
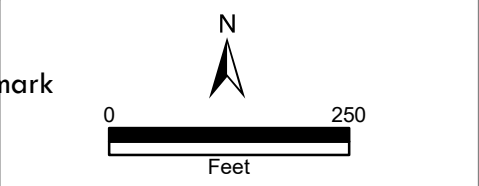


**8-D-20-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**


**3128 Kingston Pk. 37912**  
 George Taylor House Individual H Landmark

Original Print Date: 8/7/2020  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Emily Yoakum Jonathan Miller  
 Architecture





# Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 8-D-20-HZ

**PROPERTY LOCATION:** 3128 Kingston Pk. / Parcel ID 108 H C 007

**DISTRICT:** George Taylor House Individual H Landmark

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**MEETING DATE:** 8/20/2020

**APPLICANT:** Emily Yoakum Jonathan Miller Architecture

**LEVEL OF WORK:** Level II. Construction of addition or outbuilding

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**PROPERTY DESCRIPTION:** Queen Anne with Neoclassical influence, c.1900, c.1929

George Taylor House. Two-story frame residence with shingle wall covering and applied quoins. Pyramidal hipped roof with clad in asphalt shingles. One-story ell on east elevation with hipped roof forming enclosed sunporch. Two-story ell with quoins on west elevation connects to a one-story extension. Three-bay front façade with a front entry on the western bay, an arched portico with a cornice, entablature and dentil molding supported by square pilasters with Doric capitals and a six-panel entry door with a four-light transom. Twelve-over-twelve, double-hung wood windows. 1929 redesign was executed by Charles Barber.

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► **DESCRIPTION OF WORK:**

Construction of a new secondary structure (poolhouse) and accompanying patio. Poolhouse will be placed behind the primary residence on the property, and 18' from the closest interior property line. Overall, the structure will be 22' wide by 60' long, including a 20' wide by 16' long covered porch on the south elevation, and a 12' wide and 10' long enclosed massing on the north elevation. The covered porch features a second-story deck with square wood posts and a decorative balustrade.

A new paved patio will connect the poolhouse's east elevation with the pool. Portions of the patio will be enclosed with a decorative balustrade to match the deck.

The poolhouse features a steeply pitched (12/12) hipped roof clad in slate shingles, a complex roofline with hipped dormers on the south, east, and west roof slopes, and a centrally located cupola. The dormers, cupola, and north elevation massing feature standing seam metal roofs. Eave overhangs on the primary roof massing feature decorative curved wood brackets. The poolhouse will rest on a foundation clad in brick, and feature decorative shingle siding to reflect the primary house.

A brick masonry chimney will be located along the east elevation of the covered porch.

Window sizes and profiles vary but all windows are aluminum clad, divided lights, including multi-light casements and fixed windows. Doors are full-light topped by built-in, three-light transoms.

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# Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 8-D-20-HZ

► **APPLICABLE DESIGN GUIDELINES:**

Secretary of the Interior's Standards for Rehabilitating Historic Buildings.

9. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Additional site-specific guidelines adopted with overlay:

New accessory structures may be constructed, provided they are located to the rear elevation of the existing building.

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**COMMENTS:**

N/A

**STAFF FINDINGS:**

1. The George Taylor House is an individual H landmark and a contributing resource to the Kingston Pike Historic District on the National Register of Historic Places.
2. The secondary structure is proposed to be placed approximately 30' behind the rearmost line of the primary structure, and set approximately 18' from the east side property line. Due to the land's topographical slope south towards the river and the overall size and height of the primary house, the poolhouse structure will be minimally visible from the public right-of-way, if visible at all. Placement of the secondary structure is appropriate.
3. While the proposed poolhouse is large in scale, the primary residence is a substantial two-story residence with multiple side additions and extensions. Moreover, the Kingston Pike Historic District is characterized by larger, high-style houses with substantial outbuildings. The massing and scale of the secondary structure will not detract from the integrity of the primary house or the surrounding context.
4. The proposed poolhouse features materials that correspond to the primary structure, including a slate shingle roof, decorative shingle siding, multi-light windows, a steeply pitched 12/12 roof, and a brick-clad foundation and chimneys. The complex design for the poolhouse, along with its purpose and use, will serve to differentiate the secondary structure from the primary residence.
5. No historic materials or structures will be removed or altered for the construction of the poolhouse and patio. The secondary structure could be removed without any modifications to the historic house or the surrounding context.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the work as proposed.



**DESIGN REVIEW REQUEST**

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Jonathan miller, Jonathan Miller Architecture + Design  
Applicant

August 20, 2020 Meeting Date (if applicable)      8-D-20-HZ File Number(s)

**CORRESPONDENCE**

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Jonathan miller Name      Jonathan Miller Architecture + Design Company

419 N. Forest Park Blvs. Address      Knoxville City      TN State      37919 Zip

865-602-2435 Phone      eyoathum@jonathanmillerarchitects.com Email

**CURRENT PROPERTY INFO**

Paul Murphy Owner Name (if different from applicant)      Same as below Owner Address      Owner Phone

3128 Kingston Pike, 37912 Property Address      108HC007 Parcel ID

Neighborhood      RN1 Zoning

**AUTHORIZATION**

Lindsay Crockett Staff Signature      Lindsay Crockett Please Print      7/21/20 Date

[Signature] Applicant Signature      Jonathan miller Please Print      7-21-2020 Date

# REQUEST

DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

*See required Downtown Design attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

*See required Historic Zoning attachment for more details.*

Brief description of work: 2 Story pool pavilion  
 \_\_\_\_\_  
 \_\_\_\_\_

INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

*See required Infill Housing attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>		<b>TOTAL:</b>
<b>FEE 2:</b>		
<b>FEE 3:</b>		

KCM\_0266  
 N:594,880.92  
 E:2,573,329.70

EX IP  
 (LYNCH)  
 1999 SURVEY

KINGSTON PIKE CENTERLINE R/W

N 72°32'34" E 315.68'

N 71°07'10" E 147.92'

S 30°57'05" E 9.29'

N 88°51'40" W 134.89'

JOHN C. TROTTER  
 DEED INSTRUMENT NUMBER  
 200412060046205  
 MAP INSTRUMENT NUMBER  
 199907160004681

KNOX CHAPTER 89 UN  
 DAUGHTERS OF CONFEDERACY  
 DEED BOOK 1103, PAGE 6

- 1) PROPERTY LIES IN THE NAME OF THE PAUL J. MURPHY III, AND ANN W. MURPHY AND IS OF RECORD AS INSTRUMENT NO. 200905050071291 OF THE REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE.
- 2) PROPERTY IS SUBJECT TO ANY FINDINGS OF AN ACCURATE TITLE SEARCH. NO TITLE WORK FURNISHED TO SURVEYOR PRIOR TO SURVEY.
- 3) UTILITIES SHOWN WERE LOCATED FROM ACTUAL FIELD EVIDENCE, EXISTING UTILITY AGENCY RECORDS AND ANY OTHER AVAILABLE EVIDENCE. OTHER UTILITIES MAY EXIST AND NOT BE SHOWN OR VARY FROM WHERE SHOWN. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE ACTUAL LOCATION OF ANY UTILITIES SHOWN, WHICH ARE NOT VISIBLE FROM THE SURFACE.
- 4) IRON PIN CORNER MARKERS AT ALL LOT CORNERS, UNLESS DESIGNATED OTHERWISE.
- 5) PROPERTY IS ZONED R-1 (LOW DENSITY RESIDENTIAL DISTRICT), F-1 (FLOODWAY DISTRICT), AND H-1 (HISTORIC OVERLAY DISTRICT), THESE ARE THE FOLLOWING KNOXVILLE ZONING REQUIREMENTS:

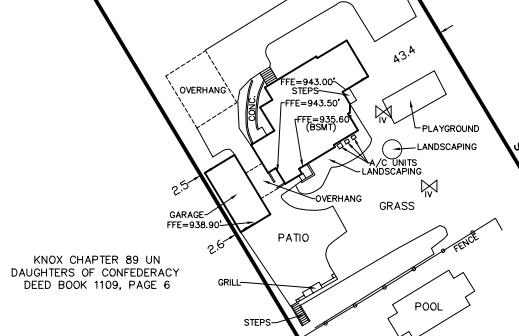
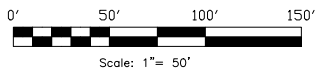
FRONT.....25'  
 SIDE.....12' FOR 2- STORY BUILDINGS  
 8' FOR UNATTACHED BUILDINGS OF ACCESSORY USE  
 8' MINIMUM FOR 1-STORY BUILDINGS  
 AND A MINIMUM SUM OF 20'  
 REAR.....25' FOR MAIN BUILDINGS  
 5' FOR UNATTACHED BUILDINGS OF ACCESSORY USE

- 6) THE HOUSE LOCATED ON THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X", BEING OUTSIDE THE 500 YEAR FLOOD ZONE PER FLOOD INSURANCE RATE MAP #47093C, PANEL 0279C; HOWEVER, THE SOUTHERLY PORTION OF THE PROPERTY LIES WITHIN FLOOD ZONES "AE" AND "X", WHICH IS WITHIN THE 100 YEAR AND THE 500 FLOOD ZONE AS REPRESENTED HERON.
- 7) THE SOUTHERLY PORTION OF THE PROPERTY IS SUBJECT TO THE TENNESSEE VALLEY AUTHORITY PERMANET EASEMENT (BELOW 816' CONTOUR) AND TENNESSEE VALLEY AUTHORITY TEMPORARY EASEMENT (BELOW 822' CONTOUR), AS SHOWN ON TVA MAP.
- 8) THE SOUTHERLY PORTION OF THE PROPERTY IS ALSO SUBJECT TO THE SANITARY SEWER EASEMENT, AS SHOWN BY MAP B-6255-C-14, OF THE CITY OF KNOXVILLE ENGINEERING RECORDS.



