



Staff Report - Certificate of Appropriateness Application

Knoxville Historic Zoning Commission

File Number: 4-B-20-HZ

PROPERTY LOCATION: 223 Deaderick Ave. / Parcel ID 94 K D 021

DISTRICT: Mechanicsville H-1

MEETING DATE: 4/16/2020

APPLICANT: Christine Gray

LEVEL OF WORK: Level II. Construction of addition or outbuilding

PROPERTY DESCRIPTION: Queen Anne, c.1900

One-and-one-half-story, frame residence with two-story rear addition, clad in weatherboard wall covering. Hipped roof with lower cross gables, asphalt shingle covering and dormer windows on side elevations, and rear addition with hipped roof. Double-hung, one-over-one and two-over-two windows with small paned casement window. One-story, one-half modified front porch with chamfered wood posts with incised vertical grooves set on fieldstone piers. Two interior offset brick chimneys. Brick foundation. Irregular plan.

► **DESCRIPTION OF WORK:**

Construction of a deck on the rear (northwest) elevation, to be built of pressure-treated wood. Deck will be 24' wide by 16' deep on the left side and 13' deep on the right side. The deck's elevation above the ground level will vary due to topography, being 28" off the ground on the right side and between 28" and 4" off the ground on the right side. The deck will feature one set of 48" wide steps on the deck's left side and one set of 60" wide wood steps on the rear right corner of the deck. The 60" wide steps will have a 36" tall handrail to match the guardrails. Deck is proposed with a 38" tall railing, featuring 1-1/2" square balusters and 2"x4" top and bottom rails. Balusters are proposed to be attached to the sides of rails.

► **APPLICABLE DESIGN GUIDELINES:**

Mechanicsville Design Guidelines, adopted by the Knoxville City Council on September 20, 2011.

2. Design elements to be incorporated in any new porch design must include tongue-and-groove wood floors, beadboard ceilings, wood posts and/or columns, and sawn and turned wood trim when appropriate. If balustrades are required, they must be designed with spindles set into the top and bottom rails.

COMMENTS:

N/A

STAFF FINDINGS:

1. The house is a contributing structure to the Mechanicsville National Register Historic District and H overlay.



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2. The deck will not be visible from the public right-of-way. The deck's placement on the rear elevation is appropriate, and meets the rear and side setback requirements for the base zoning.
3. The vertical, square, picket-style railing is compatible with the Queen Anne-style house. The deck is proportionate to the house, and constructed of materials that meet the design guidelines.
4. No historic fabric will be compromised for the deck's installation and it may be removed in the future with no major alterations to the house.
5. The new steps and handrails will match those on the deck.
6. Guidelines recommend that balusters be set into the top and bottom rails, instead of attached to the sides of rails.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the work as proposed, with the condition that the balusters are set into the top and bottom rails on guardrails and handrail.





4-B-20-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS


223 Deaderick Ave. 37921
Mechanicsville H-1

Original Print Date: 4/1/2020
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Christine Gray



 0 250
 Feet



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Christine Gray

Applicant

3/18/2020

4/16/2020

4-B-20-HZ

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Christine Gray

Name

Company

223 Deaderick Ave

Knoxville

Tn

37921

Address

City

State

Zip

865-368-9021

christinegray@comcast.net

Phone

Email

CURRENT PROPERTY INFO

Christine Gray

223 Deaderick Ave Knoxville Tn 37921

865-368-9021

Owner Name (if different from applicant)

Owner Address

Owner Phone

223 Deaderick Ave Knoxville Tn 37921

094KD021

Property Address

Parcel ID

Mschanicsville

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

3/30/20

Staff Signature

Please Print

Date

(digitally signed 3/18/20)

Christine Gray

3/18/2020

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: Replacing old deck with a new deck. _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
FEE 2:		
FEE 3:		

Current questions answered

- 1) Stairs on the "left Side" will not have any risers. It will be a 48" opening 7" step to the existing brick sidewalk, no railings

60" stairs on the rear will have 3 risers, 7" steps. Total height from deck to ground is 28". These steps will have a railing 36" tall per code on both sides with a handrail.

