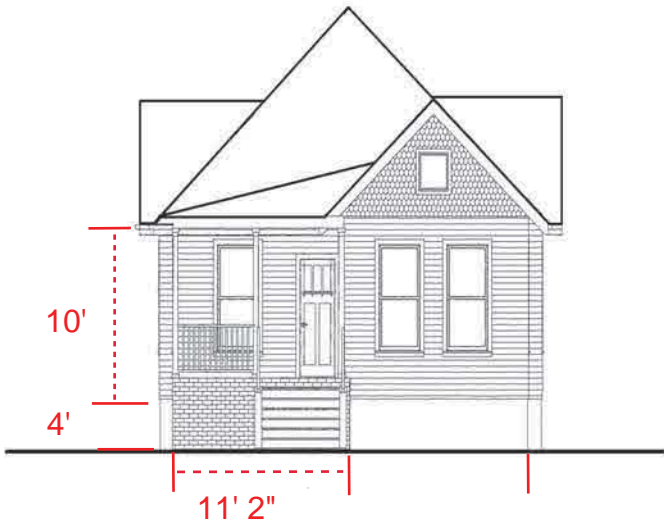
1/4/2020

SCALE:

SHEET:

P-1

1610 Forest Avenue



Scale: 10'

REVISION TABLE				
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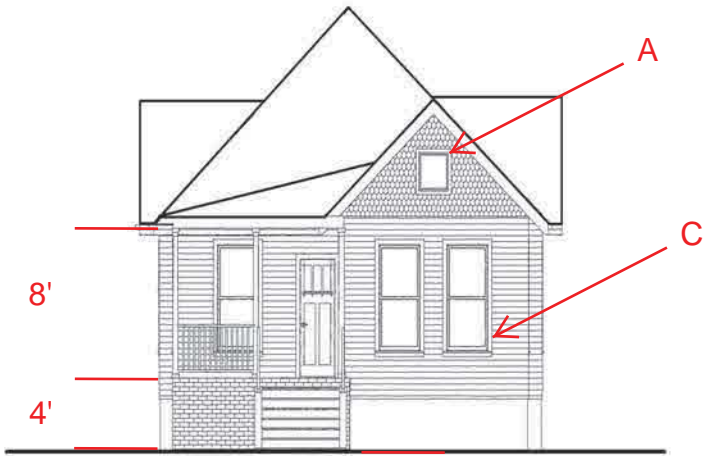
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1/4/2020

SCALE:

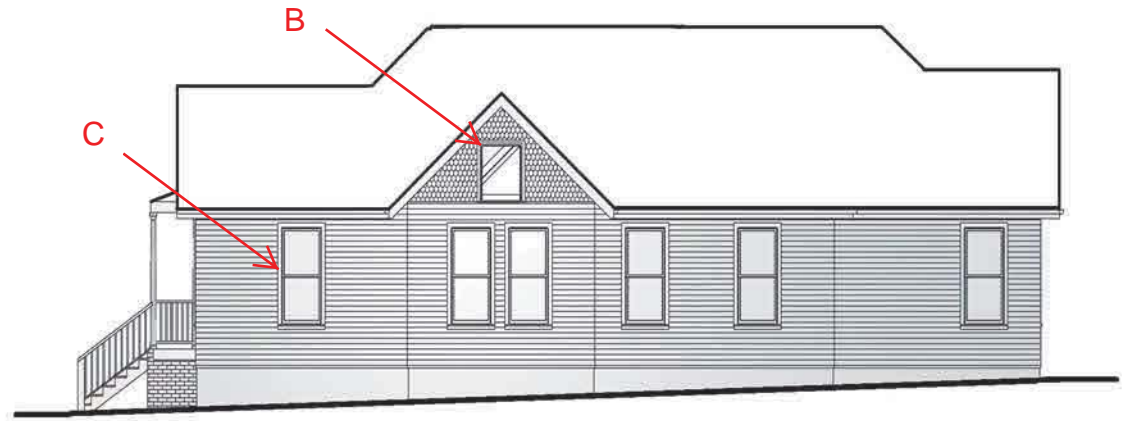
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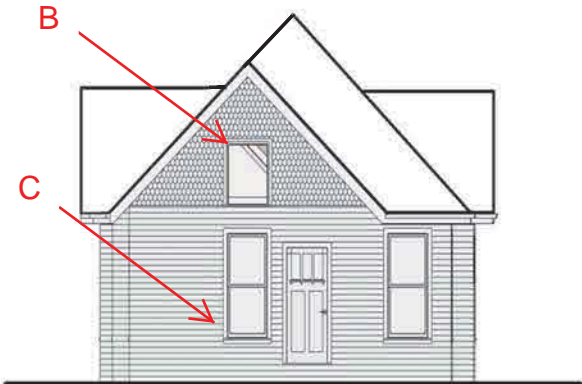
1610 Forest Avenue



