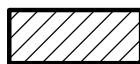




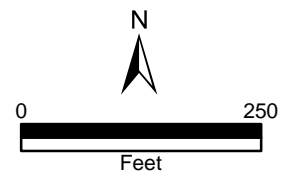
**8-K-20-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



**215 W. Glenwood Ave. 37917**  
**Old North Knoxville H-1**

Original Print Date: 8/7/2020  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Aaron Pennington





# Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 8-K-20-HZ

**PROPERTY LOCATION:** 215 W. Glenwood Ave. / Parcel ID 81 L F 027

**DISTRICT:** Old North Knoxville H-1

---

**MEETING DATE:** 8/20/2020

**APPLICANT:** Aaron Pennington

**LEVEL OF WORK:** Level II. Construction of addition or outbuilding

---

**PROPERTY DESCRIPTION:** Craftsman with Neoclassical influence, c.1925

Two-story frame residence clad in brick, resting on a brick foundation. House features a hipped roof with a lower front gable, featuring partial cornice returns and eave overhangs, and sawn wood brackets. A hipped-roof front porch extends the length of the façade, supported by square brick columns.

Outbuilding: c. 1926. One-story carriage house with a hipped roof clad in asphalt shingles, with exposed rafter tails and an interior offset brick chimney.

---

► **DESCRIPTION OF WORK:**

Carriage house: rehabilitation of existing carriage house to serve as an accessory dwelling unit. Carriage house will receive new standing seam metal roof, repair to damaged rafter tails, repair to existing stucco with cementitious stucco to match surrounding conditions, and a new metal K-style gutter with round downspouts. A new fence will be installed along the property line.

- North (alley) elevation to receive a new shed-roof dormer centrally located on the north roof slope. The dormer will receive painted four-light wood windows and rafter tails to match existing. Existing non-historic garage doors will be removed and openings will receive four sets of three-light wood casement windows with patterned glass. new masonry infill, clad in stucco to match existing exterior materials. Masonry infill to be set back 2" from face of adjacent exterior wall. Repair to existing stucco. Additional set of wood windows on right side.
- South elevation (fronting house) to receive paired wood casement windows and a new masonry infill wall (clad in stucco) in the existing opening below the windows. A new half-light wood door will be installed in existing opening. Additional set of wood windows on the right side of the elevation.
- West elevation to receive paired wood windows.

Rear addition: a 24' wide by 11' deep two-story addition proposed for rear (north) elevation. Rear elevation currently has a hipped-roof sunporch which is enclosed with single-light windows, which will be incorporated into the addition. Addition will feature a hipped, standing seam metal roof, with a pitch to match the slope of the existing roof, and painted wood corbels to match those on the existing house. Painted wood corbels will also separate the first and second stories of the addition.

# Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 8-K-20-HZ

- North elevation: Second story to feature screened windows in wood frames above painted wood shake siding, and first story will have painted single-light wood windows above brick siding and a brick foundation.
- West elevation: Window and siding patterns continue from north elevation; first story will feature a centrally-located single light wood door.
- East elevation: Window and siding patterns to continue from north elevation, with additional painted wood shake siding on first story.

---

► **APPLICABLE DESIGN GUIDELINES:**

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

L. Additions

1. Locate exterior additions at the rear of or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building, and using appropriate proportions.
2. Design new additions so that it is clear what is historic and what is new.
3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district. Additions shall be distinguishable from the historic building, but shall be compatible in terms of mass, materials, size, texture, and scale. Additions shall be designed so they can be removed without destroying the form of the historic building.
4. New additions should not be visible from streets.
6. Do not cause a loss of historic character through a new addition.

M. Auxiliary or Outbuildings

1. The design of outbuildings such as garages shall acknowledge and suggest the function of original outbuildings that would have been located in the neighborhood.
2. The design of features like garage doors that face the street shall mimic carriage house doors from an era consistent with the primary building on the lot.
4. Materials used in constructing outbuildings or accessory buildings may only use materials and design characteristics selected from the following list: wood lap siding with a four inch lap or board and batten, a 12/12 roof pitch, overhanging eaves, exposed rafter tails, wood windows, masonry but not exposed concrete block or split face block, garage doors appearing to be carriage doors or plank doors with x-bracing or perimeter reinforcing timbers.

