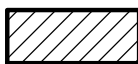


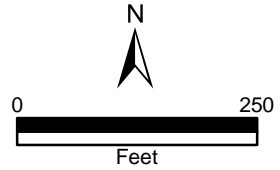
12-A-20-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



2057 Emoriland Blvd. 37917
Fairmont-Emoriland NC

Original Print Date: 12/2/2020
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Debra Sullivan





Staff Report

Knoxville Historic Zoning Commission

File Number: 12-A-20-HZ

Meeting: 12/17/2020
Applicant: Debra Sullivan
Owner: Debra Sullivan

Property Information

Location: 2057 Emoriland Blvd. **Parcel ID** 69 L C 034
District: Fairmont-Emoriland NC
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: Minimal Traditional with Colonial Revival influences, c.1939

One story frame with brick veneer wall covering. Side gable roof with asphalt shingle roof covering. Six over six double hung windows. Entablature at front entry with unroofed stoop. Exterior end brick chimney. Brick foundation. Rectangular plan.

Description of Work

Level II Construction of Addition or Outbuilding

Addition of porch to rear of house. Porch will align with left side of rear elevation, and measure 15'-11" wide by 10' long. Gable-roof porch is supported by three evenly-spaced 6" by 6" square wood beams, featuring an open gable with 2x8 wood rafters and a 7/12 roof pitch. Porch will feature a 36" tall balustrade of square wood pickets and 3/4" wood tongue-and-groove flooring.

Applicable Design Guidelines

Fairmont Park Neighborhood Conservation District Design Guidelines, adopted by the Knoxville City Council on November 26, 2002.

A. New Development and Additions

1. The design of additions and accessory buildings should be consistent with the character of the main structure.
4. The recommended location for additions is to the rear or side of existing buildings.

C. Materials

2. If an addition is made to an existing house, the wall cladding materials should duplicate those on the existing house, or as shown on the matrix on page 00.
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Comments

N/A

Staff Findings

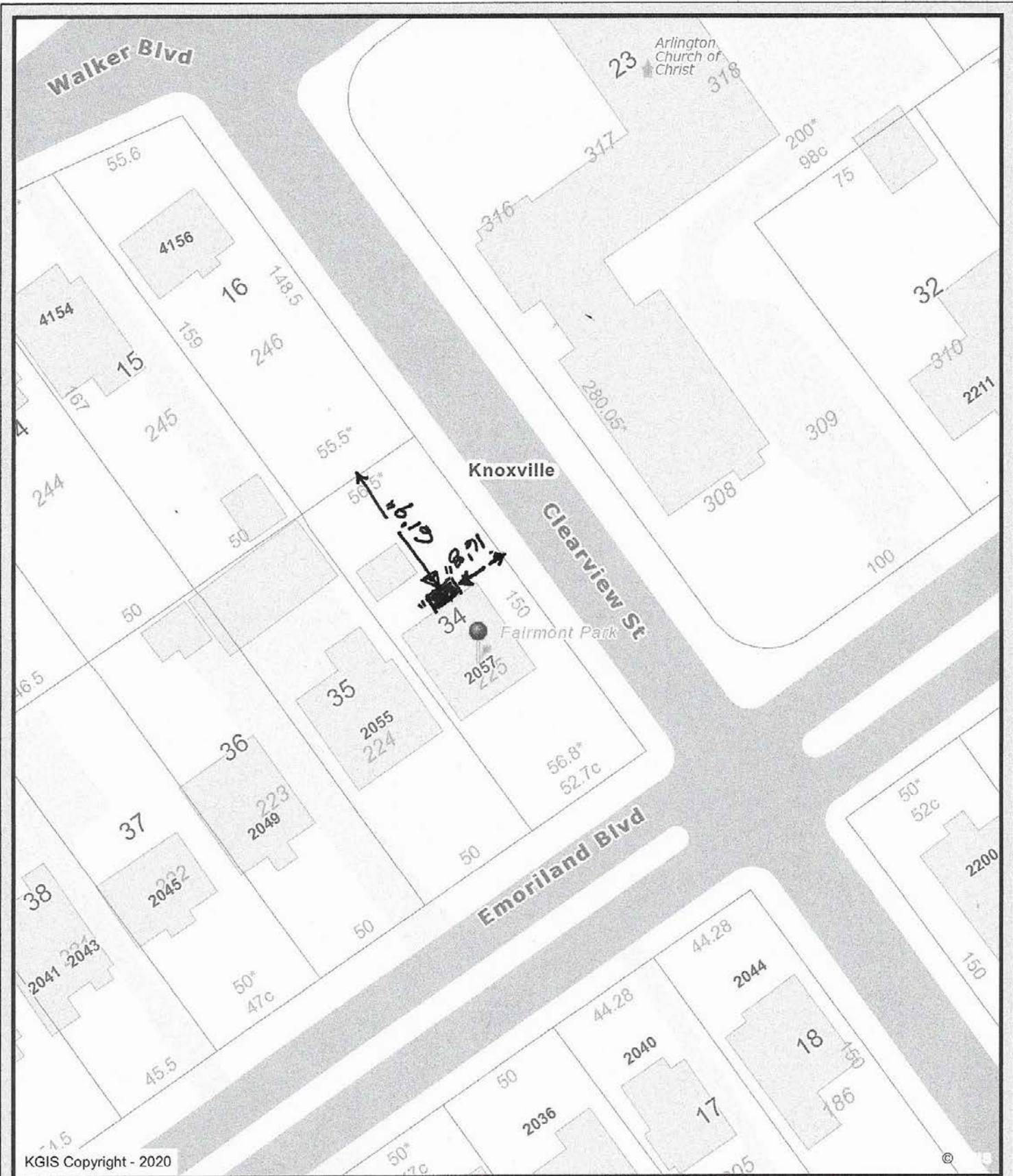
1. 2057 Emoriland Blvd is a contributing resource to the Fairmont-Emoriland NC overlay.
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2. Placement of a small porch on the rear elevation is appropriate. The proposed porch meets the side and rear setback guidelines of the base zoning and does not exceed the overall lot coverage on the property. The house is located on a corner lot, so the porch will be visible from the public right-of-way, especially on Clearview Street.