(SEE EXHIBIT A)

- 2) Rear setback is approximately 26'
Side setback approximately 19'

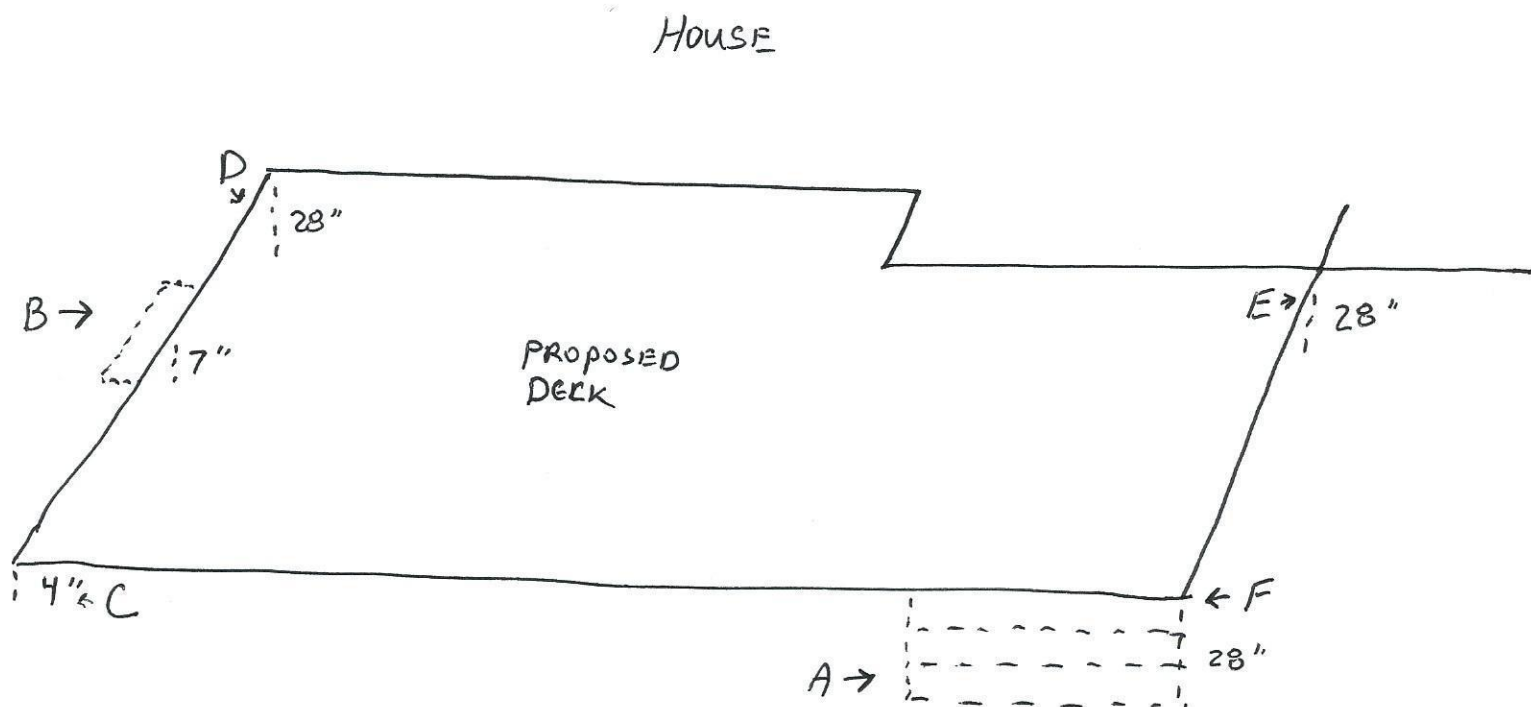
(SEE EXHIBIT B, B1, B2)