---

**COMMENTS:**

N/A

**STAFF FINDINGS:**

1. Both the primary house and the carriage house at 215 W. Glenwood are listed as contributing structures to the Old North Knoxville National Register Historic District. The carriage house has received modifications since its initial listing on the NRHP in 1992, including stucco siding.
2. The carriage house is not visible from W. Glenwood Avenue and would be very minimally visible from Fremont

# Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 8-K-20-HZ

Place, due to vegetation.

3. The rehabilitation of the carriage house maintains the appearance of the structure's original use, including the inset masonry infill of the garage doors on the north elevation alley.

4. The materials proposed for the carriage house, including a standing seam metal roof, wood windows, overhanging eaves, and exposed rafter tails, are appropriate within the design guidelines. The dormer addition is modest in size and its roof profile and materials will complement both the carriage house and the proposed rear addition. No historic material is being removed or altered for the rehabilitation of the carriage house.

5. The proposed addition is located at the house's rear, in a location not visible from the public right-of-way. The existing rear elevation features a non-historic enclosed sunporch and a second-story door. Placement of the addition is appropriate, and no character-defining features will be altered or removed for the addition. The overall mass of the addition is compatible with the historic house.

6. The addition features a hipped roof that is set lower than the existing roofline, with a pitch that reflects the existing house. Standing-seam metal roofing is an appropriate material within the guidelines and will distinguish the addition from the existing house.

7. Materials, such as the brick to match the existing, wood windows, and a wood full-light door are complementary to the existing house. The wood shakes introduce a new material element to the house, but are limited to small sections of the house, appropriate for the house's Craftsman origins, and will not be visible from the street.

8. Character-defining details of the house, including the brick exterior, eave overhangs, and the wood corbelling, are incorporated into the addition's design.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the work as proposed.



## DESIGN REVIEW REQUEST

☐ DOWNTOWN DESIGN (DK)

☒ HISTORIC ZONING (H)

☐ INFILL HOUSING (IH)

Aaron Pennington

Applicant

8-3-2020

8-20-2020

8-K-20-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

Aaron Pennington

Name

Company

935 Eleanor Street

Knoxville

TN

37917

Address

City

State

Zip

865-696-6137

pennington.aaron@gmail.com

Phone

Email

## CURRENT PROPERTY INFO

Julie Belcher

215 W. Glenwood Ave.

865-405-8275

Owner Name (if different from applicant)

Owner Address

Owner Phone

215 W. Glenwood Ave.

081LF027

Property Address

Parcel ID

Old North

RN-2 / H overlay

Neighborhood

Zoning

## AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

8.3.2020

Staff S

Please Print

Date

Aaron Pennington

Aaron Pennington

8-3-2020

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs    ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure    ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HISTORIC ZONING

Level 1:

- ☐ Signs    ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials    ☒ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure    ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☒ Brief description of work: Renovation of existing garage (carriage house) into an accessory dwelling. Carriage house will have a dormer addition.  
Addition to primary residence which will create new conditioned space on the ground level and a covered screened porch above it.  
\_\_\_\_\_

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities    ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street    ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure  
☐ Site built    ☐ Modular    ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

