



Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 4-C-20-HZ

PROPERTY LOCATION: 4683 Old Broadway / Parcel ID 69 D A 006

DISTRICT: Hull-Dobbs Fountain City Individual H Landmark

MEETING DATE: 4/16/2020

APPLICANT: Brian Ewers Dollar & Ewers Architecture, Inc. (Architect)

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Vernacular Commercial, c.1951

One-story, flat-roof commercial structure. Façade (east) features metal and glass storefront window systems, partially enclosed with non-historic wood shingle-siding. Side elevations feature multi-light industrial windows. A stepped parapet divides the front and rear sections.

► **DESCRIPTION OF WORK:**

Full exterior rehabilitation of historic auto sales and service building at 4683 Old Broadway. Scope of work will involve removal of non-historic wood shingle siding, installation of Nichiha-brand fiber cement composite siding on exterior, repair to the existing roof and fascia, and repair to the existing foundation (or replacement where necessary).

Façade (east) will include removal of non-historic wood shingle siding and non-historic storefront windows. Existing storefront windows have been shortened from the original height, and new windows will be restored to their original height, drawing from a historic photograph of the façade. New storefront glass and aluminum double-doors to be installed on façade. The parapet will be repaired and accommodate a new roof drain.

South elevation will receive new multi-light aluminum windows in existing fenestrations, new paired garage-type doors in an existing garage fenestration, and a glass and aluminum storefront door towards the façade elevation. New window sills will be installed to match the existing.

North elevation will receive a new glass and aluminum storefront window and door towards the left side of the elevation.

► **APPLICABLE DESIGN GUIDELINES:**

Secretary of the Interior's Standards for Rehabilitating Historic Buildings.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or



Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 4-C-20-HZ

alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

COMMENTS:

N/A

STAFF FINDINGS:

1. Exterior rehabilitation is guided by continuing the use of the property as related to its historic roots as a midcentury auto display center and service station. The applicant has drawn on the sole historic photograph of the property to guide the rehabilitation.
2. Removing the non-historic wood shingle siding is appropriate, as the siding has obscured the building's historic features and has not gained significance in its own right.
3. Porcelain or metal enamel panels were typical exterior cladding on auto buildings from this period (Preservation Brief 46). The historic photograph does indicate enamel panels above the storefront windows, while the exterior is currently exposed concrete masonry unit or the remaining wood shingle siding. The applicant has stated that using new enamel panels is cost-prohibitive to the project. The proposed Nichiha-brand fiber cement board panels could be appropriate to replicate enamel panels in "design, color, texture, and other visual properties," if they have a smooth, semi-glossy finish. The selected exterior cladding should resemble historic enamel panels in design, texture,



Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 4-C-20-HZ

and visual properties, or the side and rear elevations should remain with repaired exposed concrete masonry units.