3. The primary residence is a Colonial Revival-influenced Minimal Traditional, with a simple brick masonry exterior, double-hung wood windows, and a wood-sided rear gable. The porch uses a simple design and materials that are complimentary to the primary residence. The 7/12 porch roof is compatible with the house.

Staff Recommendation

Staff recommends approval of the work as submitted.



2057 Emoriland Blvd
SITE PLAN

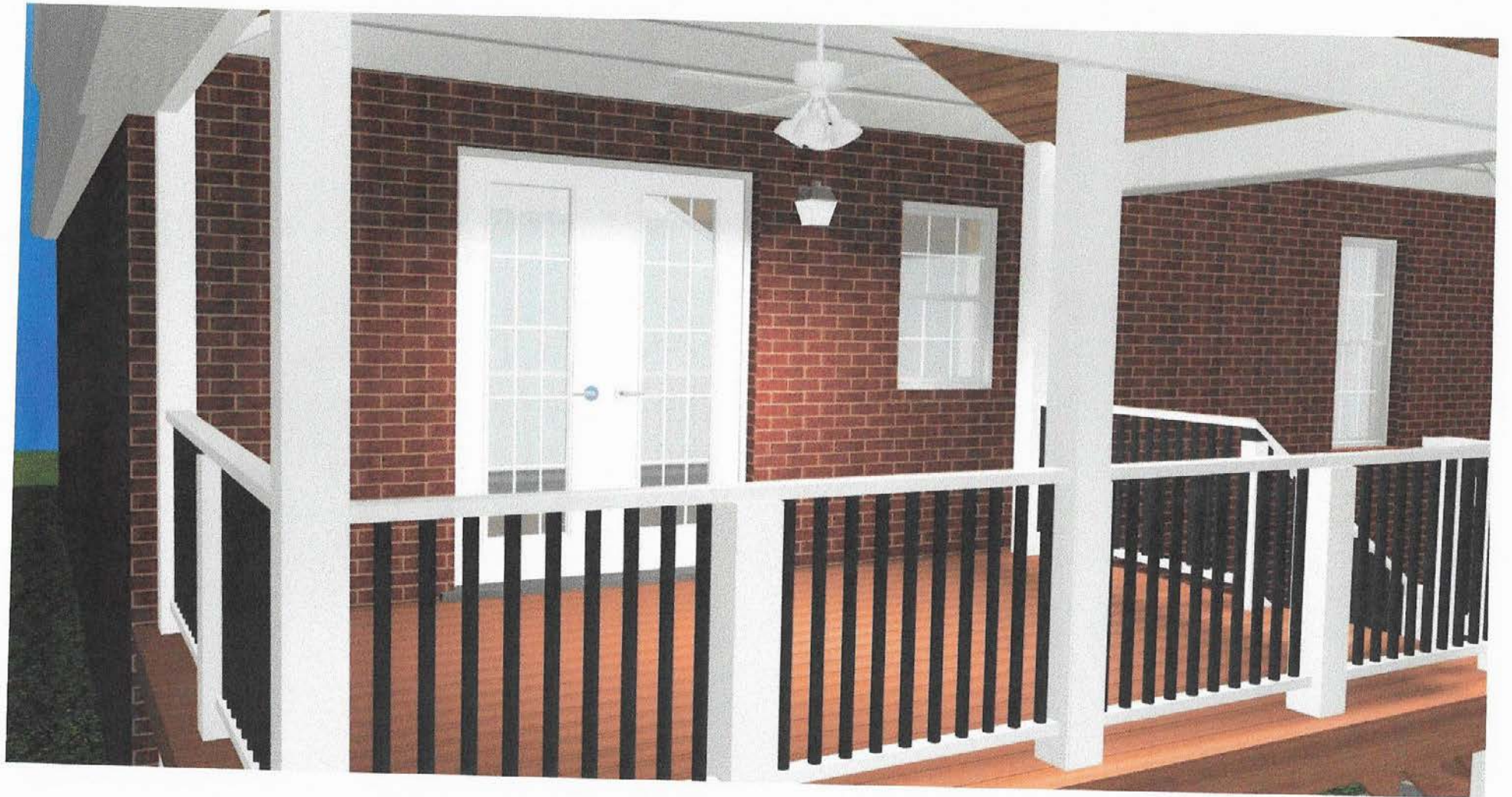
Knoxville - Knox County - KUB Geographic Information System