LEGEND

- IRON PIN FOUND
- POINT
- ⊗ SANITARY SEWER MANHOLE
- ⊕ IRRIGATION VALVE
- ⊖ WATER VALVE
- ⊙ FIRE HYDRANT
- POOL FENCE
- X-X- FENCE



S 30°57'05" E 25.10'  
 EX IP (SMLS 1301)  
 POINT  
 146.48'  
 S 49°59'19" W  
 66.79'  
 POINT  
 TENNESSEE RIVER

FENCE POST (FENCE LINE END)



**DRAWING INDEX**

- A-0.0 COVER SHEET
- A-0.1 PERSPECTIVES
- A-2.0 FOUNDATION PLAN
- A-2.1 MAIN FLOOR PLAN
- A-2.2 UPPER & ROOF PLANS
- A-4.0 ELEVATIONS
- A-5.0 SECTIONS
- A-7.0 SCHEDULES

<b>OWNER</b> PAUL MURPHY 3128 KINGSTON PIKE KNOXVILLE, TN 37912	<b>DESIGN TEAM</b>  <b>ARCHITECT</b> JONATHAN MILLER ARCHITECTURE & DESIGN 419 NORTH FOREST PARK BLVD. KNOXVILLE, TN 37919 865-602-2435	<b>CONTRACTOR</b> TBD
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SQUARE FOOTAGE SUMMARY	
MAIN:	870 SF
UPPER:	539 SF
TOTAL FINISHED:	1,409 SF
PORCHES:	320 SF
DECKS:	320 SF
PATIO:	876 SF

**CODE COMPLIANCE**  
INTERNATIONAL BUILDING CODE, 2018 EDITION

**GRAPHICS LEGEND**

<b>DRAWING TITLE</b> DRAWING NAME DRAWING SCALE DRAWING LOCATION ON SHEET GRID	<b>ELEVATION KEY</b> ELEVATION LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF ELEVATION DIRECTION OF ELEVATION	<b>SECTION KEY</b> SECTION LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF SECTION DIRECTION OF SECTION TERMINATION OF SECTION
<b>WINDOW LABEL</b> WINDOW TAG WINDOW WIDTH WINDOW HEIGHT	<b>ROOM LABEL</b> ROOM NAME ROOM SIZE CEILING HEIGHT FLOORING MATERIAL	<b>FLOOR ELEVATION</b> FLOOR HEIGHT ABOVE MAIN LEVEL FLOOR LEVEL LINE INDICATOR MAIN FLOOR FLOOR LEVEL LABEL

**WALL LEGEND**

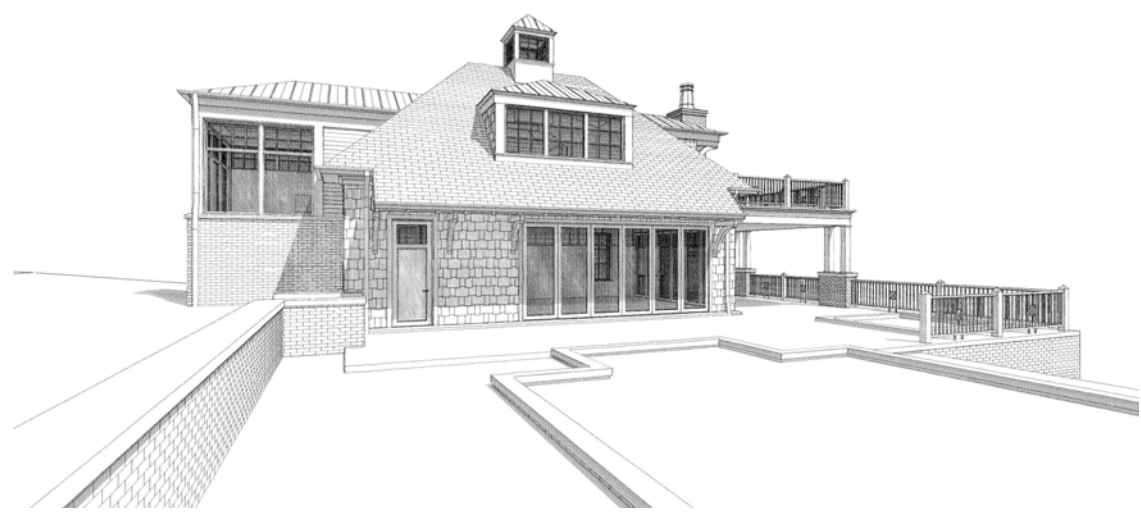
<b>INTERIOR WALLS</b> 1/2" GYPSUM BOARD EACH SIDE 2x4 WOOD STUD	<b>EXTERIOR WALLS</b> 1/2" GYPSUM BOARD 2x6 WOOD STUD SHEATHING W/ HOUSE WRAP EXTERIOR FINISH	<b>FOUNDATION WALLS</b> 8" CONCRETE WALL W/ WATER PROOFING MEMBRANE & PROTECTIVE BARRIER BD.
1/2" GYPSUM BOARD EACH SIDE 2x6 WOOD STUD	1/2" GYPSUM BOARD 2x6 WOOD STUD WATER PROOFING MEMBRANE 1" AIR GAP STONE VENER	8" CONCRETE WALL 1" AIR GAP W/ WATER PROOFING MEMBRANE & PROTECTIVE BARRIER BD. STONE VENER

