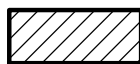




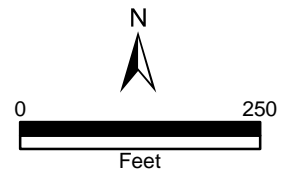
8-J-20-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1702 Highland Ave. 37916
Ft. Sanders NC-1

Original Print Date: 8/7/2020
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes





Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 8-J-20-HZ

PROPERTY LOCATION: 1702 Highland Ave. / Parcel ID 94 N L 016

DISTRICT: Ft. Sanders NC-1

MEETING DATE: 8/20/2020

APPLICANT: John Holmes

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Queen Anne Cottage, c.1910

One-and-one-half-story masonry residence with a hipped roof with four lower gables projecting to the east and west elevations. Multiple significant alterations, including several shed-roof additions on west elevation, dormer additions, and a rear addition. House features masonry exterior with projecting bay windows, full cornice returns, and an enclosed front porch.

► **DESCRIPTION OF WORK:**

Full exterior rehabilitation. House has received numerous modifications since its original design as a prominent house on a corner lot, including the accommodation of six separate apartments on the interior; this rehabilitation aims to restore historic features. Original features to be preserved include steeply-pitched primary hipped roofline, four projecting side gables with wide eave overhangs and cornice returns (two on each side), brick masonry exterior, projecting masonry bays on east elevation, and large window openings. Applicant will restore corner wrap-around porch as visible on 1917 Sanborn maps, and remove and reconstruct non-historic side additions.

Façade (north elevation):

- Removal of non-historic enclosed front and side porch. Scope will include reconstruction of hipped roof, front porch, which will wrap around east elevation. Proposed porch details include a square cornice, 6x6 turned posts, a balustrade of square wood pickets, tongue-and-groove flooring, and a shiplap porch ceiling.
- Removal of non-historic façade dormer
- Reconstruction of shed-roof addition on façade, including foundation. Foundation reconstruction will incorporate existing brick on façade (with CMU behind).

East elevation (fronting 17th Street):

- Removal of enclosed front and side porch. Front porch will wrap around east elevation, with a hipped roof. Porch foundation will be reconstructed using historic brick as cladding for CMU foundation.
- Side porch and gable-roof dormer above will be reconstructed. Porch will receive new brick-clad foundation, round columns, and a shed roof with design and eave overhangs to reflect original. Reconstructed dormer will be centered between existing gables.
- Removal of metal stairs.



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South elevation (rear):

- Removal of non-historic rear addition.
- Repair to masonry.

West elevation:

- Removal of multiple non-historic, structurally unsound side additions.
- Reconstruction of existing shed-roof dormer. Reconstructed dormer will be centered between gables.
- Side additions (towards rear) will be replaced with one new shed-roof addition. Addition will feature fiber cement board siding and three one-over-one, double-hung windows. Existing footprint will not be expanded.
- Repairs to masonry foundation on section highlighted on application drawings in green. Reconstruction of this section of masonry foundation/wall will re-use existing brick and install a new footing behind.

Work also includes: repair to existing foundation brick, replacement of front and side doors, replacement of windows with 1/1 double-hung vinyl windows; replacement of fascia, soffits, and gutters; new asphalt shingle cladding on roof; new porch steps with handrails.

▶ APPLICABLE DESIGN GUIDELINES:

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

Roofs

3. Use roofing materials that are in keeping with the historic development styles. Asphalt shingle, tile, pressed metal, and slate were used.
4. Darker shades of shingles were historically used and should be selected in new construction.

Porches

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard-type construction, wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.
2. Porches should be no less than 6 feet deep and no more than 10 feet deep.

Wall Materials

2. Clapboard (or clapboard-like materials such as aluminum or vinyl), shingle (or shingle-like materials), or brick should be used.
5. In making additions to existing buildings, wall cladding should complement the original wall covering. Acceptable materials are clapboard, vinyl siding, cement fiber board, brick and stucco.

Windows and Entrances

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.
2. Windows should be double-hung sash windows. Vinyl or metal-clad windows may be used in place of wood frame windows.
- 2 [sic]. Egress windows will have to be designed to comply with fire/building code provisions.
3. Accent windows are appropriate with new construction.



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4. Double-hung sash windows are recommended for two- to three-story new construction.
5. Variations of double-hung windows should be considered in relation to the design of new buildings.
6. The proportions of upper-level windows should not exceed the proportion of the first level.
9. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.
10. When parking areas are provided behind buildings, rear entrances are also allowed.