- 3) Guardrail for deck will be within code at 38", with the square balusters at 32 ½"

(SEE EXHIBIT C, C1)

EXHIBIT A

STAIR / STEP INFORMATION DECK HEIGHT

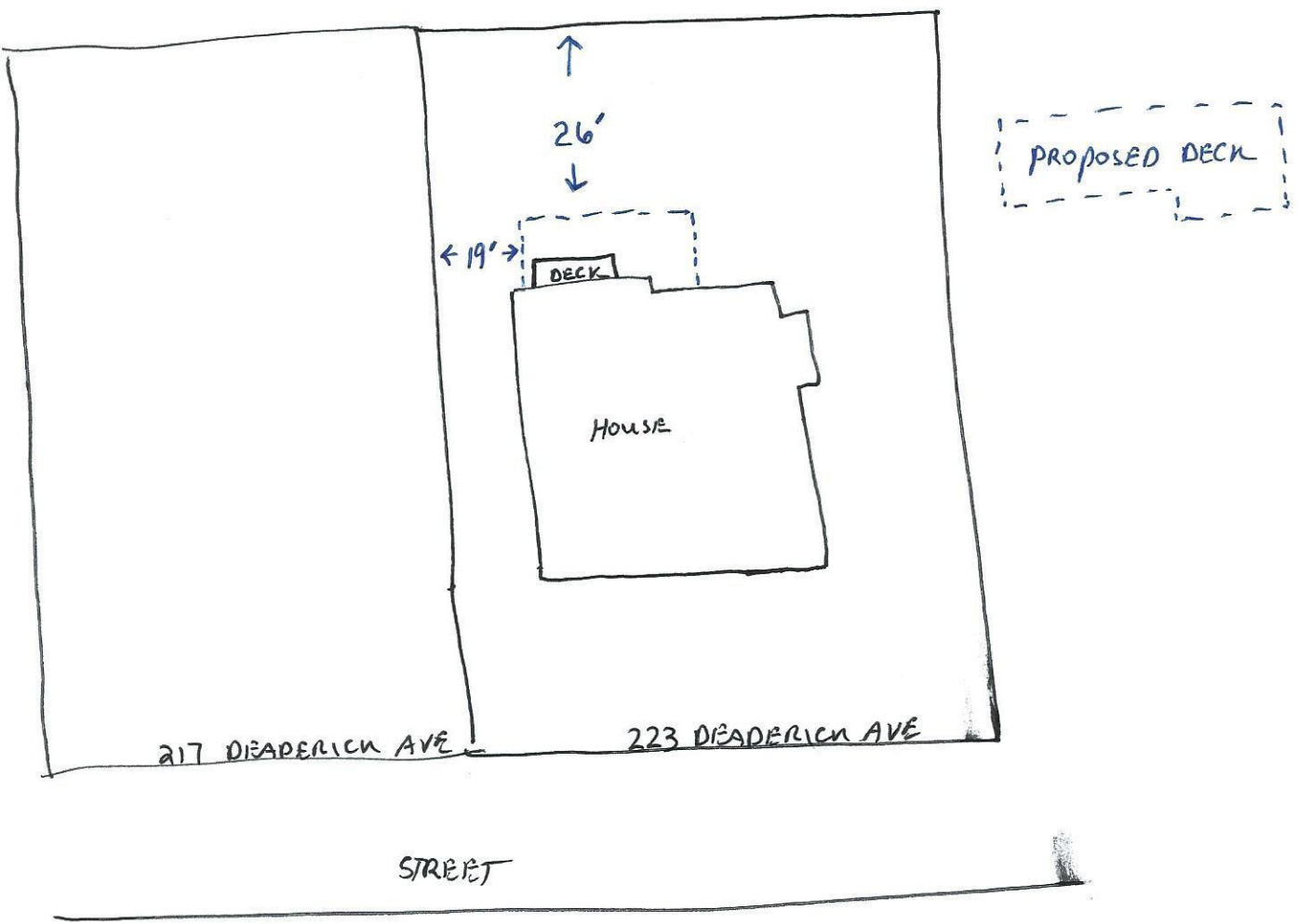


- A 60" WIDE STAIRS ON BACK, 28" FROM DECK TOP TO GROUND. 3 RISERS 7" EACH. STAIRS WILL HAVE 36" GUARD RAILS CONSISTENT WITH RAILS IN PROVIDED DIAGRAM "RAILINGS" HANDRAIL WILL ALSO BE INSTALLED
- B 48" WIDE OPENWALK STAIR, 7" FROM TOP OF DECK TO GROUND. NO RISERS, STEPS DOWN TO EXISTING BRICK WALKWAY. NO RAILINGS
- C DECK HEIGHT TO GROUND, APPROX 4"
- D DECK HEIGHT TO GROUND, APPROX 28"
- E DECK HEIGHT TO GROUND, APPROX 28"
- F DECK HEIGHT TO GROUND, APPROX 28"