**GENERAL NOTES**

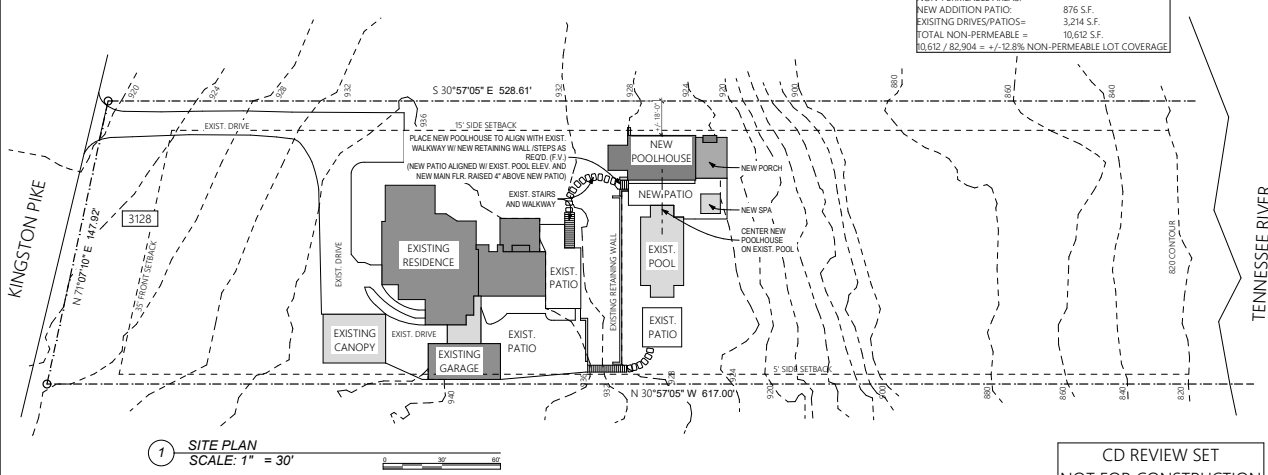
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS OF CONTRACT DOCUMENTS PRIOR TO ORDERING MATERIALS AND PROCEEDING WITH THE WORK. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED HEREIN AND OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. "TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
4. MEANS AND METHODS: THE ARCHITECT SHALL NEITHER HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES.
5. ENGINEERING: BUILDER IS RESPONSIBLE FOR OBTAINING ALL ENGINEERED WORK REQUIRED FOR CONSTRUCTION, INCLUDING PRE-ENGINEERED MEMBERS, MECHANICAL SYSTEMS, PLUMBING SYSTEMS, ELECTRICAL SYSTEMS AND MOISTURE CONTROL SYSTEMS.
6. GRADING AND LANDSCAPING: ALL REQUIREMENTS & INFORMATION REGARDING RETAINING WALLS, STEPS, DECKS, TERRACE AREAS, & OR ANY OTHER RELATED LANDSCAPE FEATURES TO BE SPECIFIED BY THE LANDSCAPE ARCHITECT. VERIFY ALL FINISH FLOOR ELEVATIONS W/ LANDSCAPE ARCHITECT.
7. SHOP DRAWINGS: BUILDER TO VERIFY DIMENSIONS ON SHOP DRAWINGS FOR WINDOWS, DOORS, CABINETRY & MILLWORK PRIOR TO ORDERING ARCHITECT TO PROVIDE DESIGN COORDINATION ONLY BASED ON OWNER SELECTION.
8. PENETRATIONS: ALL OPENINGS / PENETRATIONS THROUGH WALLS, CEILING, AND FLOORING SHALL BE SEALED TO PREVENT SOUNDS LEAKAGE. IN ADDITION TO COMPLYING WITH LOCAL GOVERNING BUILDING AND/OR FIRE CODES.
9. CUTTING AND PATCHING: EACH MISCELLANEOUS ITEM OF CUTTING, PATCHING OR FITTING IS NOT NECESSARILY INDIVIDUALLY DESCRIBED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING & FITTING NECESSARY TO ACCOMMODATE THE ENTIRE SCOPE OF WORK.
10. HVAC: FIRST FLOOR SUPPLIES TO BE IN FLOOR WD FLUSH MOUNT GRILLS WITH DAMPERS. FIRST FLOOR RETURNS TO BE IN WALL WD FLUSH MOUNT EGGRATE GRILLS. SECOND FLOOR SUPPLIES TO BE IN CEILING RETURNS TO BE IN WALL WD FLUSH MOUNT EGGRATE GRILLS. SECOND FLOOR RETURNS TO BE IN WALL WD FLUSH MOUNT EGGRATE GRILLS. FINAL SELECTIONS TBD BY OWNER AND INTERIOR DESIGNER.
11. EQUIPMENT AND APPLIANCES: CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT AND/OR APPLIANCES SPECIFIED UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROVIDE INSTALLATION OF OWNER FURNISHED EQUIPMENT AND/OR APPLIANCES WHERE AND IF DESIGATED.
12. ELECTRICAL AND MECHANICAL: TWO (2) OR MORE LIGHT SWITCHES IN THE SAME LOCATION SHALL BE GANGED TOGETHER WITH A SINGLE COVERAGE. BUILDER IS RESPONSIBLE FOR ALL MECHANICAL AND ELECTRICAL ITEMS INDICATED BY THE ARCHITECTURAL DRAWINGS AND/OR REQUIRED BY GOVERNING CODES. ALL ITEMS INDICATED ON DRAWINGS ARE TO BE INCLUDED AS A COMPLETE SYSTEM. IN INSTANCES WHERE ELECTRICAL, MECHANICAL AND/OR OTHER WALL MOUNTED DEVICES OCCUR AT THE SAME LOCATION BUT AT DIFFERENT HEIGHTS, CONTRACTOR SHALL CENTER DEVICES ABOVE EACH OTHER. FINAL PLACEMENT OF ALL ELECTRICAL FIXTURES INCLUDING SWITCHES, OUTLETS, LIGHT, SOUND AND AUDIO VISUAL SHALL BE MARKED ON FLOORS AND WALLS AND APPROVED ON SITE BY THE OWNER, ARCHITECT AND INTERIOR DESIGNER PRIOR TO INSTALLATION.
13. WINDOWS AND DOORS: BUILDER TO SET ALL WINDOW AND DOOR HEADERS RIGHT BELOW TOP PLATES (REGARDLESS OF PROPOSED CEILING HEIGHTS) TO ALLOW FOR ON SITE DESIGN ADJUSTMENTS. IN ADDITION, WINDOWS TO BE 6" WIDER THAN NOTED OPENING. BUILDER TO FURF IN AS REQUIRED PER APPROVED SHOP DRAWINGS.
14. GUTTERS AND DOWNSPOUTS: GUTTER AND DOWNSPOUT LOCATIONS WHERE SHOWN ON PLANS AND ELEVATIONS ARE RECOMMENDED LOCATIONS. BUILDER TO COORDINATE WITH INSTALLER AND LANDSCAPE DRAWINGS SUBSURFACE DRAINAGE FOR ACCURATE SIZING.
15. ROOF PENETRATIONS: LOCATE ALL POWER / SOLAR VENTILATORS, PLUMBING VENTS, HVAC VENTS, AND ALL ROOF PENETRATIONS TO REAR FACING ROOF. PAINT ALL PIPES, VENTS, AND VENTILATORS TO MATCH ROOF COLOR.

**ABBREVIATIONS**

- |         |                        |
|---------|------------------------|
| A.B     | ANCHOR BOLT            |
| A.C     | AIR COOLING UNIT       |
| ADJ     | ADJACENT               |
| AF      | ABOVE FINISHED FLOOR   |
| AH      | AIR HANDLING UNIT      |
| ALUM    | ALUMINUM               |
| APPROX. | APPROXIMATELY          |
| BD      | BOARD                  |
| BLKG    | BLOCKING               |
| BM      | BEAM                   |
| BTM     | BOTTOM                 |
| BRG     | BEARING                |
| BTWN    | BETWEEN                |
| CL      | CENTER LINE            |
| CLG/C   | CILING                 |
| COL     | COLLUM                 |
| CONC    | CONCRETE               |
| CONT    | CONTINUOUS             |
| CPT     | CAPRT                  |
| DA      | DIAMETER               |
| DW      | DISHWASHER             |
| DOWN    | DOWN                   |
| DR      | DRAIN                  |
| D       | DRYER                  |
| D       | DOWNSPOUT              |
| DRG     | DRAWING                |
| EA      | EACH                   |
| ELEV    | ELEVATION              |
| ELEC    | ELECTRIC               |
| EQ      | EQUAL                  |
| EXH     | EXHAUST                |
| EXT     | EXTERIOR               |
| FD      | FLOOR DRAIN            |
| FF      | FRESH FLOOR            |
| FF      | FOOTING                |
| FR      | FRINFACE               |
| HR      | HOSE BIBB              |
| HD      | HEADER                 |
| HCT     | HITCH                  |
| ICM     | ICE MAKER LINE         |
| IST     | ISOT                   |
| MAX     | MAXIMUM                |
| MFR     | MANUFACTURER           |
| MIN     | MINIMUM                |
| MNO     | MASONRY OPENING        |
| OC      | OVER CENTER            |
| OPNG    | OPENING                |
| REF     | REFRIGERATOR           |
| REQD    | REQUIRED               |
| RES     | RESIDENT FLOORING      |
| SM      | SIMILAR                |
| SN      | SHEET ROCK OPENING     |
| TB      | TOWEL BAR              |
| TP      | TYPICAL                |
| WALL    | WALL                   |
| UNL     | UNLESS NOTED OTHERWISE |
| W       | WOOD                   |



POOLSIDE RENDERING



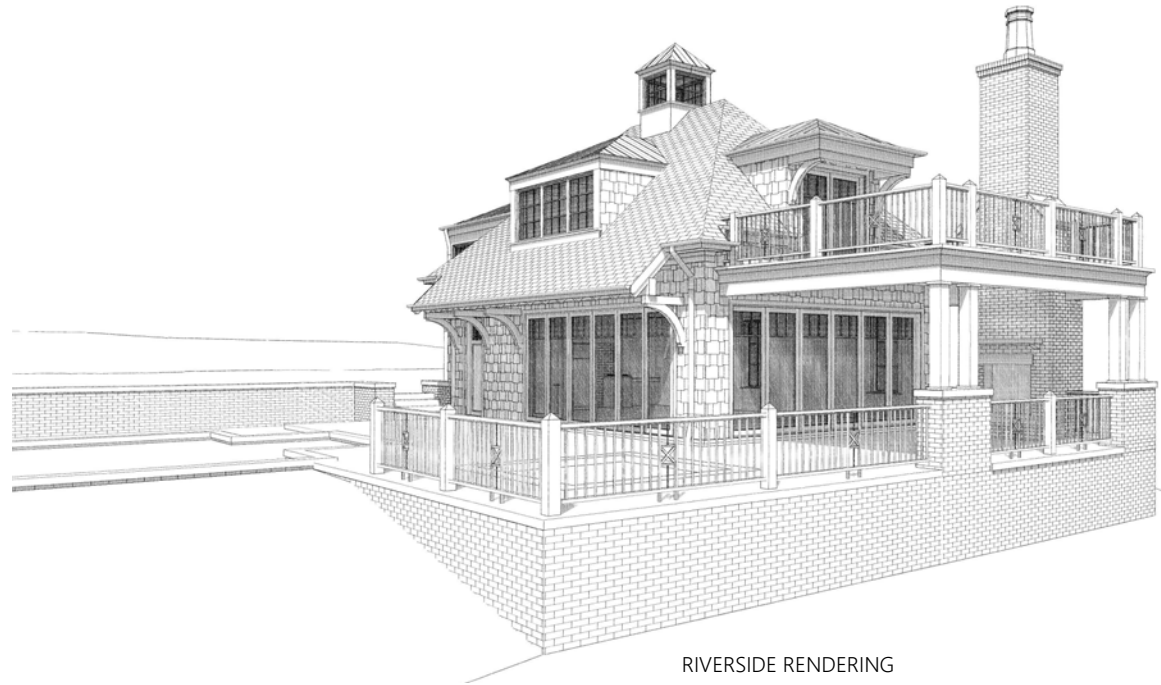
**MURPHY 3128 KINGSTON PIKE CODE CALCULATIONS:**