Parking

2. Provide parking access off the alley or off a side street.

Additions to Existing Buildings

1. Additions should be made to the rear or side of the building.
3. Transitional space shall be provided between the addition and the existing structure. ... The wall of the new connecting structure should not be continuous with the wall of the existing building, but have a minimum 4' x 6' indentation.
4. Bays at least two feet in depth shall be provided for 50% of the side façade.
5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings

COMMENTS:

This project was presented to the HZC as a workshop at the June 2020 meeting, and members of the Commission visited the site on July 13, 2020.

STAFF FINDINGS:

1. 1702 Highland Avenue is a contributing structure to the Fort Sanders National Register Historic District and the local historic overlay.
2. Overall, the application includes the preservation and restoration of many character-defining features of the house, including the corner wraparound porch visible in the 1917 Sanborn maps, the brick masonry exterior, the four projecting gables with wide eave overhangs and cornice returns, and the large original window openings. These existing architectural details of the house should be retained.
3. While the two side dormers (east and west elevation) are later modifications, the existing materials indicate they could be considered historic additions. Reconstruction of these dormers to meet contemporary building codes and maintain egress capacity is appropriate within Fort Sanders's design guidelines.
4. The removal of several non-contributing, poorly constructed additions is appropriate, including the multiple shed-roof additions on the west elevation, the enclosed front porch, and the rear corner addition.
5. Removal of the enclosed front corner porch and restoration of the wraparound porch with a hipped roof, square cornice, and new porch supports and balustrade meets the design guidelines. Eave overhang and cornice details should match those installed on the east elevation side porch.



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6. On the east elevation, the reconstruction of the side porch to meet building codes and support the gable-roof dormer is appropriate. The new porch should include the character-defining features of a square cornice, wide eave overhangs, and wide columns.
7. On the west elevation, repair and reconstruction to the section of masonry foundation and wall that has been documented as deteriorated is appropriate. As this house is listed on the NRHP, repair to the masonry and repointing should meet NPS Preservation Brief 2. If the extent of masonry reconstruction exceeds the sections that are presented in the application, a revised application should be submitted to HZC and/or staff for review.
8. New materials proposed for the side addition and dormers meet the design guidelines. The use of fiber cement siding on the side addition and shingles on the gables will serve to differentiate the new elements from the historic house.
9. The proposed replacement windows meet the neighborhood design guidelines. New windows should be installed in original window openings, especially on the rear and side elevations, and not enclose the openings.
10. Parking should meet City Engineering Standards.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the project as proposed, with the following conditions:

- 1) The overall project (including the reconstruction of elements) should retain (or reconstruct, where necessary and documented) character-defining features on the house, including the brick masonry exterior, wide eave overhangs with detailed fascia and soffits, the porch cornices, eave overhangs and full cornice returns on the side gable fields, original window openings and sills, projecting side bays with masonry details;
- 2) Original window openings not to be expanded or enclosed, especially on the rear and side elevations;
- 3) All masonry repair and repointing to meet the standards of NPS Preservation Brief 2;
- 4) Overall size of side elevation projecting gables to be maintained (not to be expanded or reduced);
- 5) Rear parking to meet City Engineering standards;
- 6) If masonry foundation or wall repair exceeds the scope presented in this application, a new application should be submitted to staff and/or the HZC.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

John Holmes

Applicant

7/28/20

8-I-20-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner Contractor Engineer Architect/Landscape Architect

John Holmes

Name

Company

5914 Gray Gables Dr

TN

37931

Address

City

State

Zip

423-231-4980

jholmes6@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Evian Partners

PO Box 1335

423-231-1266

Owner Name (if different from applicant)

Owner Address

Owner Phone

1702 Highland Ave.

094NL016

Property Address

Parcel ID

Fort Sanders

RN5-NC-1

Neighborhood

Zoning

AUTHORIZATION


Staff Signature

Lindsay Crockett

7.29.20

Please Print

Date


Applicant Signature

John Holmes

7.29.20

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Replace roof with new asphalt shingles and sheeting. Remove front porch and rebuild, new foundation with brick facade
Remove rear addition, remove and rebuild the side porch and window box above. remove and rebuild west side addition and second level window box.
New turned post columns on front porch, rebuild falling brick wall, repoint mortar. hardi siding, front doors, replace windows See attached elevations