Front Elevation

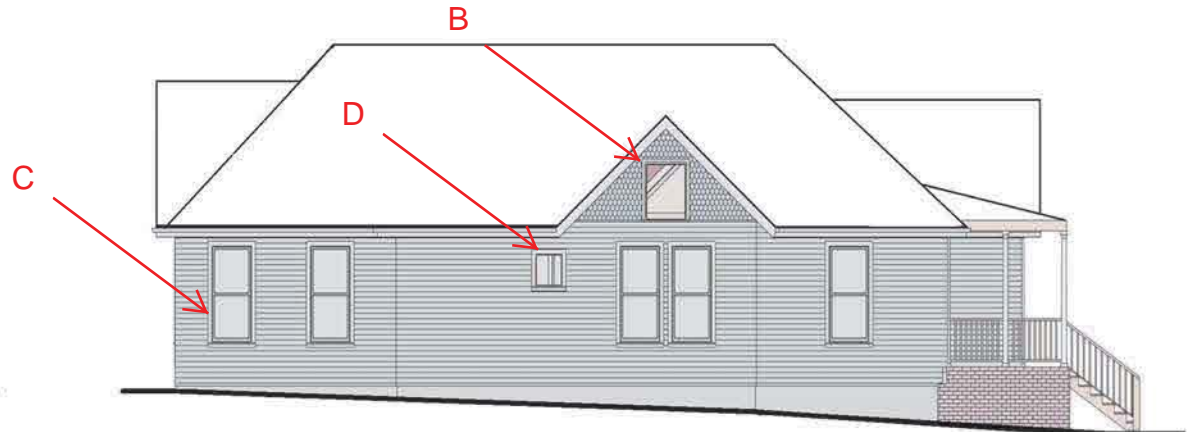


West Elevation



No step at rear, <8"

Rear Elevation



East Elevation

- A - 24"x24" Casement
 - B - 36"x42" Casement
 - C - 36"x72" Double Hung
 - D - 18"x18" Stained Glass
- All windows on main level are type "C" except the single stained glass window on East Side.

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

FOREST AVE.



98' TO R/W OF
SIXTEENTH ST.

38.00'
N 66°27' E

IPN

IPN

25.9'

23.2'

6.4'

6.4'

5.4'

5.4'

5.3'

150.00'
S 23°33' E

5.7'

6.7'

107

5.2'

6.2'

150.00'
N 23°33' W

108

109

108

60'