STAFF USE ONLY

ATTACHMENTS

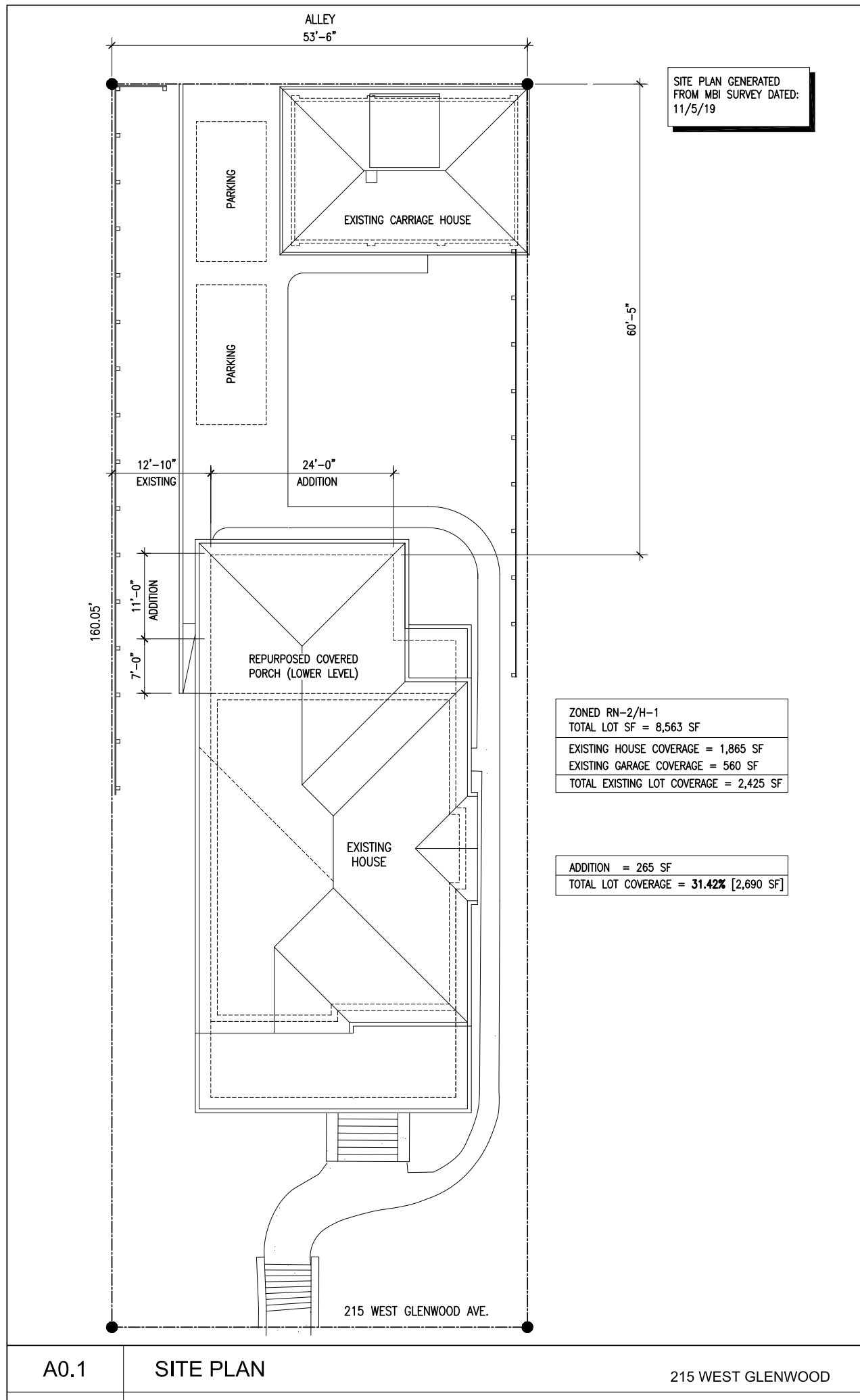
- ☐ Downtown Design Checklist  
☐ Historic Zoning Design Checklist  
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