ZONING = RNT  
BUILDING HGT. = 29'-6" SLOPE AVG. (35' ALLOWED)

TOTAL MURPHY PARCEL AREA = APPROX. 82,904 S.F.

NEW ADDITION FOOTPRINT= 1,990 S.F.  
EXISTING BLDG. FOOTPRINT= 5,338 S.F.  
TOTAL BUILDING COVERAGE= 6,522 S.F.  
6,522 / 82,904 = +/- 7.87% BUILDING LOT COVERAGE

NON-PERMEABLE AREAS:  
NEW ADDITION PATIO= 876 S.F.  
EXISTING DRIVES/PATIOS= 3,214 S.F.  
TOTAL NON-PERMEABLE = 10,612 S.F.  
10,612 / 82,904 = +/- 12.8% NON-PERMEABLE LOT COVERAGE



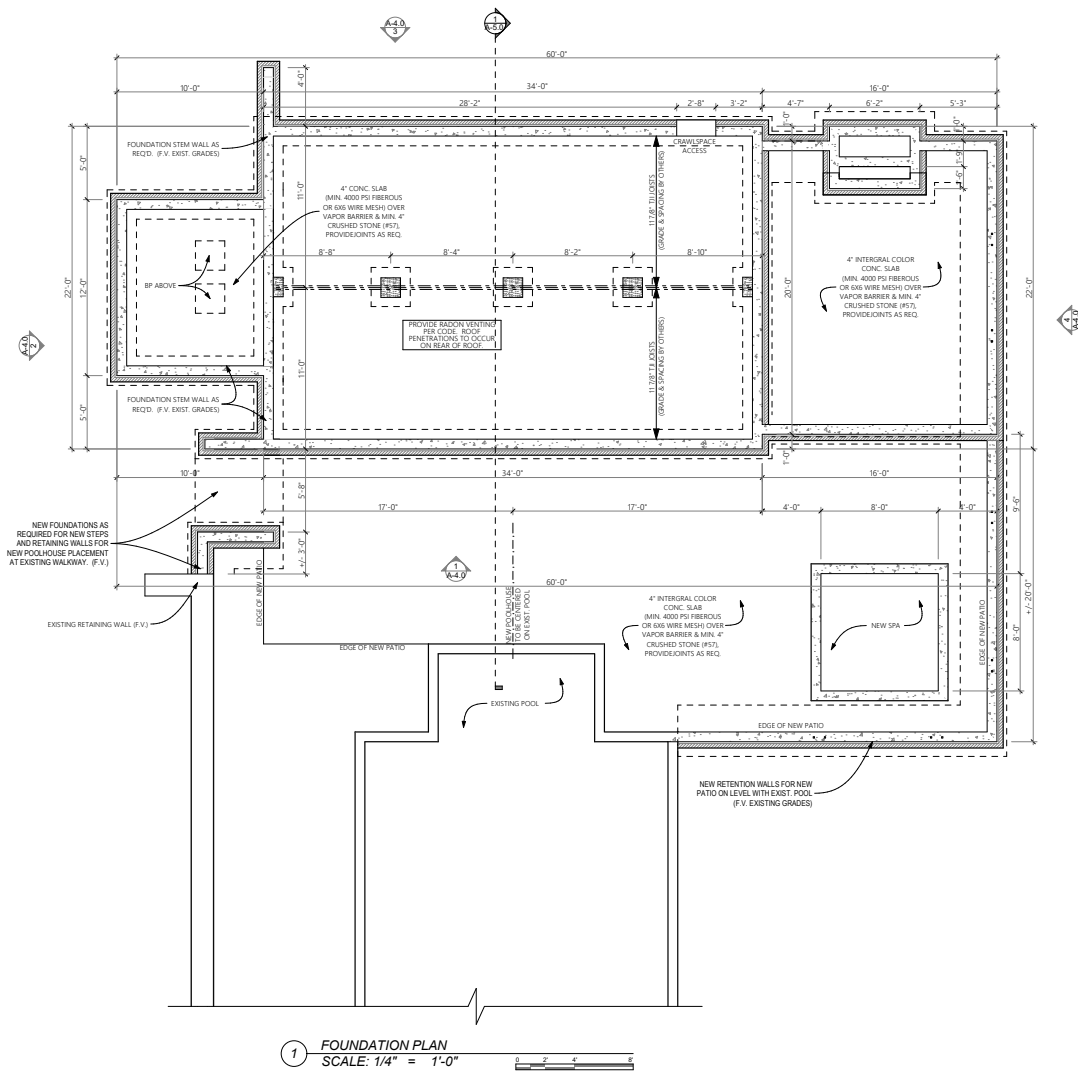
RIVERSIDE RENDERING



FRONT/SIDE LOT RENDERING







1 FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

**THERMAL NOTES:**

ENERGY EFFICIENCY COMPLIANCE METHOD: PRESCRIPTIVE R-VALUE  
 FACED FIBERGLASS BATT INSULATION AS LISTED PER IRC N1102.1.1:  
 R-49 MIN BETWEEN CEILING JOIST OR RAFTERS IN ATTICS  
 R-20 IN EXTERIOR WALLS  
 R-19 BETWEEN FLOOR JOIST  
 R-10 AT FOUNDATION WALL  
 SEAL ALL TOP AND BOTTOM PLATES  
 WRITTEN REPORT ON THERMAL ENVELOPE AIR LEAKAGE TEST:  
 AIR LEAKAGE RATE IS NOT TO EXCEED 3 AIR CHANGES/HR.

**FLOOR PLAN NOTES:**

ALL DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF-STUD OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.  
 MOISTURE RESISTANCE GYPSUM BOARD SHALL BE USED IN BATHROOMS AND OTHER ROOMS WHERE WATER FIXTURES OR WATER IS PRESENT.  
 CONTRACTOR TO CENTER PLUMBING FIXTURES IN SPACE PROVIDED UNLESS NOTED OTHERWISE.  
 CONTRACTOR TO PROVIDE TERMITE TREATMENT AS REQUIRED BY LOCAL BUILDING CODES.  
 PROVIDE FROST PROOF HOSE BIBBS AS DIRECTED AND LOCATED IN FIELD.  
 AT BRICK OR STONE VENEER LOCATIONS PROVIDE MINIMUM 1" AIRSPACE BEHIND VENEER. GRAUT SOLID ALL MASONRY CAVITIES BELOW GRADE. PROVIDE OPEN JOINTS TO DAYLIGHT AT 24" ALONG BASE OF WALLS.  
 PROVIDE FLASHING AS REQUIRED AT MATERIAL TRANSITIONS AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.  
 ALL REFERENCE TO BEAMS ARE FOR FLOORS ABOVE.  
 USE TYPE "C" GYPSUM BOARD IN GARAGE AS REQUIRED BY LOCAL BUILDING CODE.  
 ALL GYPSUM BOARD TO BE LEVEL 5 FINISH.