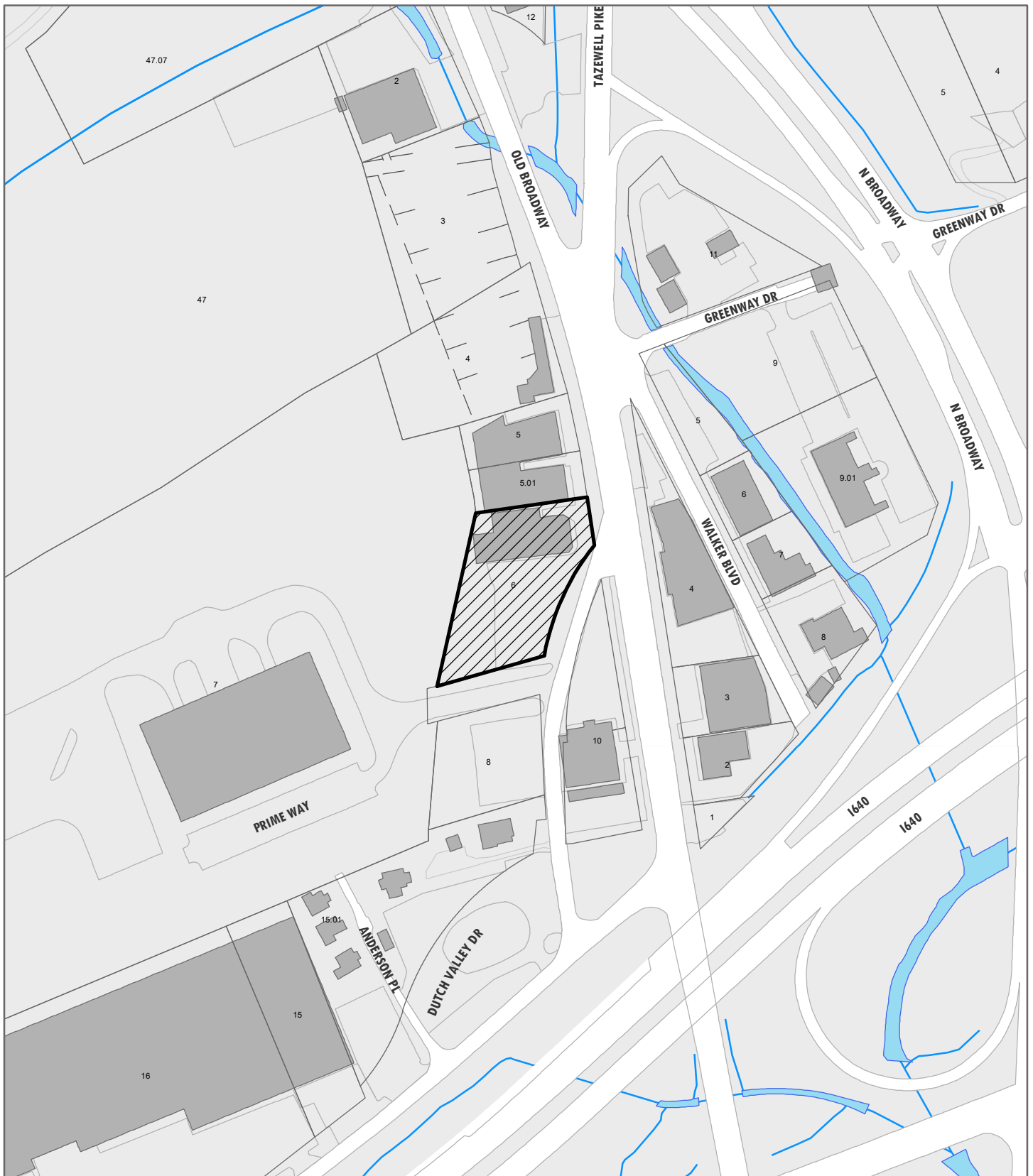
4. Replacing the modified window storefront system with a new storefront system to restore the historic window height is appropriate.

5. Aluminum and glass storefront systems and multi-light windows are appropriate replacement windows for the property, and restoring the garage door on the east elevation retains the auto-oriented nature of the building.

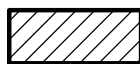
6. The building's footprint is not being enlarged or reduced. Overall, the scope of work will not destroy any remaining historic materials and all work is compatible with the historic context in size, scale, and architectural features.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the work as proposed, with the condition that the exterior cladding material be smooth, semi-glossy to replicate historic enamel panels in "design, texture, and other visual properties," with material specifications to be submitted for approval by staff.



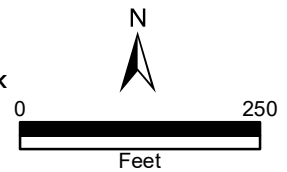
4-C-20-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



4683 Old Broadway 37918
Hull-Dobbs Fountain City Individual H Landmark

Original Print Date: 4/1/2020
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Brian Ewers Dollar & Ewers
 Architecture, Inc.





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Brian Ewers - Dollar & Ewers Architecture, Inc.