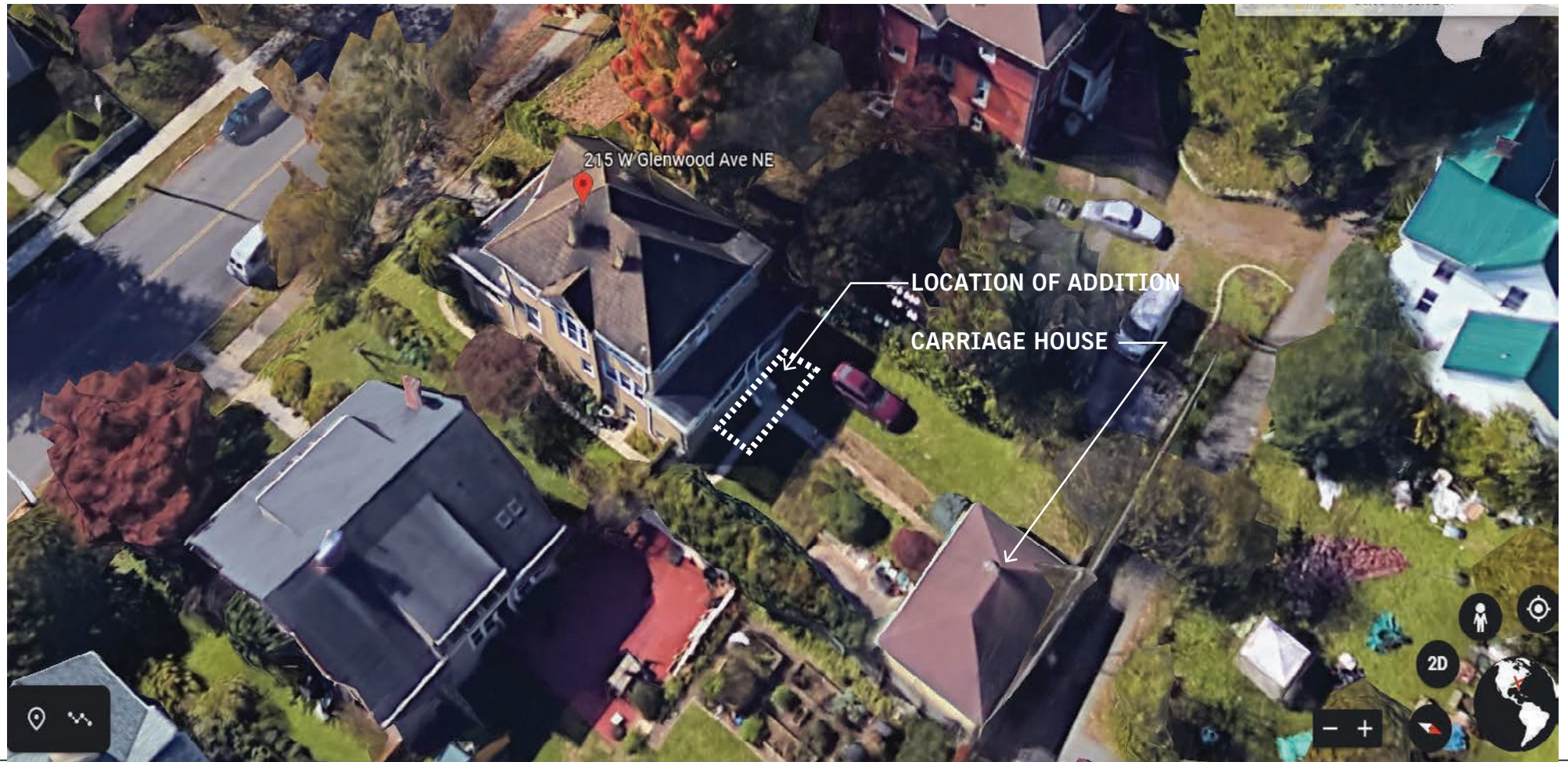
- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	TOTAL:
FEE 2:	
FEE 3:	







EXISTING CONDITIONS

NTS

215 W. GLENWOOD





	EXISTING CONDITIONS	
	NTS	215 W. GLENWOOD [CARRIAGE HOUSE]





## EXISTING CONDITIONS

NTS

215 W. GLENWOOD [PRIMARY RESIDENCE]

NEW SHED DORMER  
WITH PAINTED  
WOOD WINDOWS

PAINTED WOOD RAFTER  
TAILS. MATCH PROFILE  
OF EXISTING  
STRUCTURE

PAINTED WOOD  
WINDOWS WITH TRUE  
DIVIDED LITES.

PAINTED WOOD  
WINDOWS WITH TRUE  
DIVIDED LITES.  
GLAZING TO BE  
PATTERNED GLASS TO  
OBSCURE VIEW. TYPICAL  
FOR (4) SASHES.

NEW MASONRY INFILL  
WALL IN EXISTING  
OPENING BELOW  
WINDOWS. COVER WITH  
CEMENTITIOUS STUCCO  
TO MATCH TEXTURE OF  
EXISTING STRUCTURE  
AND PAINT. HOLD NEW  
INFILL BACK 2" FROM  
FACE OF ADJACENT  
MATERIAL