**FOUNDATION NOTES:**

PROVIDE SIMPSON MURRESL IN WORK PER CODE BOTH DIRECTIONS. PROVIDE ACCESS DOOR & HARDWARE PER CODE. CRAWLSPACE TO BE MIN 42" HIGH UNLESS OTHERWISE REQUIRED AND GRADED w/ 15 MIL VAPOR BARRIER INSTALLED, SEALED, TAPED, AND EXTENDED A MIN. OF 6" UP THE STEM WALL.  
 CRAWLSPACE, WHEN PROVIDED, SHALL BE VENTED PER IRC OR LOCAL BUILDING REQUIREMENTS WITH VENTILATION OPENINGS AT 1 S.F. PER 150 S.F. OF CRAWLSPACE OR MECHANICALLY EXHAUSTED AND SUPPLIED AT A RATE OF 1 CFM FOR EACH 50 S.F. OF CRAWLSPACE. ONE OPENING TO BE WITHIN 3' OF EACH BUILDING CORNER. REBAR SHALL BE APPROVED BY THE OWNER PRIOR TO FOUNDATION STEM WALL CONSTRUCTION.  
 FOUNDATION WALL EXTERIOR SHALL BE WATERPROOFED W/ SEAMLESS WATERPROOFING MEMBRANE AND PROTECTIVE BARRIER BOARD OR EQUAL. -INSTALL PER MFG.  
 MASONRY TIES: HOT DIPPED GALVANIZED TIES AT 16" O.C. VERT. & HORIZ. U.N.O.  
 SLOTTED PERIMETER DRAIN INSTALLED ON TOP OF FOOTING SEE FIELD SUPERVISOR FOR BLOCK PLACEMENT AND LAYOUT.  
 ALL STRUCTURAL LUMBER TO BE #1 KD S.Y.P. PER REG. LUMBER IN CONTACT W/ MASONRY TO BE PRESSURE TREATED.  
 PROVIDE FROST PROOF HOSE BIBBS AS DIRECTED.  
 8" CONC. WALL. PROVIDE BRICK LEDGE AT GRADE FOR MASONRY VENEER WHEN INDICATED) REINFORCEMENT MIX MORTAR PER MFG. INSTRUCTIONS.  
 24"x12" CONC. FOOTING (MIN. PSI 4000) REIN. FTG. w/ (2) #4 REBAR CONT. (TYP. FOR CONT. FOOTING) - VERIFY W/ STRUCTURAL  
 WHERE AIR HANDLER UNITS ARE LOCATED, BUILDER TO COORDINATE FIRE RATING REQ. ON UNDERSIDE OF FLOOR JOISTS PER IRC & LOCAL CODE.

**WOOD FRAMING NOTES:**

THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE LATEROALLY SUPPORTED BY SAME SHALL BE BRACED UNTIL ALL CONSTRUCTION IS COMPLETED.  
 REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ALL FRAMING SPECIFICATIONS.  
 CUTTING, NOTCHING, BORED HOLES IN STUD WALLS, RAFTERS, ETC. SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE AND AS APPROVED BY STRUCTURAL ENGINEER.  
 WHERE WOOD BEAMS BEAR ON STUD WALLS, PROVIDE MINIMUM DOUBLE OR TRIPLE STUD (DEPENDING ON BEAM WIDTH) UNDER BEAM BEARING OR AS SPECIFIED BY STRUCTURAL ENGINEER.  
 USE DOUBLE FLOOR JOISTS UNDER WALLS PARALLEL TO JOISTS, OR BLOCK BETWEEN JOISTS ACCORDINGLY.  
 ALIGN FLOOR JOISTS WITH WALL STUDS WHERE POSSIBLE.  
 ALL WOOD IN CONTACT WITH CONCRETE OR CONCRETE BLOCK UNITS SHALL BE PRESSURE TREATED.  
 ALL MASONRY TO BE SUPPORTED BY STRUCTURAL BEAMS AND ANGLE IRON AS SPECIFIED BY STRUCTURAL ENGINEER.  
 ALL EXTERIOR WALLS TO BE SOUTHERN PINE 2X6 STUD WALLS. ALL INTERIOR WALLS TO BE SOUTHERN PINE 2X4 STUD WALLS. ALTERNATE STUD WIDTHS CALLED OUT ON FLOOR PLAN.  
 GIRDERS & HEADERS PER STRUCTURAL AND/OR IRC TABLE R802.7. ALL LUMBER TO BE SOUTHERN PINE. Headers 6 to 8: (2) 2x8 / Headers 8 to 10: (2) 2x10 / All Headers over 10: (2) 2x12

**FIREPLACE CONT. FOOTING:**

REFER TO STRUCTURAL DRAWINGS FOR FOOTING SIZING AND REQUIREMENTS

**TYP. FLOOR SECTION:**

MAIN LEVEL FLOOR FRAMING IS DESIGNED FOR 24" P.E. WD. FLOOR TRUSSEES AS DESIGNED BY SUPPLIER. VERIFY DIMENSIONAL SPANS WITH LUMBER SUPPLIER.  
 UPPER LEVEL FLOOR FRAMING IS DESIGNED FOR 16" T.J. FLOOR JOISTS IN GRADE AND SPACING AS DESIGNED BY SUPPLIER. VERIFY DIMENSIONAL SPANS WITH LUMBER SUPPLIER.  
 SPACE FLR. JOISTS TO ALLOW FOR PASSAGE OF 3" PIPE 12" OFF FINISHED WALL AT TOILET LOCATIONS.  
 INSULATE MAIN LEVEL FLOOR PER IRC AND PROVIDE 3/4" 1/8 O.S.B. GLUED AND SCREWED TO JOISTS UNDERLAMENT UNDER ALL TILE PROVIDE SOLID BLOCKING FOR ALL POINT LOADS TRAVELING FROM ROOF TO FOUNDATION.

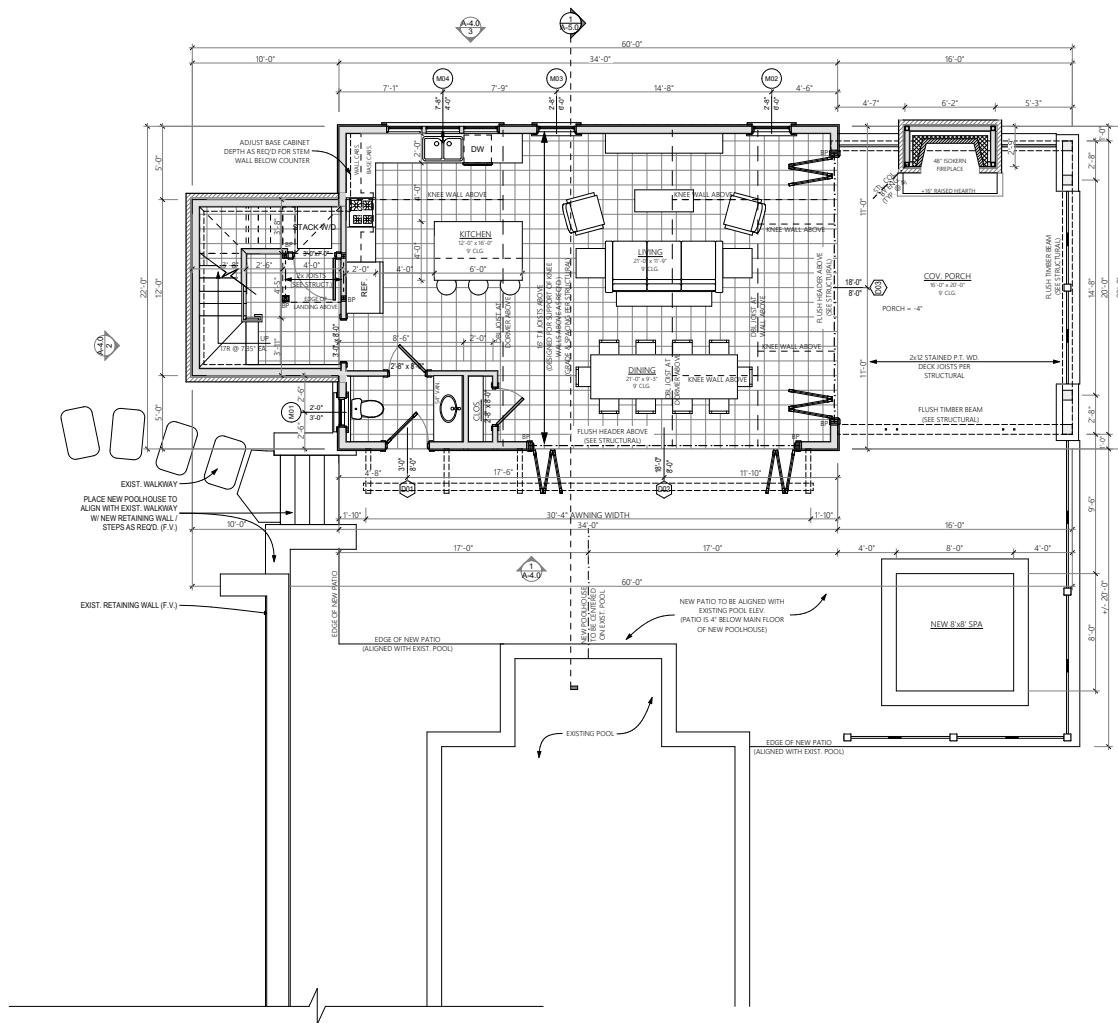
**DOOR AND WINDOW NOTES:**

ALL REQUIRED EGRESS WINDOWS SHALL MEET NATIONAL AND LOCAL CODES TO ENSURE THE SAFETY OF OCCUPANTS. WINDOW SUPPLIER SHALL VERIFY EACH ROOM EGRESS REQUIREMENTS AND SUPPLY CODE COMPLIANT WINDOWS AND NOTIFY BUILDER OF ALL CHANGES TO WINDOW SIZES.  
 ALL DOORS AND WINDOWS SHALL BE SEALED TOP SIDES AND BOTTOM PER CURRENT BEST CONSTRUCTION PRACTICES AND SHALL OPERATE SMOOTHLY.  
 INSTALL WEATHER STRIPPING AND WEATHER SWEEPS ON ALL DOORS LEADING TO UNCONDITIONED AREAS. ALL OPERABLE WINDOWS SHALL BE FACTORY WEATHER STRIPPED.  
 ALL WINDOW GRILLES SHOWN ARE TO BE ALUMINUM CLAD SOL. GRILLES.  
 TEMPER GLASS PER LOCAL BUILDING CODES AND MANUFACTURER.  
 MAX. U-FACTOR SHALL BE 0.32.  
 MAX. SHGC FOR GLAZED FENESTRATIONS SHALL BE 0.43.