Applicant

March 30, 2020

April 16, 2020

4-C-20-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Brian Ewers

Dollar & Ewers Architecture, Inc.

Name

Company

111 E. Jackson Ave - Suite 101

Knoxville

TN

37915

Address

City

State

Zip

865-546-9374

bewers@dollar-ewers.com

Phone

Email

CURRENT PROPERTY INFO

Doug White/MAAD Properties LLC

3610 Captain Way Knoxville, TN 37922

865-740-5500

Owner Name (if different from applicant)

Owner Address

Owner Phone

4683 Old Broadway Knoxville, TN 37918

069DA006

Property Address

Parcel ID

North City

C-G-2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

3/31/20

Staff Signature

Please Print

Date

Brian Ewers

BRIAN EWERS

3/30/2020

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
FEE 2:		
FEE 3:		

RD

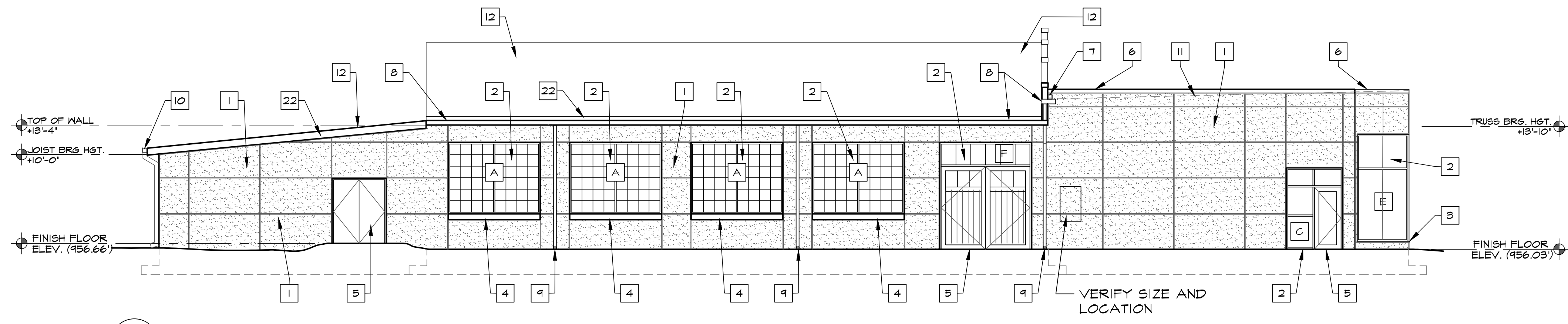
HULL - DOBBS

ENGINE MAKER

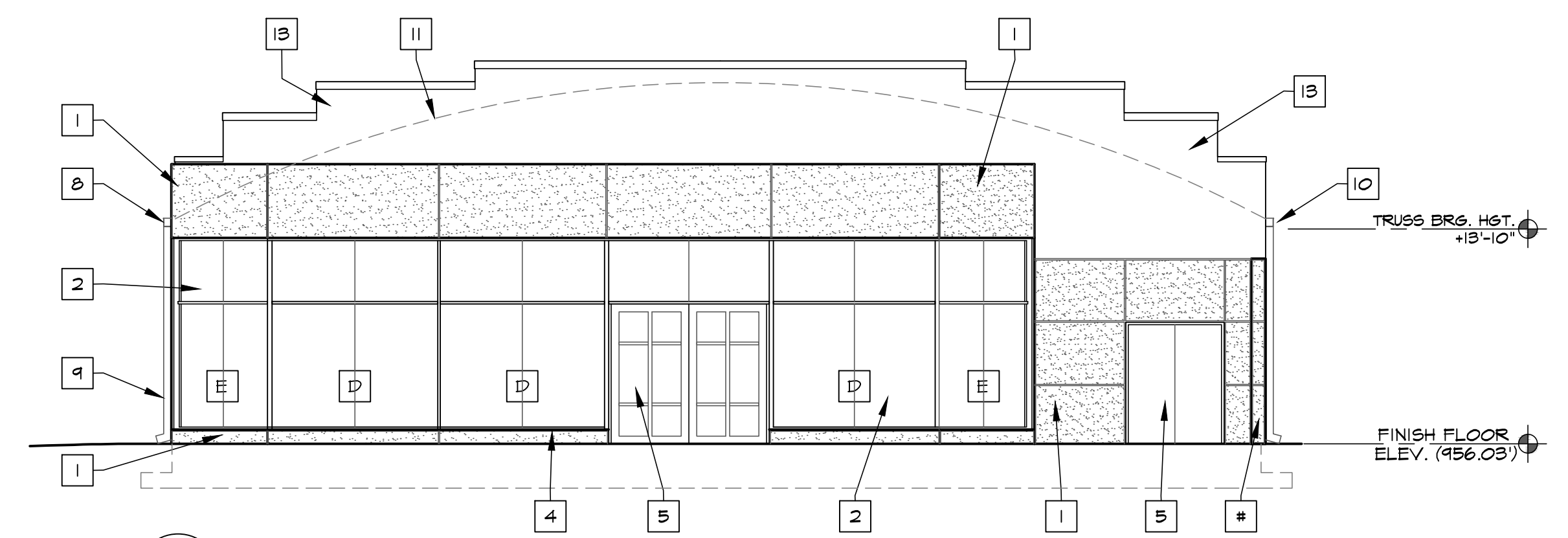
New '53 FORD
NOW ON DISPLAY IN OUR SHOWROOM!

New '53 FORD
NOW ON DISPLAY IN OUR SHOWROOM!