~~EXHIBIT B~~

EXHIBIT B

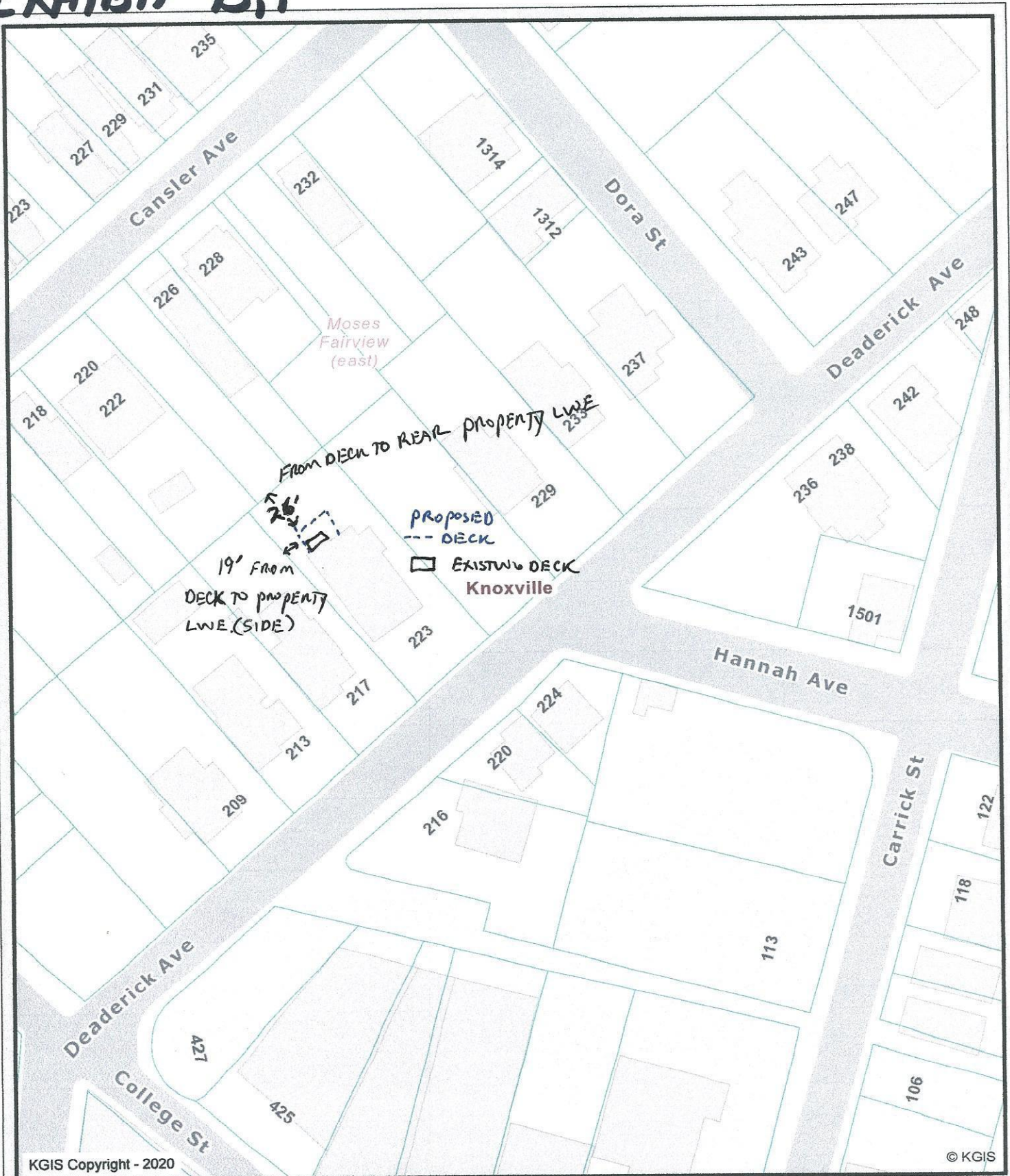
SETBACKS



26' REAR SETBACK

19' SIDE SETBACK

EXHIBIT B,1



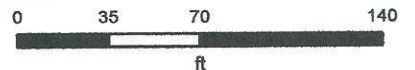