**MECH. NOTES:**

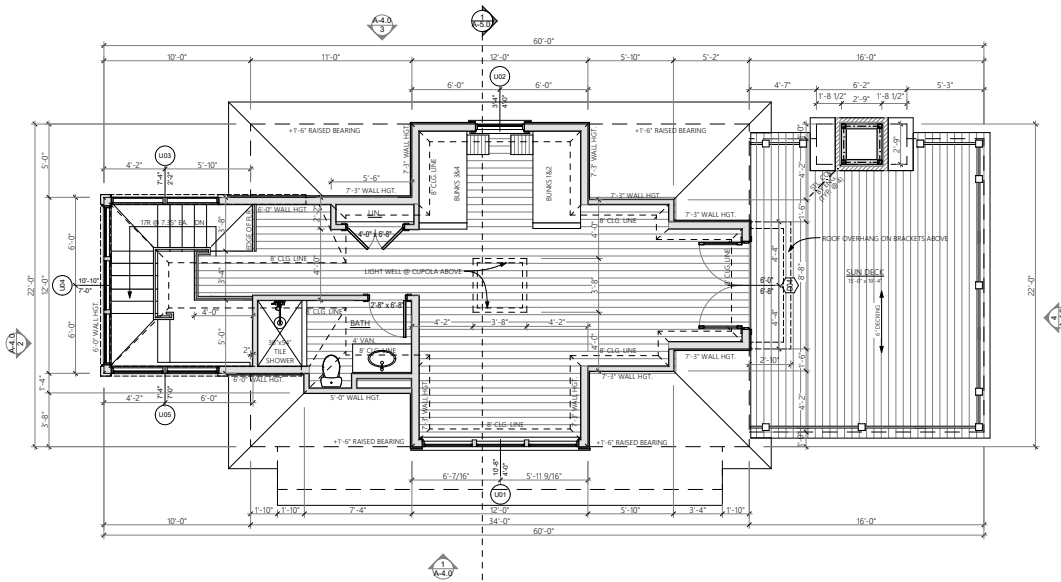
IF AIR HANDLER LOCATIONS ARE DIAGRAMMATIC IN NATURE, LOCATIONS ARE SUBJECT TO CHANGE ONCE THE ENGINEER'S DESIGN IS COMPLETE.  
 CU - CONDENSER UNIT, LOCATIONS ARE DIAGRAMMATIC IN NATURE. LOCATIONS ARE SUBJECT TO CHANGE ONCE THE ENGINEER'S DESIGN IS COMPLETE.  
 AIR INFILTRATION RATE IS TO BE 5 AIR CHANGES PER HOUR OR LESS WHERE TESTED WITH A BLOWER DOOR AT A PRESSURE OF 50 PA IN ACCORDANCE WITH SECTION N1102.4.1.2.  
 WRITTEN REPORT ON DUCT TESTING: PRESSURE TESTED TO DETERMINE AIR LEAKAGE  
 MECHANICAL VENTILATION STRATEGY: SUPPLY ONLY; AUTOMATIC MECHANICAL DAMPERS

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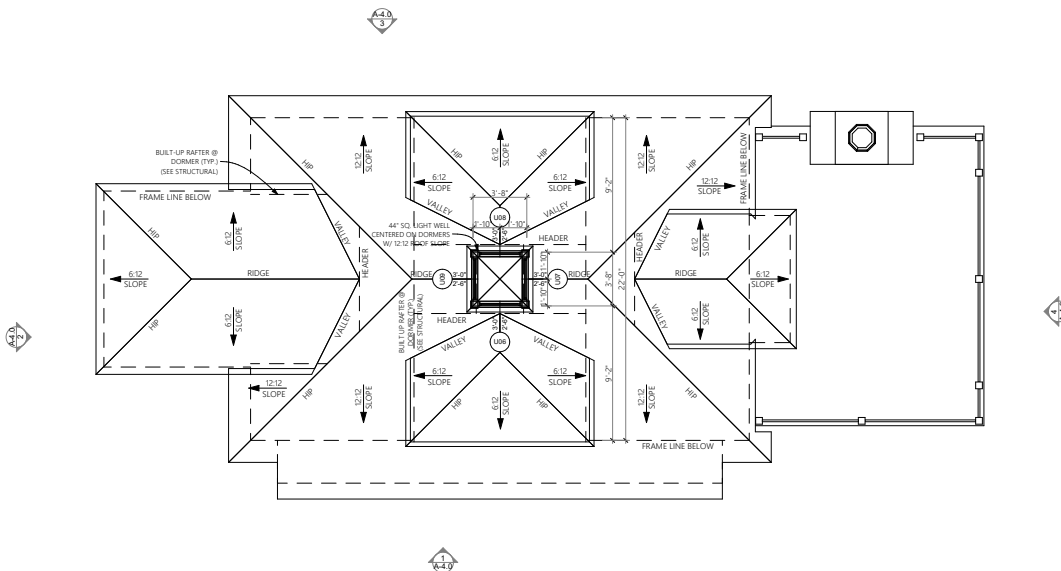


1 MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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1 UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 ROOF PLAN  
SCALE: 1/4" = 1'-0"

**ROOF FRAMING NOTES:**

LVL AND HANGER MANUFACTURERS SHALL VERIFY ALL BEAM SIZES AND ASSOCIATED HANGER CONDITIONS. LVL AND HANGER MANUFACTURERS ARE RESPONSIBLE FOR THE FINAL LVL SIZES AND HANGER REQUIREMENTS SENT TO THE CONSTRUCTION SITE. SIZES PROVIDED BY THE ARCHITECT ARE TO SHOW DESIGN INTENT ONLY. FINAL SIZING AND SPACING ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SIZED AND SPACED WITH SPAN TABLES AND/OR A LICENSED STRUCTURAL ENGINEER. ARCHITECT SHALL BE NOTIFIED WHEN DEPTH OF THE MEMBER IS MODIFIED IN A MANNER THAT AFFECTS CEILING OR ROOF CONDITIONS. ALL TJI AND BEAM HANGERS TO BE PROVIDED BY SUPPLIER.

ICE AND WATERSHIELD ALL CRICKETS, VALLEYS, CHIMNEY BASE PERIMETERS, LOW SLOPE TRANSITIONAL ROOFS, AND DORMER WALL PENETRATIONS PER MANUFACTURER'S RECOMMENDATIONS.

**ROOF NOTES:**

MAIN ROOF TO BE SHEATHED PRIOR TO OVERFRAMING. FRAMER IS RESPONSIBLE FOR VERIFYING ALL BEARING HEIGHTS AND ROOF SUPPORT BEAM LOCATIONS PRIOR TO FRAMING. FRAMER IS RESPONSIBLE FOR TRACKING AND PROVIDING STRUCTURAL SUPPORT FOR ALL ROOF LOADS TO FOUNDATION. ALL BRICK TO BE SUPPORTED BY SLOPING BEAM AND ANGLE PER STRUCTURAL ENGINEER.

**GUTTERS & DOWNSPOUTS:** ALL GUTTERS TO BE 20 OZ. 6-1/2" DIAMETER HALF-ROUND ON MAIN ROOF AREAS 4" DIAMETER PRE-FINISHED METAL DOWNSPOUTS UNLESS NOTED OTHERWISE. GUTTERS TO BE HUNG WITH BAR OR CIRCLE HANGERS ATTACHED TO SHEATHING BEFORE ROOFING IS LAID. INSTALL EXPANSION JOINTS ON STRAIGHT RUNS OF MORE THAN 40 FT.