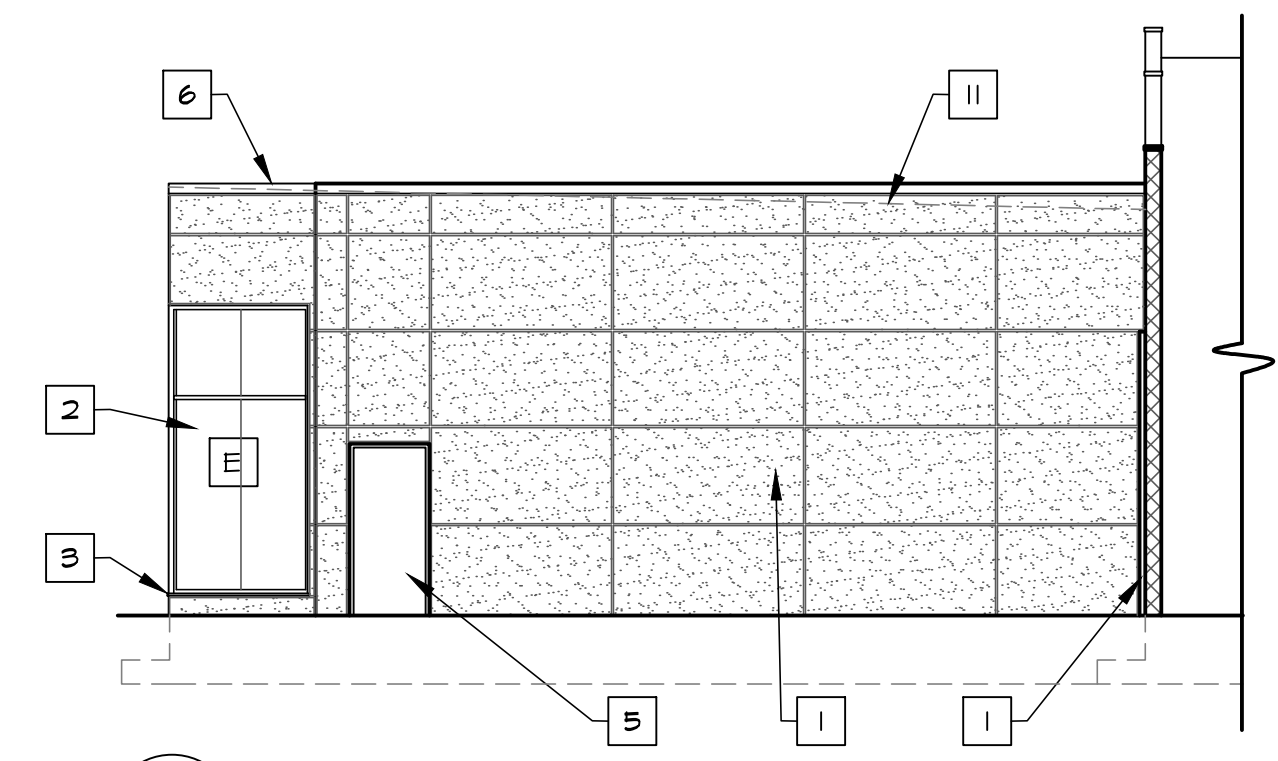




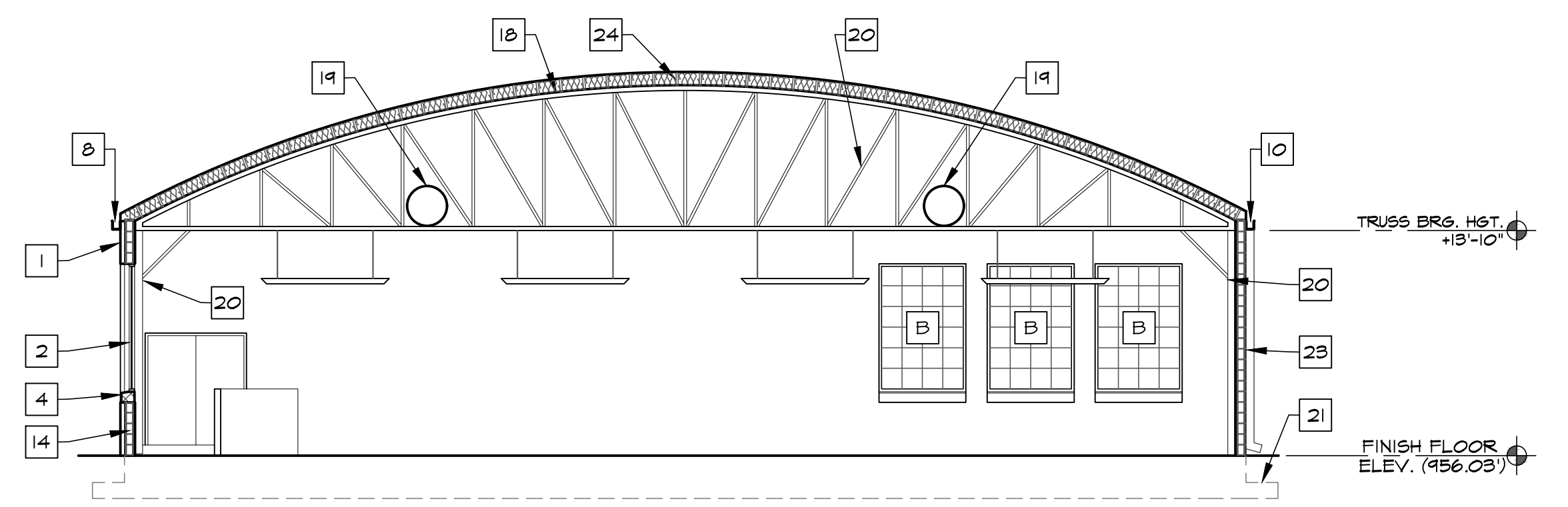
1 SOUTH ELEVATION
A501 SCALE: 1/8" = 1'-0"