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

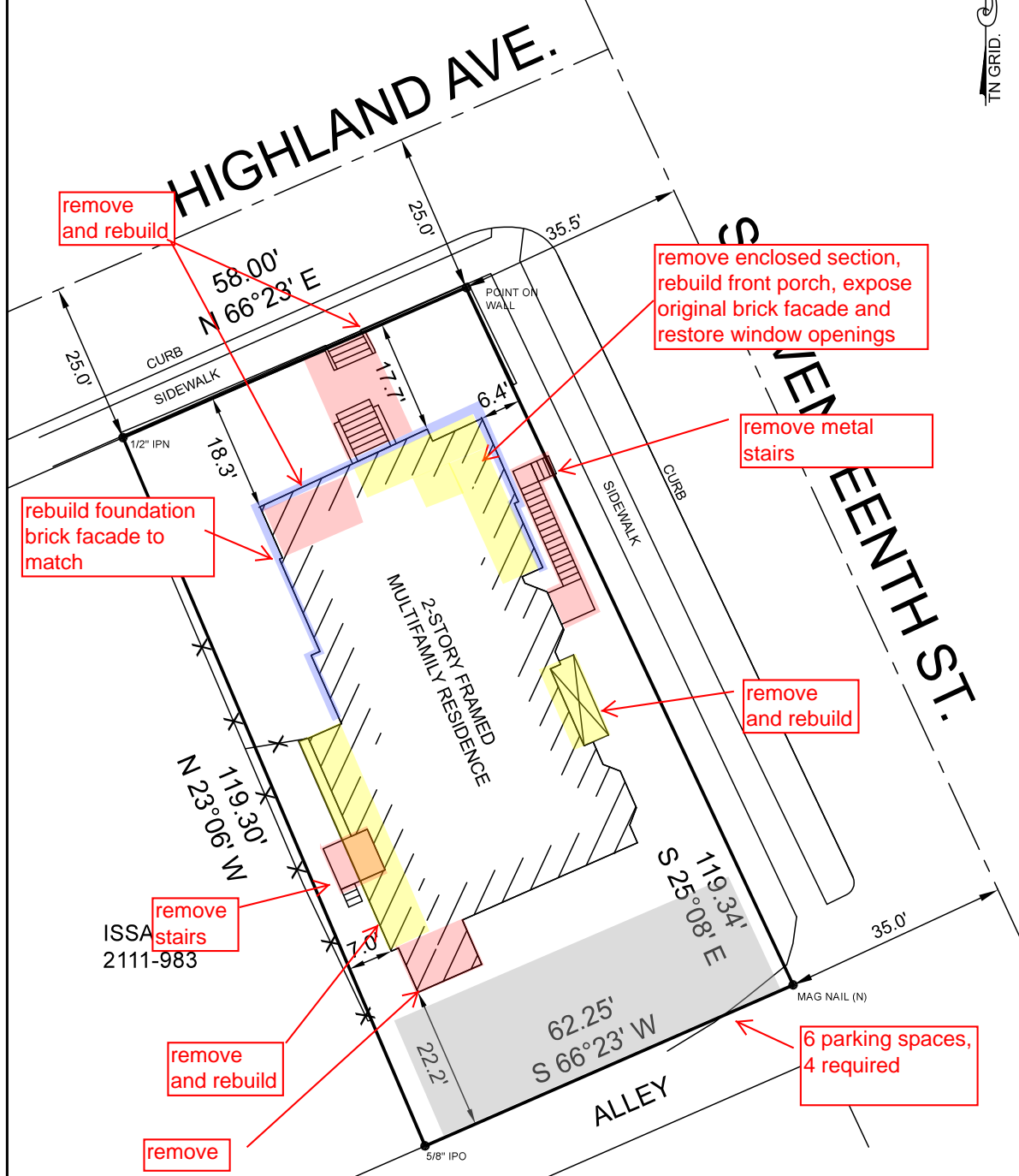
FEE 1:

FEE 2:

FEE 3:

TOTAL:

THIS SURVEY WAS PREPARED USING A COMBINATION OF TOTAL STATION AND R.T.K. G.P.S. DATA COLLECTION.
 G.P.S. RECEIVER INFO.: SOKKIA MESA S/N 144387, TOPCON ANTENNA:
 PG-S1. TOTAL STATION: TOPCON GPT-8205A
 VERTICAL DATUM IS NAVD88, GEOID12



CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY

I HEREBY CERTIFY THAT THIS CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 AS SHOWN HEREON
 SURVEYOR: STANLEY E. HINDS TENN. REG. NO. 967

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE LATEST RECORDED DEED AND OTHER DOCUMENTS FURNISHED BY THE ATTORNEY, THAT THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THAN THOSE SHOWN AND THAT THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SURVEY FOR EVIAN PARTNERS
 DIST. 4 WARD 10 CITY OF KNOXVILLE COUNTY KNOX
 ADDRESS 1702 HIGHLAND AVE
 LOT NO. _____ BLOCK _____ UNIT _____
 S/D _____
 INSTR. 202006090082214 SCALE 1"= 20' DATE 6-22 2020
 JOB NO. 2006007 ORDERED BY: INDEP.