**FLASHING:** PROVIDE CONT. COPPER FLASHING PER CURRENT SMACNA AND COPPER DEVELOPMENT ASSOCIATION INC. DETAILS AT ROOF TRANSITIONS (i.e. Base & Counter, Step, Drip Edge, Valley, etc.)

PROVIDE COPPER PLUMBING BOOT FOR ALL VENT PENETRATIONS FABRICATED PER SMACNA AND COPPER DEVELOPMENT ASSOCIATION INC. STANDARDS. ALL VENTS SHALL BE LOCATED ON THE BACK SIDE OF THE MAIN HOUSE RIDGE LINE. NO WHITE PVC SHALL BE VISIBLE IN THE ROOF SURFACE.

**TYP. EAVE:**

1"-0" OVERHANG FAST FRAME LINE TYP. (EXCEPT WHERE NOTED OTHERWISE)

**TYP. ROOF SECTION:**

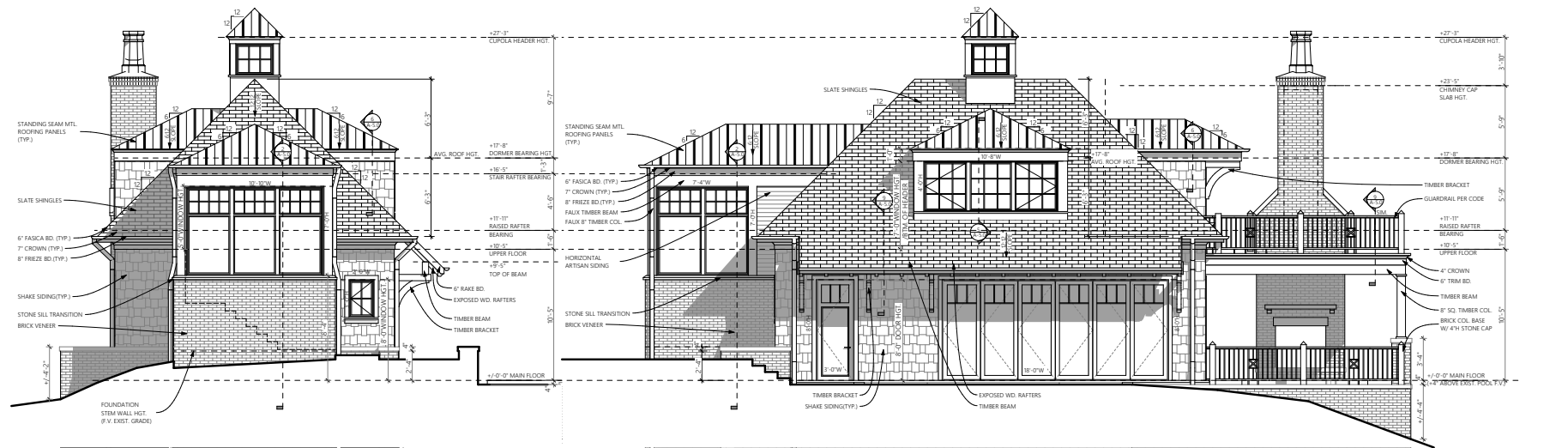
- SLATE ROOFING TILES WITH 30 LB. FELT UNDERLAYMENT @ MAIN ROOFS OR STANDING SEAM MTL. ROOFING PANELS OVER 30 LB. FELT @ DORMERS OVER
- EXTERIOR SHEATHING TO BE A MINIMUM OF 5/8" PER IRC
- 2X12 WEL. RAFTERS AT 16" O.C. PER IRC WITH BUILDER TO VERIFY SIZE AND SPACING WITH SPAN TABLES AND ENGINEER.
- INSULATION PER CODE
- 5/8" GYP. BOARD w/ SMOOTH FINISH

BEARING WALL

OVERFRAME

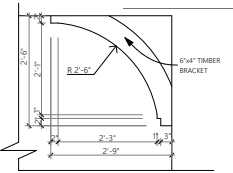


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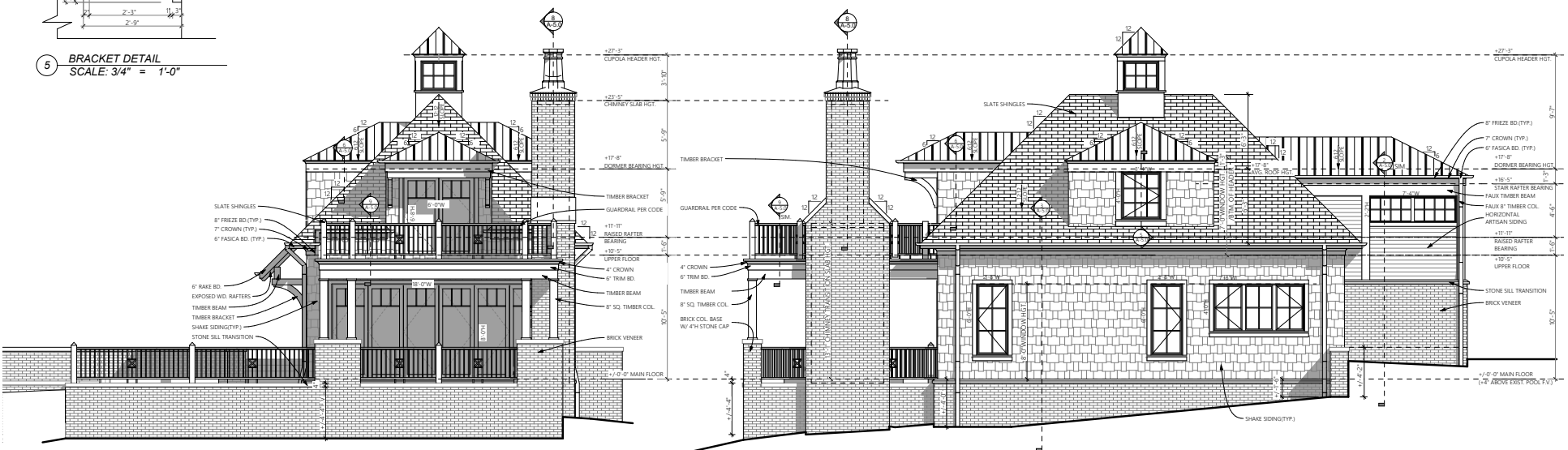