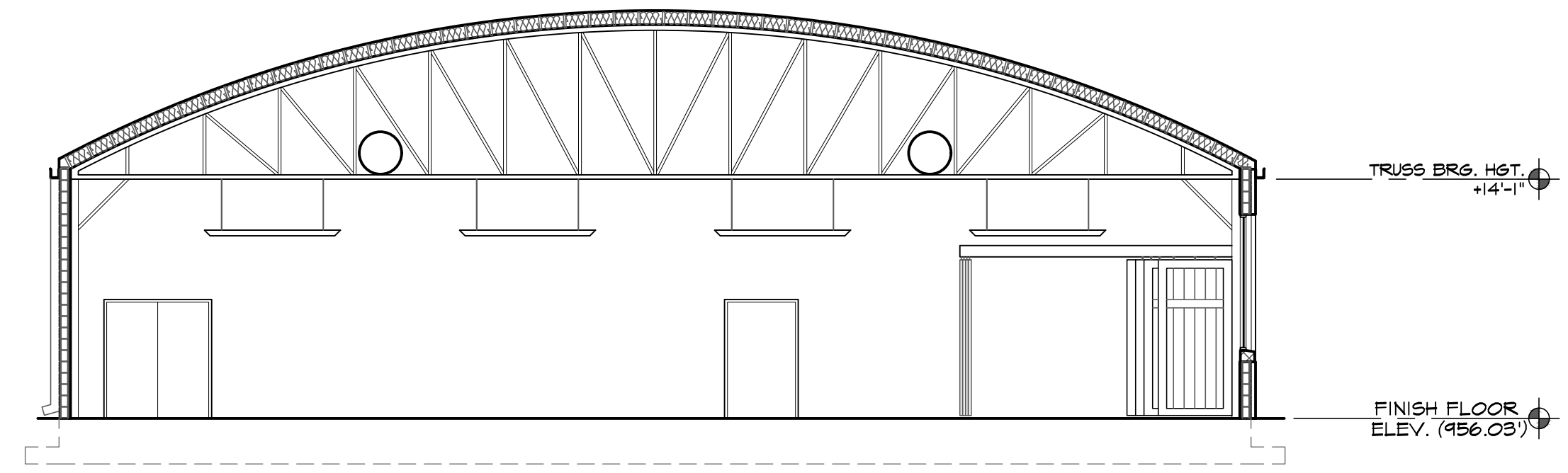
2 EAST ELEVATION
A501 SCALE: 1/8" = 1'-0"



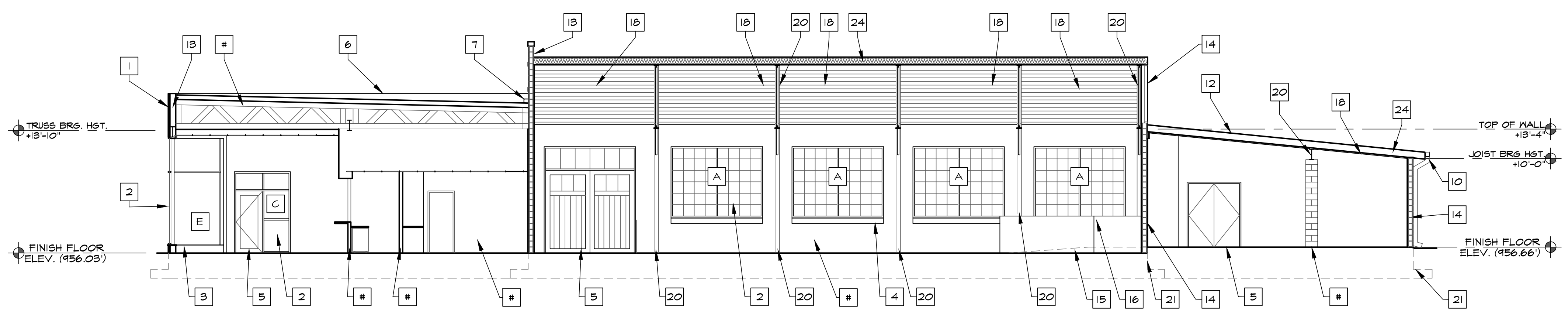
3 NORTH ELEVATION
A501 SCALE: 1/8" = 1'-0"



4 BUILDING SECTION
A501 SCALE: 1/8" = 1'-0"



5 SOUTH ELEVATION
A501 SCALE: 1/8" = 1'-0"



6 BUILDING SECTION
A501 SCALE: 1/8" = 1'-0"

NOTE:
GENERAL CONTRACTOR TO PROVIDE A SAMPLE PANEL FOR NEW EXTERIOR FIBER CEMENT BOARD VENEER.