EXISTING STUCCO  
COVERED CHIMNEY WITH  
NEW METAL CAP

NEW STANDING SEAM  
METAL ROOF

REPAIR DAMAGED  
RAFTER TAILS AS  
NEEDED TO MATCH  
SURROUNDING  
CONDITIONS. PAINT

NEW METAL K STYLE  
GUTTER AND ROUND  
DOWNSPOUTS

NEW FENCE

PAINTED WOOD WINDOW WITH  
TRUE DIVIDED LITES IN  
EXISTING MASONRY OPENING

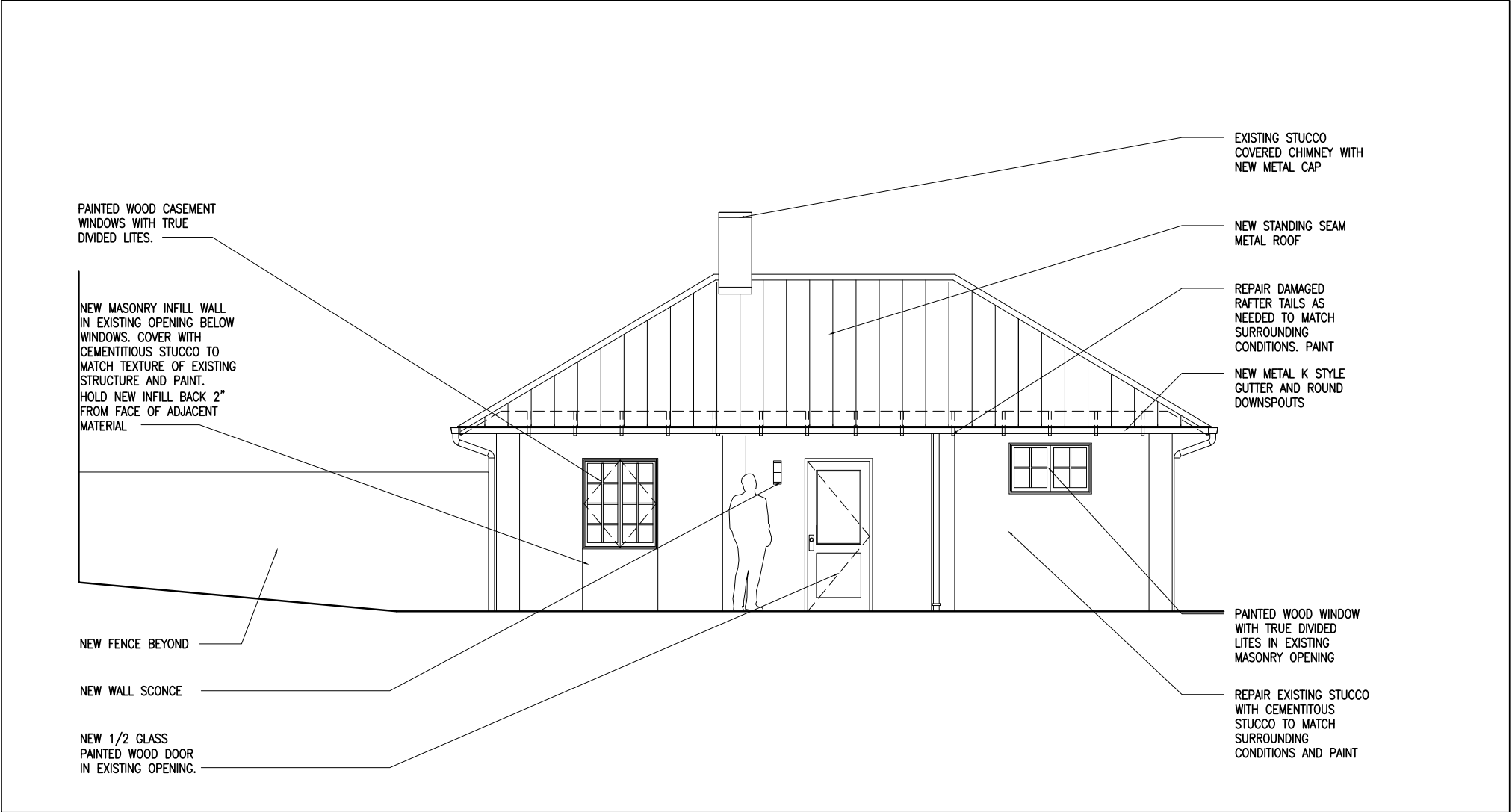
REPAIR EXISTING STUCCO  
WITH CEMENTITIOUS  
STUCCO TO MATCH  
SURROUNDING  
CONDITIONS AND PAINT