2 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

1 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



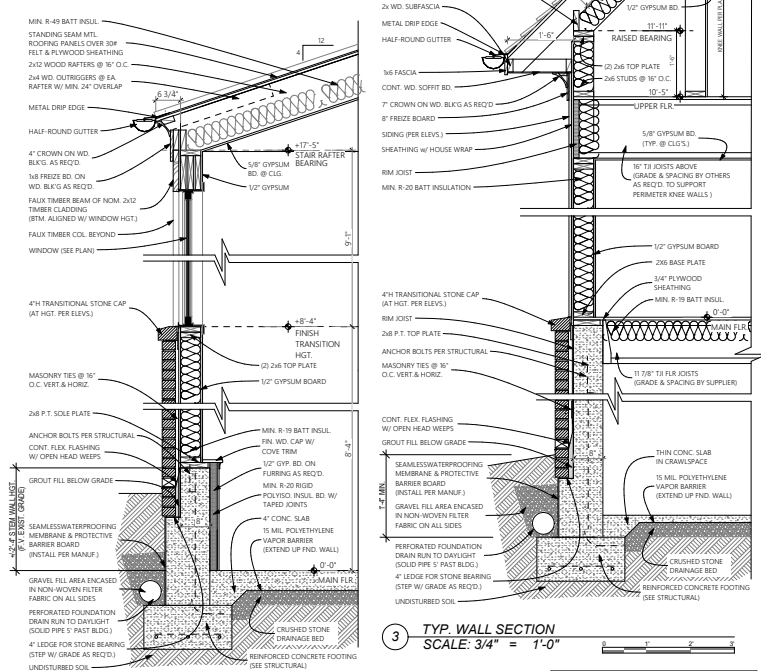
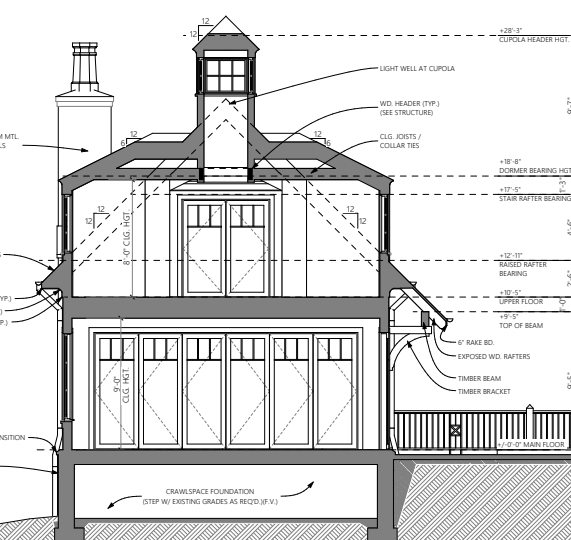
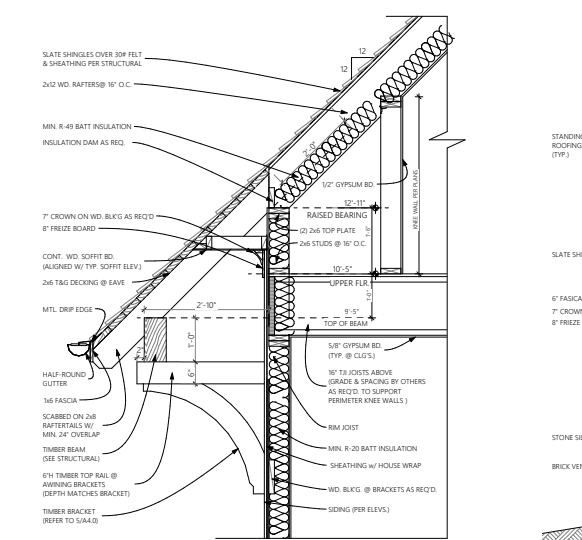
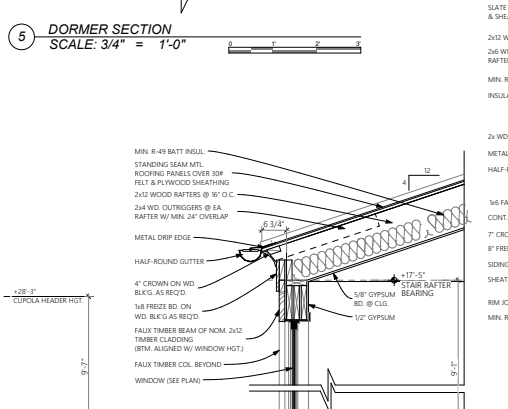
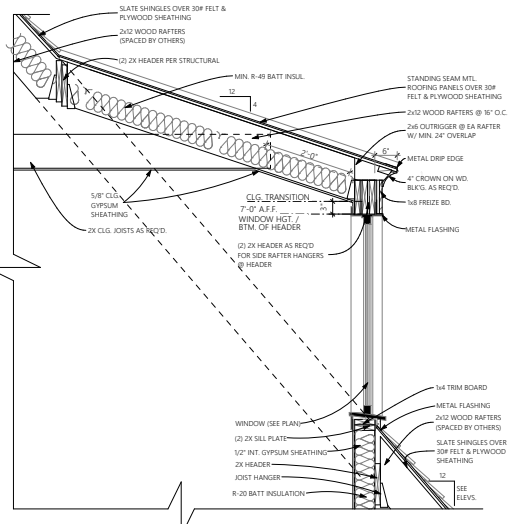
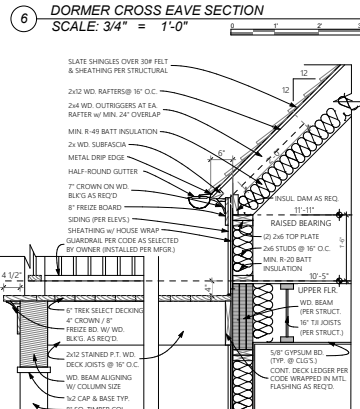
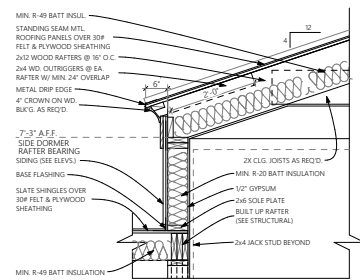
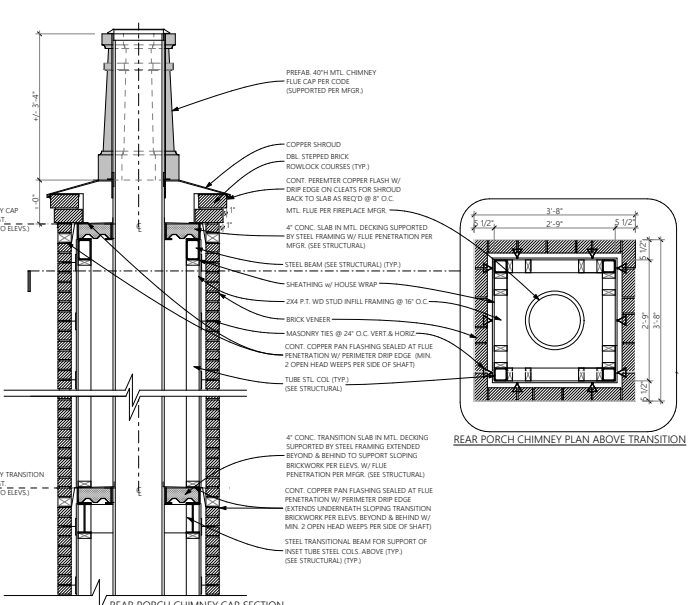
5 BRACKET DETAIL  
SCALE: 3/4" = 1'-0"



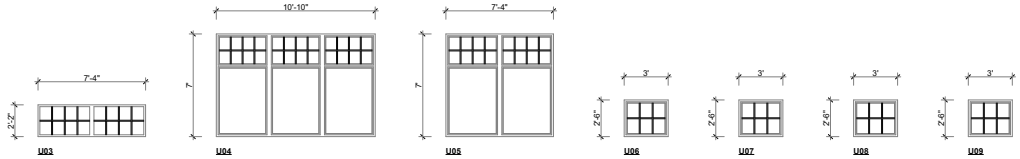
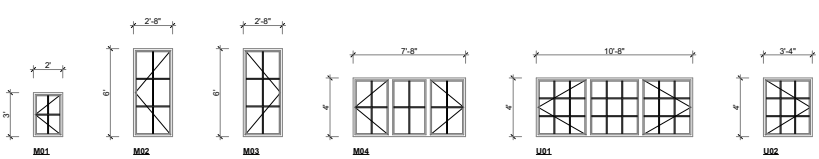
4 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

3 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

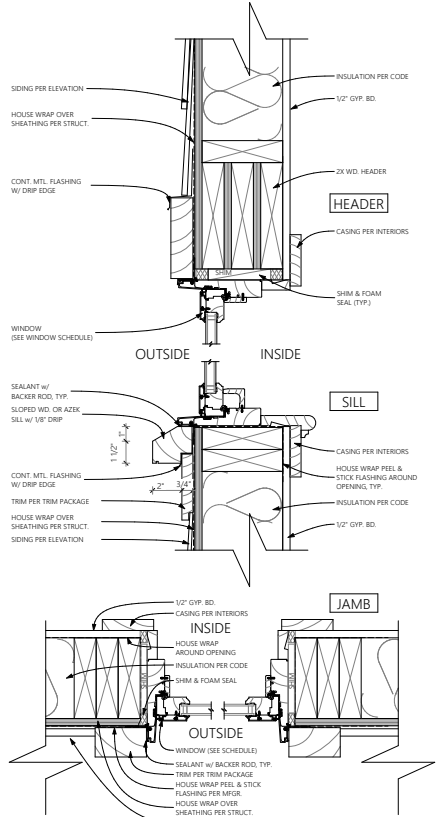
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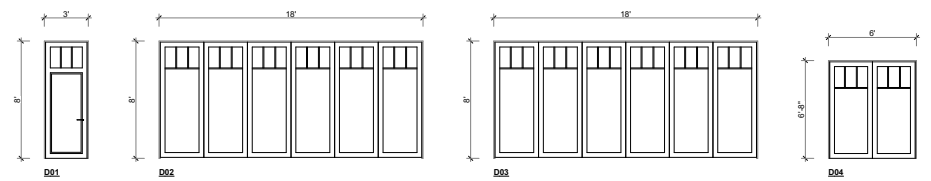
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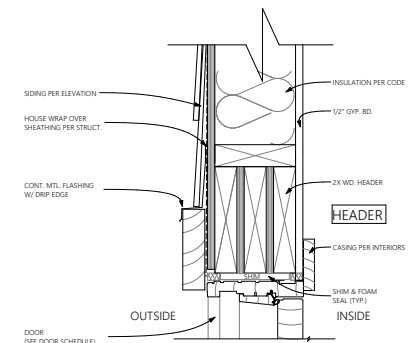
1 WINDOW ELEVATIONS  
SCALE: 1/4" = 1'-0"



2 WINDOW DETAILS  
SCALE: 3" = 1'-0"



3 DOOR ELEVATIONS  
SCALE: 1/4" = 1'-0"



4 DOOR DETAILS  
SCALE: 3" = 1'-0"



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