- GENERAL ELEVATION NOTES:**
1. SEAL AND PAINT ALL EXPOSED EXTERIOR CONCRETE MASONRY (CMU) WALLS AS NOTED. REFER TO EXTERIOR FINISH SCHEDULE FOR ALL PAINT COLOR CALL OUTS.
 2. ALL EXPOSED TUBE STEEL BASES, COLUMNS, BOLLARDS, RAILINGS, BRICK ANGLE SUPPORTS, ETC. TO BE PAINTED.
 3. OVERHEAD DOOR GUIDES IN BASCART STORAGE AREA SHOULD BE MOUNTED HIGH ENOUGH TO AVOID BEING SEEN THROUGH WINDOWS FROM OUTSIDE.

- GENERAL SEALANT NOTES:**
1. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL CONTROL JOINTS IN MASONRY WALLS, TYPICAL. DOWN/CORNING # 740.
 2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL JUNCTURES BETWEEN DISSIMILAR MATERIALS, IE BRICK TO EIFS, DOWN/CORNING # 740.
 3. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL CONTROL JOINTS IN EIFS, TYPICAL, DOWN # 740.
 4. PROVIDE CLOSURE END CAPS AND 90 DEGREE TRANSITIONS AT ALL EXPANSION JOINTS AND END WALL CAPS AT GRAVEL STOPS, TYPICAL.
 5. PROVIDE SEALED SHEET METAL HOOD OVER PIPE PENETRATIONS THROUGH ROOF PITCH FANS 16" MIN. AWAY FROM ROOF TOP HVAC UNITS TYPICAL. COORDINATE CUT IN GUTS ROOFING CONTRACTOR.
 6. SEAL ALL METAL TO METAL CONNECTIONS WITH DOWN/CORNING # 745 (NOTE: NO CLEAR SILICONE SEALANT SHALL BE ALLOWED) SEAL ALL METAL COPING STANDING SEAM JOINTS WITH DOWN/CORNING # 745 TYP.

KEYED NOTES: (X)

1. NEW CEMENT FIBERBOARD SIDING
2. NEW WINDOWS TO BE INSTALLED
3. NEW WINDOW SILL TO BE INSTALLED
4. EXISTING WINDOW SILL TO REMAIN REPAIR AND REPLACE AS REQUIRED
5. NEW DOOR(S) TO BE INSTALLED
6. REPAIR AND EXTEND PAPAPET
7. ROOF DRAIN THROUGH PAPAPET
8. REPLACE EXISTING GUTTER
9. NEW DOWNSPOUTS
10. KEEP EXISTING GUTTER AND DOWNSPOUTS REPAIR AND REPLACE AS REQUIRED
11. EXISTING ROOF BEYOND - ROOFING TO BE REPAIRED AND REPLACED AS REQUIRED
12. EXISTING ROOFING TO REMAIN REPAIR AND REPLACE AS REQUIRED
13. EXISTING WALL TO BE CLEANED AND PAINTED - REPAIR AS REQUIRED
14. EXISTING WALL TO BE REPAIRED AS REQUIRED
15. NEW ACCESS RAMP TO BE INSTALLED
16. NEW RAMP WALL 50" A.F.F.
17. NEW GYP. WALL BOARD
18. NEW CEILING FINISH
19. NEW HVAC AIR DUCT
20. EXISTING STEEL COLUMNS AND TRUSS TO REMAIN AND BE REPAIRED
21. EXISTING FOUNDATION- REPAIR AND REPLACE AS REQUIRED
22. EXISTING FASCIA- REPAIR AND REPLACE AS REQUIRED
23. EXISTING WALL TO BE REPAIRED AS REQUIRED
24. EXISTING STRUCTURE AND INSULATION TO REMAIN