01

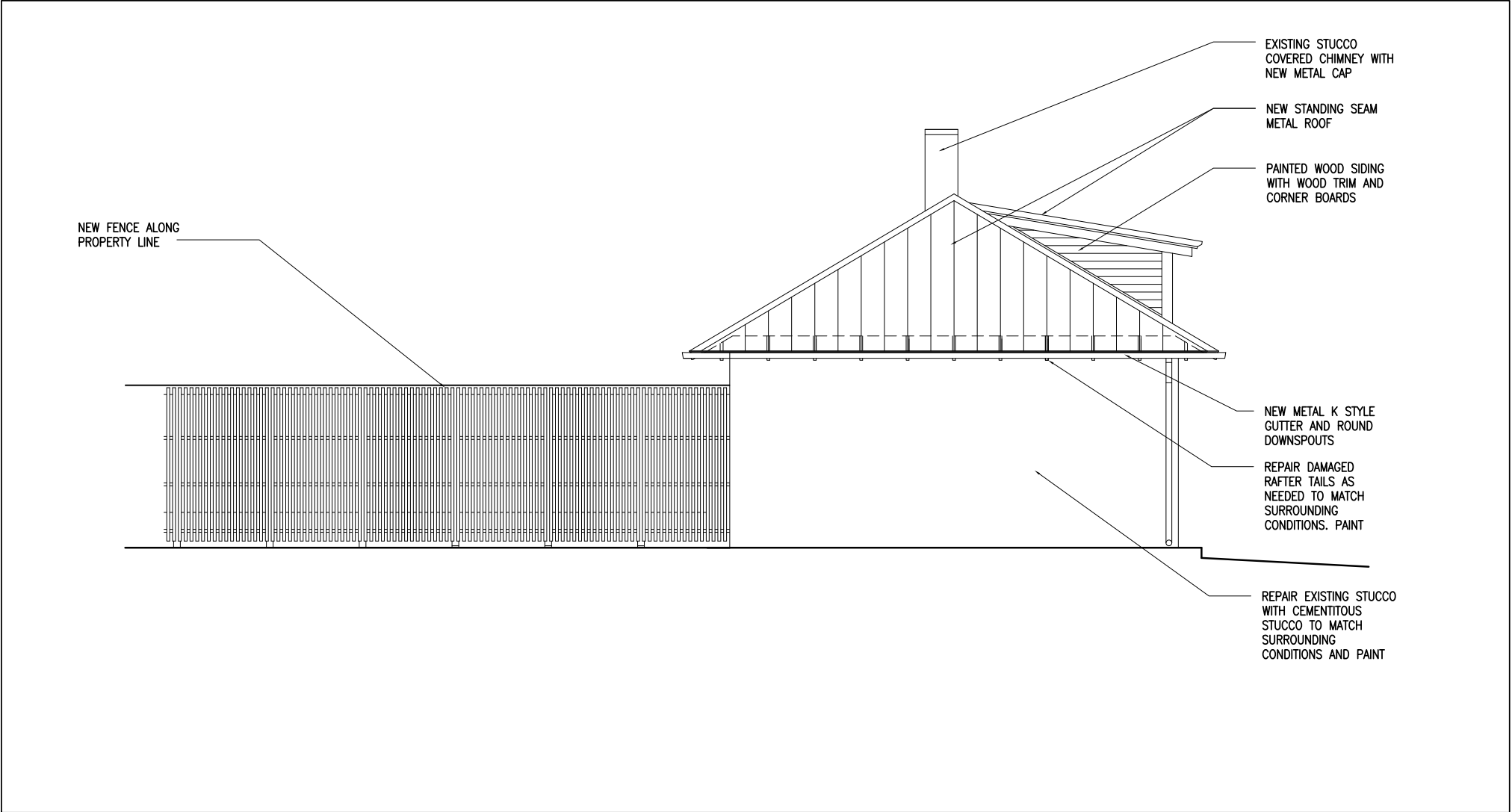
## NORTH ELEVATION (ALLEY)

1/4" = 1'-0"