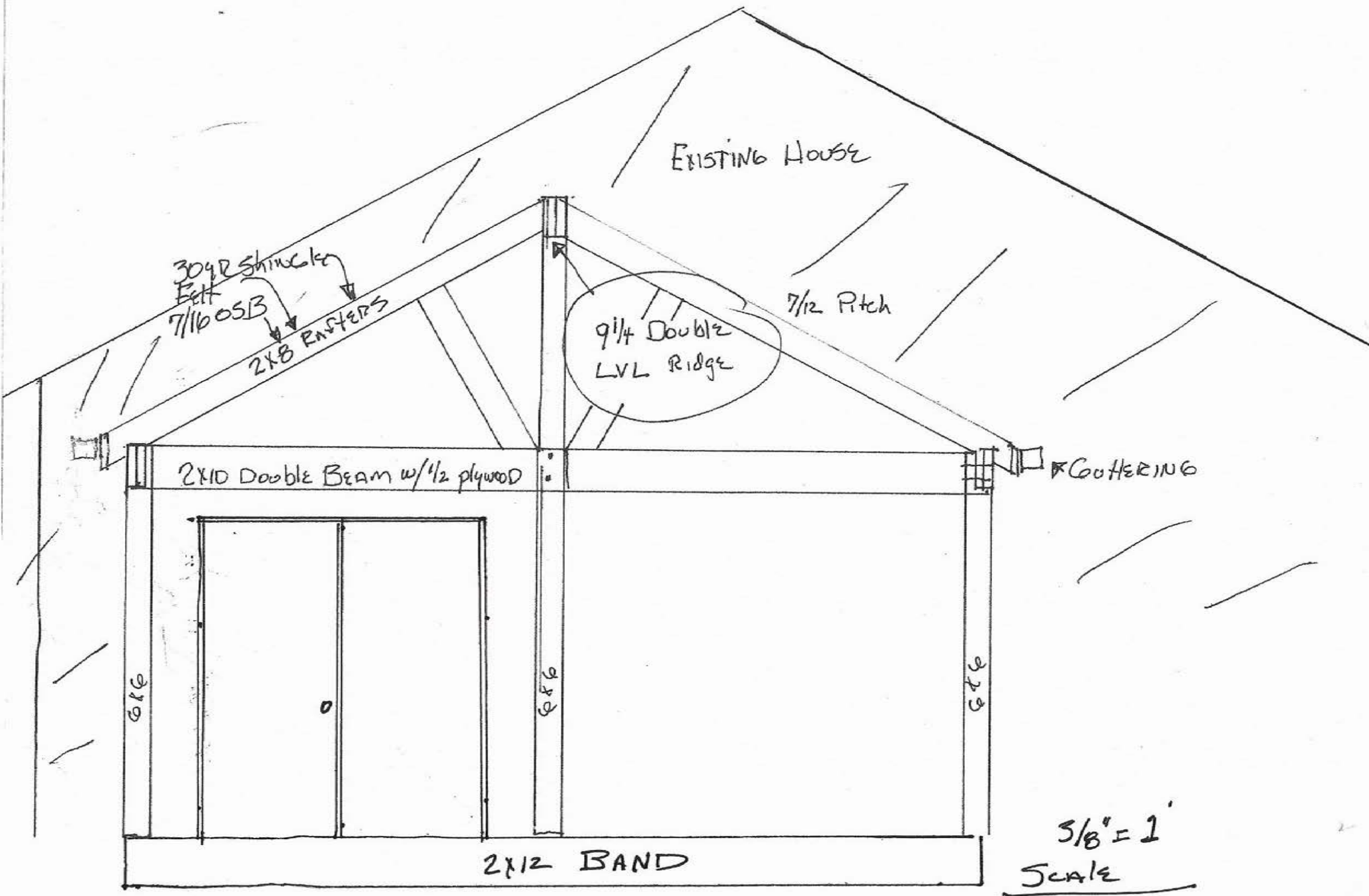
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EXISTING HOUSE

7/12 Pitch

30yr Shingles
Felt
7/16 OSB
2x8 RAFTERS

9 1/4 Double
LVL Ridge

2x10 Double Beam w/ 1/2 plywood

GUTTERING

6x6

6x6

6x6

2x12 BAND

3/8" = 1'
SCALE