ARCHITECTURE, INC.
111 E Jackson Avenue • Suite 101
Knoxville, Tennessee • 37915
phone: 865-546-9374 • fax: 865-673-9028
e-mail: design@dollar-ewers.com



NO.	REVISIONS

An Interior Renovation for:
BRIDGEWATER NORTH EVENT SPACE
4683 OLD BROADWAY STREET, KNOXVILLE TENNESSEE 37918
BLDG. ELEVATIONS & SECTIONS

COPYRIGHT
ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY DOLLAR & EWERS ARCHITECTURE, INC. ARE AND SHALL REMAIN THE PROPERTY OF D&E, INC. AND ARE NOT TO BE USED WITH ANY OTHER PROJECT. WITH THE EXCEPTION OF ONE CONTRACT SET FOR EACH PARTY TO THE CONTRACT, SUCH DOCUMENTS ARE TO BE RETURNED OR DESTROYED ACCORDING TO THE CONTRACT. SUBMISSION OF THESE DOCUMENTS TO ANY OTHER PARTY OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSIDERED AS PUBLICATION OR DEROGATION OF D&E'S COMMON LAW COPYRIGHT OR OTHER RESERVED RIGHTS.
COPYRIGHT

ISSUE DATE: JANUARY 10, 2018
PROJECT NO.: 217165
SHEET NUMBER:
A501







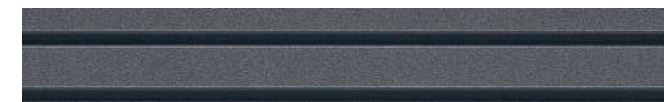
Create depth and intrigue with
THE DIMENSION SERIES

RIBBED | VINTAGEWOOD

RIBBED



IVORY



INDIGO

CUSTOM HUES MEET MODERN DESIGN
With Color Xpressions, Ribbed panels are available in an array of custom colors. Learn more on page 6.

Custom color and texture are often used to create depth to make small spaces seem larger. However, even large areas can benefit from these techniques to give flat designs more visual interest.

RIBBED SPECS	AWP 3030
DIMENSIONS (ACTUAL MM)	17-7/8" H x 119-5/16" L (455MM H x 3030MM L)
THICKNESS (ACTUAL MM)	5/8 (16MM)
WEIGHT (LBS. PER PANEL)	57.3
WEIGHT (LBS. PER SQ. FT.)	3.8
EXPOSED COVERAGE (SQ. FT. PER PANEL)	14.81 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [29.62 SQ. FT.]

AWP 3030 CAN BE INSTALLED HORIZONTALLY OR VERTICALLY.

NOVENARY



OPAL



SLATE



SAND



OCHRE



CLAY

NOVENARY SPECS	AWP 1818
DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)
THICKNESS (ACTUAL MM)	7/8 (21MM)
TILE SIZE	5-3/8" H x 23-1/4" L
WEIGHT (LBS. PER PANEL)	47.84
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [17.76 SQ. FT.]

AWP 1818 CAN ONLY BE INSTALLED HORIZONTALLY.

Color. Texture. Depth. It's Design Complexity Made Simple.

Don't settle for a single, flat look when the Dimension Series lets you add depth, texture and color to your designs. Our multi-dimensional Ribbed™ and Novenary panels bring visual interest to smooth surfaces, like glass or metal, with recessed reveals and striking shadow lines. An additional element, like color, is the perfect way to add another layer of depth and intrigue. The Dimension Series gives you the design flexibility you desire to bring walls to life.



RIBBED | ILLUMINATION | ROUGHSAWN



RIBBED | ILLUMINATION