215 W. GLENWOOD [CARRIAGE HOUSE]



02	SOUTH ELEVATION
	1/4" = 1'-0"
	215 W. GLENWOOD [CARRIAGE HOUSE]



03	EAST ELEVATION	
	1/4" = 1'-0"	215 W. GLENWOOD [CARRIAGE HOUSE]

EXISTING STUCCO  
COVERED CHIMNEY WITH  
NEW METAL CAP

NEW STANDING SEAM  
METAL ROOF

PAINTED WOOD SIDING  
WITH WOOD TRIM AND  
CORNER BOARDS

NEW METAL K STYLE  
GUTTER AND ROUND  
DOWNSPOUTS

REPAIR DAMAGED  
RAFTER TAILS AS  
NEEDED TO MATCH  
SURROUNDING  
CONDITIONS. PAINT

PAINTED WOOD WINDOW  
WITH TRUE DIVIDED  
LITES IN EXISTING  
MASONRY OPENING

REPAIR EXISTING STUCCO  
WITH CEMENTITIOUS  
STUCCO TO MATCH  
SURROUNDING  
CONDITIONS AND PAINT

NEW FENCE BEYOND  
ALONG PROPERTY LINE

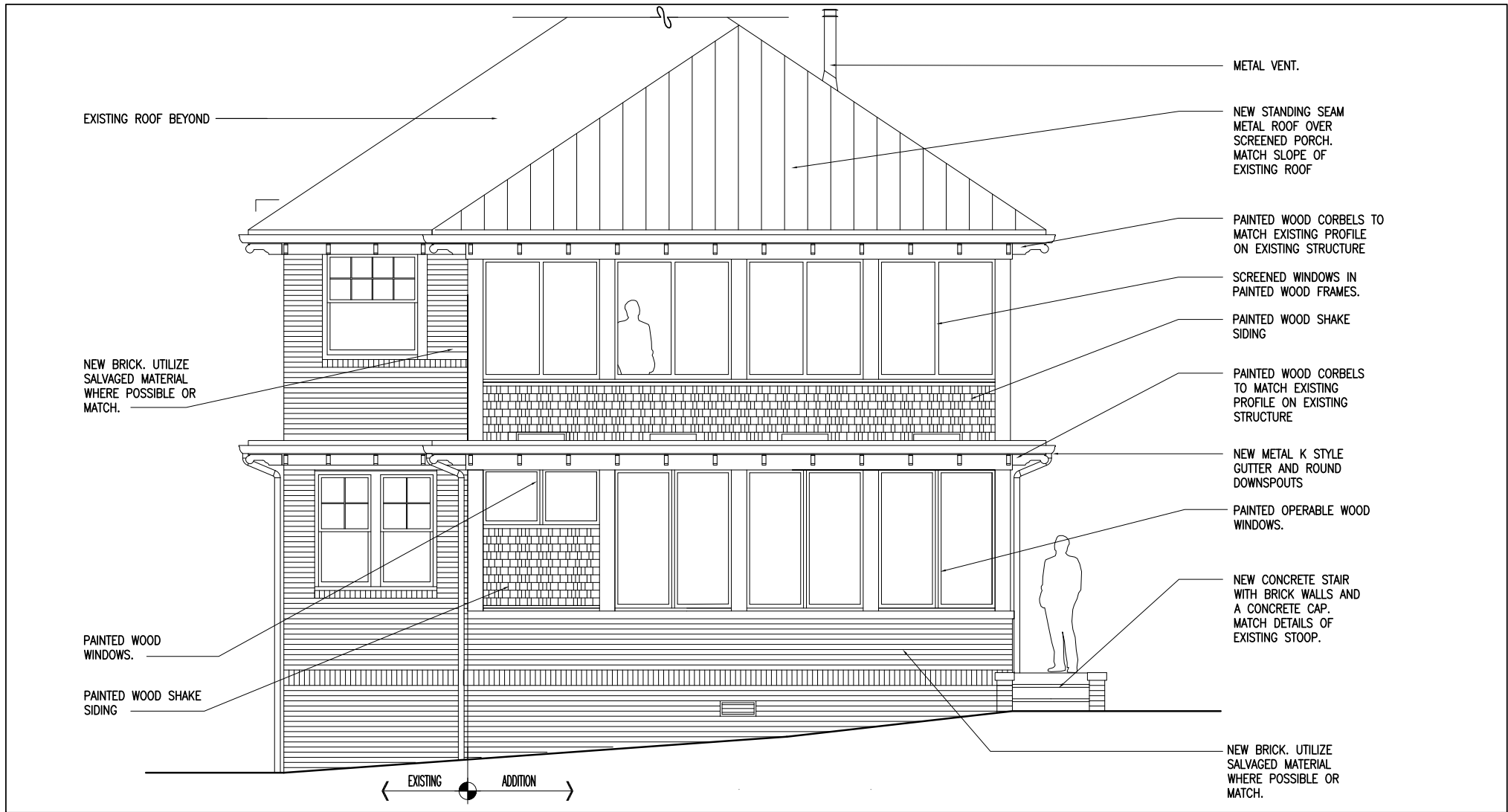
04

WEST ELEVATION

1/4" = 1'-0"