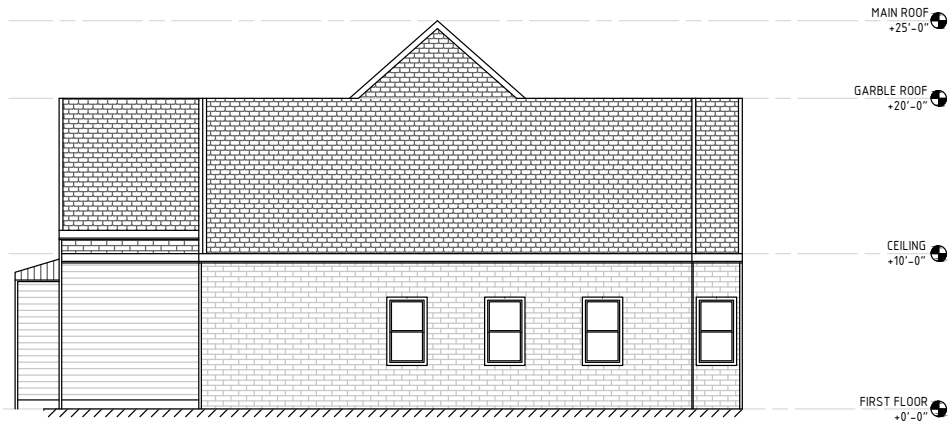
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1 PROPOSED FRONT ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$

NOTES:
 • ALL OF THE ORIGINAL BRICK WILL BE RESTORED.



2 PROPOSED BACK ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$

REVISION:

DESIGNED BY:

AB

CHECKED BY:

PROJECT NO.:

COPYRIGHT:

SHEET TITLE

PROPOSED ELEVATIONS

SCALE

$1/8'' = 1'-0''$

DRAWING NO.

A1

NOTES:
 • ALL OF THE ORIGINAL BRICK WILL BE RESTORED.



1 PROPOSED LEFT ELEVATION
 SCALE: _____



2 PROPOSED RIGHT ELEVATION
 SCALE: _____

REVISION: _____

DESIGNED BY: _____

AB

CHECKED BY: _____

PROJECT NO.: _____

COPYRIGHT: _____

SHEET TITLE
PROPOSED ELEVATIONS

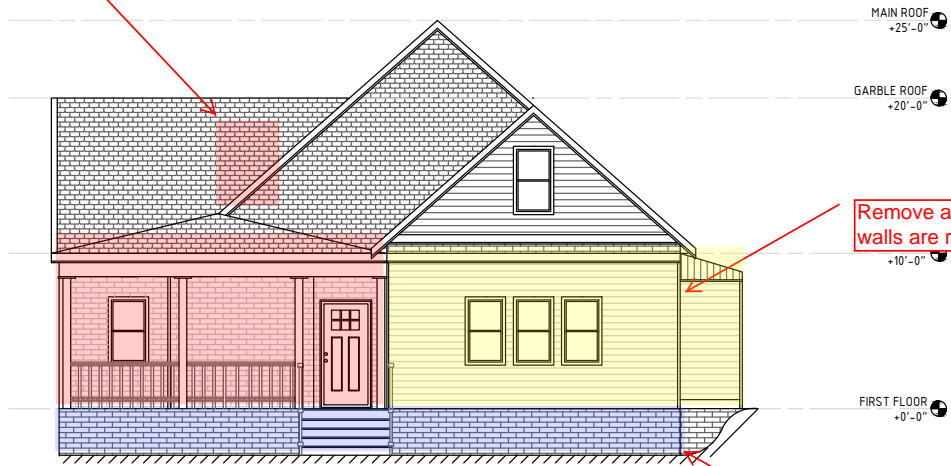
SCALE
 1/8" = 1'-0"

DRAWING NO. _____

A2

Remove window box

Remove enclosed front porch and rebuild, Restore original brick wall and window openings.
Asphalt roof shingles
New 6x6 turned posts
2"x2" pickets
Tongue and groove flooring
Stained shiplap ceiling



NOTES:
• ALL OF THE ORIGINAL BRICK WILL BE RESTORED.

Remove and rebuild, walls are rotten

FIRST FLOOR
+0'-0"

1 PROPOSED FRONT ELEVATION
SCALE: 1/8" = 1'-0"

Rebuild foundation wall, reuse original brick for the facade, interior will be 8" CMU. Rebuild stairs and railings



Rebuild side and center window box

2 PROPOSED BACK ELEVATION
SCALE: 1/8" = 1'-0"

Remove old addition

REVISION:

DESIGNED BY:

AB

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PROPOSED ELEVATIONS

SCALE

1/8" = 1'-0"

DRAWING NO.