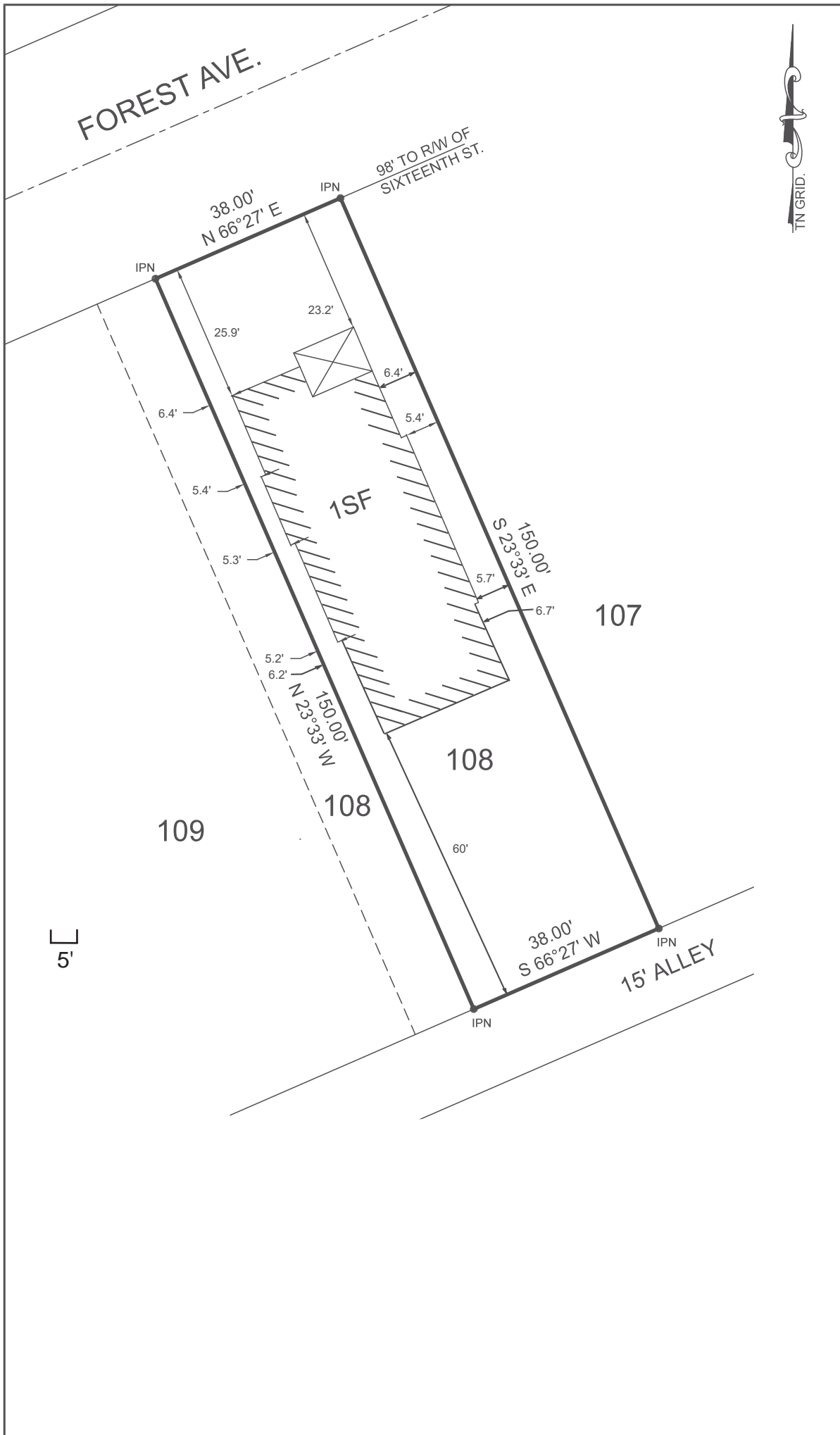
38.00'
S 66°27' W

IPN

IPN

15' ALLEY

5'

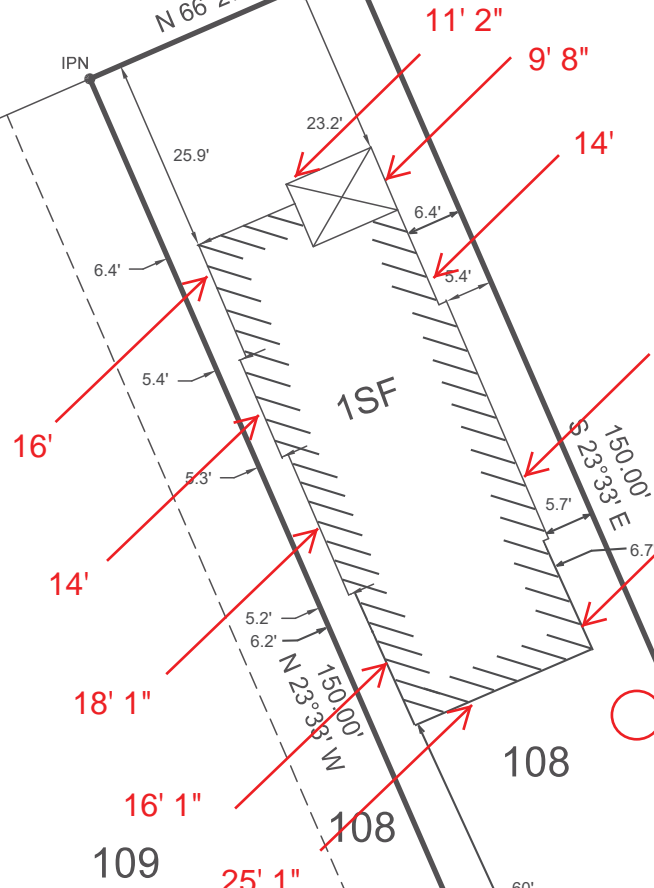


FOREST AVE.

98' TO R/W OF SIXTEENTH ST.