215 W. GLENWOOD [CARRIAGE HOUSE]





05

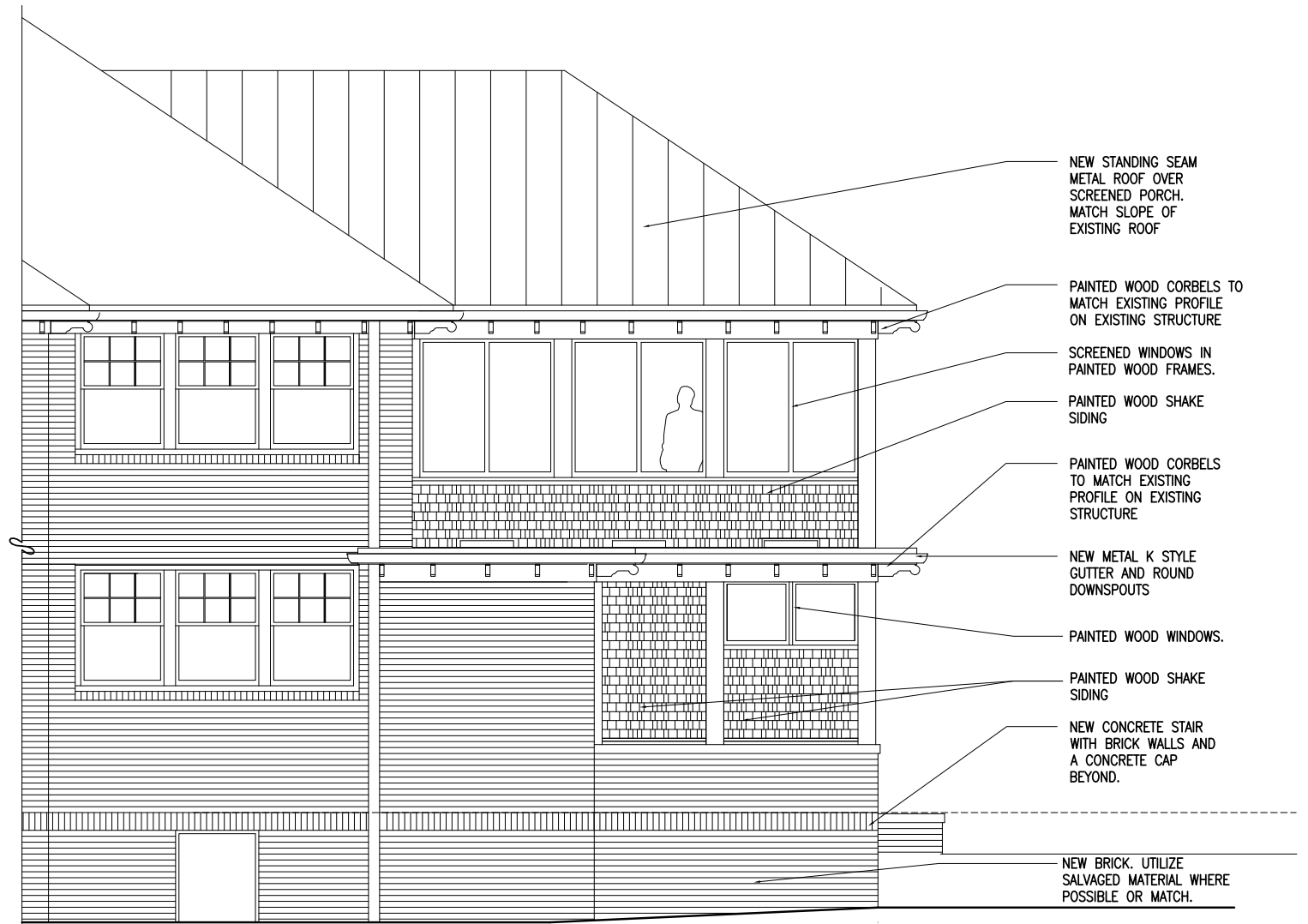
## NORTH ELEVATION

1/4" = 1'-0"

215 W. GLENWOOD [ADDITION]



06	PARTIAL WEST ELEVATION	
	1/4" = 1'-0"	215 W. GLENWOOD [ADDITION]



07

## PARTIAL EAST ELEVATION

1/4" = 1'-0"

215 W. GLENWOOD [ADDITION]



View from sidewalk, photographer facing northwest



View from sidewalk, photographer facing northeast