A1

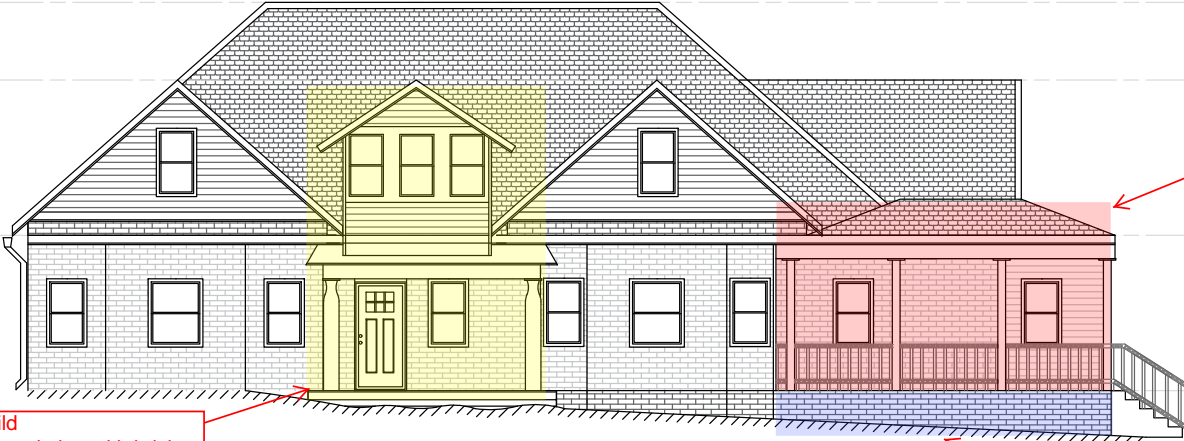
NOTES:
 • ALL OF THE ORIGINAL BRICK WILL BE RESTORED.

MAIN ROOF
+25'-0"

GARBLE ROOF
+20'-0"

CEILING
+10'-0"

FIRST FLOOR
+0'-0"



Remove and rebuild
 New footers and foundation with brick
 facade
 Tongue and groove porch

Rebuild foundation wall, reuse original
 brick for the facade, interior will be 8"
 CMU.

MAIN ROOF
+25'-0"

GARBLE ROOF
+20'-0"

CEILING
+10'-0"

FIRST FLOOR
+0'-0"



Remove and rebuild
 foundation wall, rebuild
 exterior walls

Remove and rebuild entire section.
 New foundation, stucco finish, hardi
 siding, new framing. (see pictures for
 deterioration)

Major brick repairs, wall is bowed out
 and half has already collapsed, reuse
 existing brick from house to repair,
 new footing as existing house has
 none

2 PROPOSED RIGHT ELEVATION
 SCALE:

REVISION:

DESIGNED BY:

AB

CHECKED BY:

PROJECT NO.:

COPYRIGHT:

SHEET TITLE
**PROPOSED
 ELEVATIONS**

DRAWING NO.:

"=1'-0"

A2

Level 1:

Tongue and groove flooring for front porch, stained beadboard ceiling
new handrails (Picture of railings style included below)

Replace windows with 1/1 double hung windows (Jeld wen vinyl 2500 series or equal)

Replace asphalt and particle siding with Hardi siding, new sheathing

Replace fascia, soffits, and gutters, fascia and soffits will be Hardi

Repair foundation brick, paint or stucco as necessary.

Replace front and side door

Replace the roof, remove old shingles and metal roofing, new sheathing over existing 1' slat boards, new drip edge, asphalt shingles

Rebuild front steps, including handrails, align concrete steps from sidewalk centered with stairs

Remove chimneys below roof line



Level 2:

Remove the rear addition of approximately 10'x12'. Rebuild the foundation where the addition used to be with brick façade and smooth hardi siding.

Remove and rebuild the East side porch and the box bay above it. New foundation and footers to be added to properly support the box. Center the box between gables as they are currently not symmetrical. Refinish with hardi shake siding.

Remove and rebuild the West side wooden porch, stairs, and addition and rebuild with new footers, foundation wall (brick façade to match), and the second story box bay. Center the box bay between gables, refinish with hardi shake siding for the box and smooth hardi siding for the first level.

Re-open and rebuild the front porch. Remove front porch enclosure and re-build. Existing framing is not salvageable. Existing brick will be reused on the foundation façade.