38.00' N 66°27' E
IPN



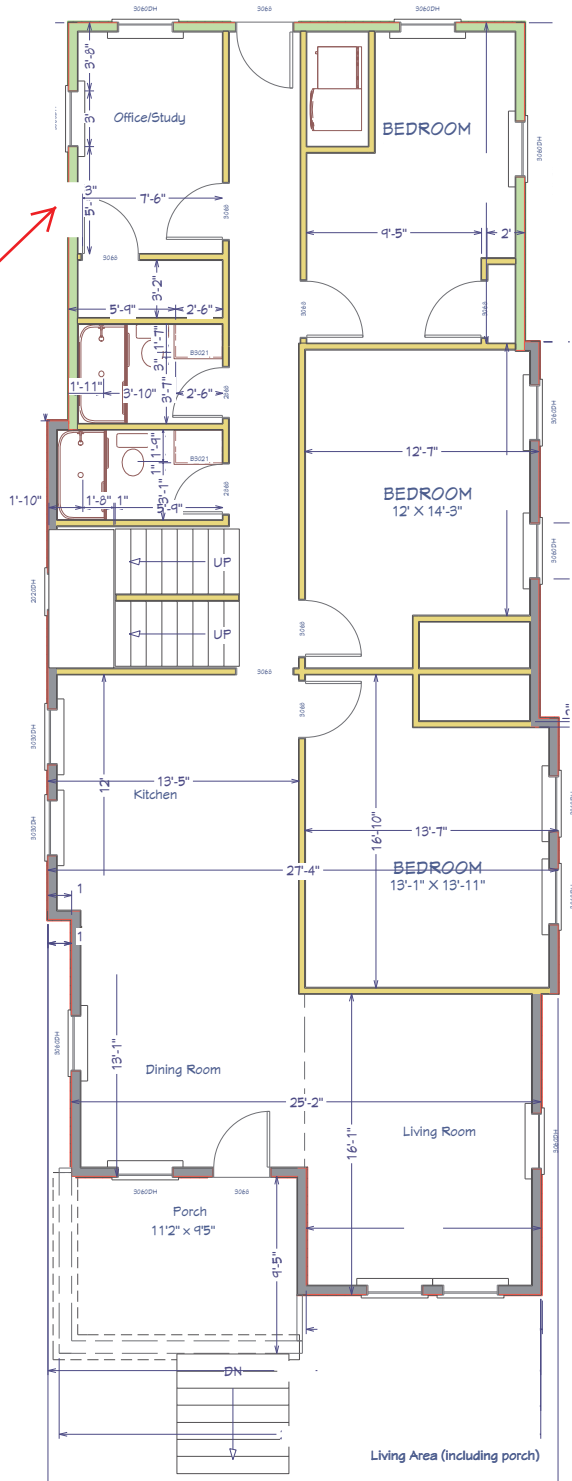
New Shade tree as recommended

Lot Coverage 30%
Allowed Coverage 35%
4 parking spaces, 9.5'w each
2 parking spaces required

1610 Forest Av - Cottage 5BR 4BA

1695 sf Living Area, 38 x 150ft Lot = 5,700sf Lot = 29% Lot Coverage

MAIN LEVEL



Additional window added as recommended at December 2019 meeting

Insulation: (Fiberglass Batts)

Walls - R20
 (Entire house wall sheathing will be replaced)
 Ceilings - R49 flats (R-30 Attic sloped areas)
 Floors - R19
 Crawlspace walls - R-10 XPS interior
 1/2" OSB sheathing per R316.5.4

Heat/Cooling:

14 Seer Split
 50,000 BTU Gas furnace
 R-8 Duct insulation
 Duct test required

Water Heater:

Electric 50gallon electric

Windows:

36" w x 72" H
 U-Factor - .29
 SHGC - .28
 No windows required to be tempered
 IRC302.1(1) - No windows <3' from property line

Exterior Walls:

7/16 OSB Sheathing
 2x2 added to exterior walls so that
 R20 insulation may be properly installed
 Vapor Barrier
 Hardi Siding

Framing:

Exterior walls existing 2x4 rough cut @ 16" O.C.
 2x2 added to existing exterior walls for insulation depth
 New Exterior walls 2x6 @ 16" O.C.
 New interior walls 2x4 @ 16" O.C.
 Floor sheeting 3/4" OSB
 Headers are 2x12 (2) (longest span 60")
 Existing ceiling joists are rough cut 2x8 @ 24"
 Ceiling joists replaced with 2x12 #2 prime @ 16" O.C.
 Floor joists replaced with 2x12 #2 prime @ 16" O.C.

Roof:

No changes, original framing @ 24" O.C. to remain
 new 2x10 collar ties and purlins to reinforce existing roof
 2x10 sister on all original roof joists
 Knee walls @ 4'
 New 1/2" sheathing and shingles
 New roof over addition is stick built 2x10 @ 16" O.C.

All doors have min 36" min landing
 Rear of property is a 6'x20' paver patio
 Front entry is on the porch

Fire wall:

None required

Front Porch:

rebuild front porch and roof
 Stucco Front
 replace tongue and groove flooring
 Replace joists with 2x8 PT as needed.

Radon:

3" PVC tee under vapor barrier installed through
 roof exten min of 1' above roof line

Door Landings:

Front door and rear door shall have min 36"x36"
 clear landing
 Plans show 15'x9.5' for front door
 Rear door opens to paver patio 6'x20'

Front Yard Facing North on Forest Av

Roof Plan