223 Deaderick Ave

Deck diagram
not to scale

Knoxville - Knox County - KUB Geographic Information System



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EXHIBIT B2



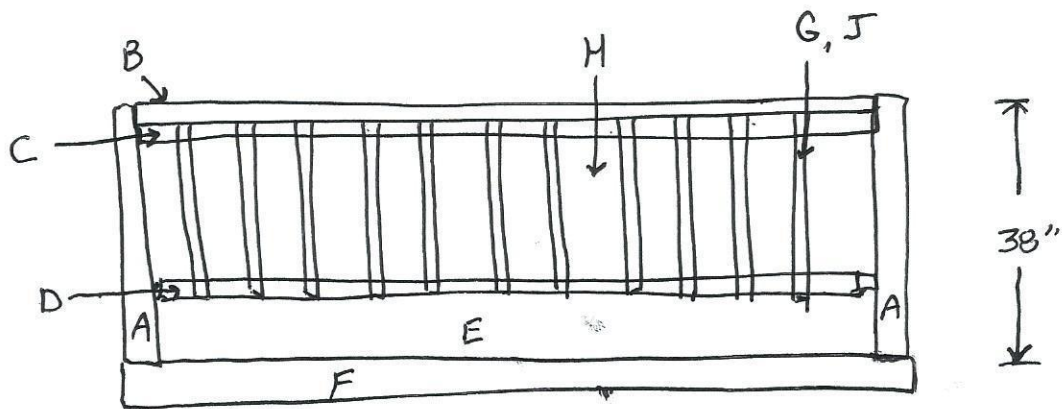
Proposed Deck

Deck



EXHIBIT C

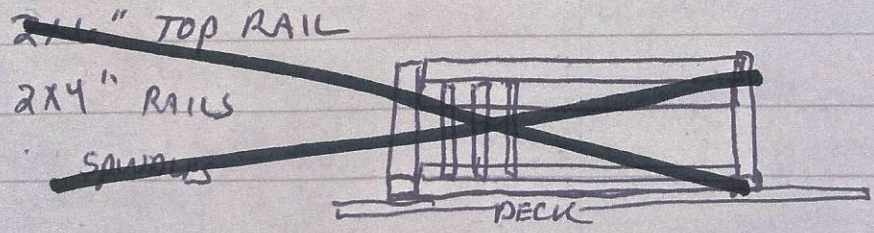
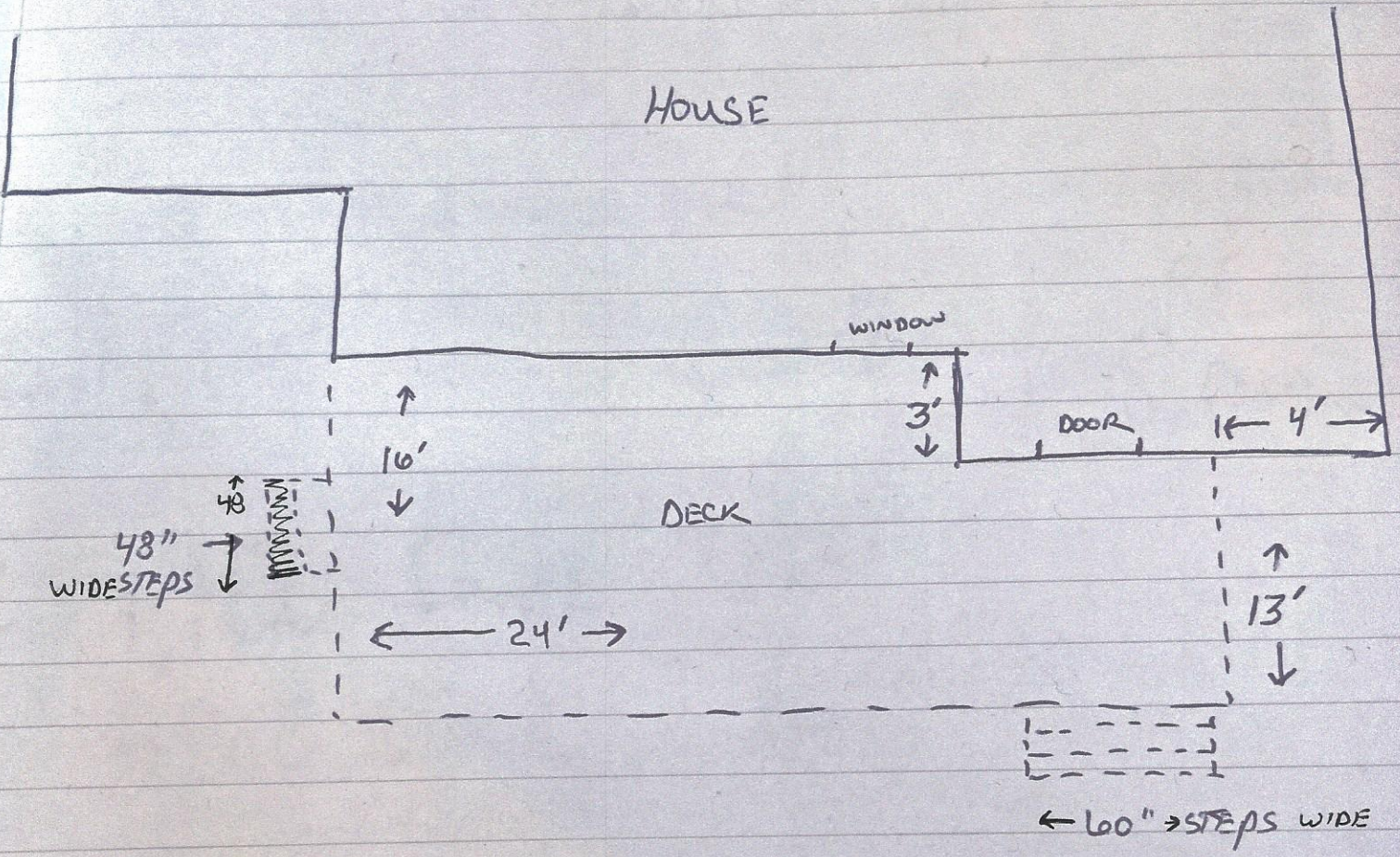
RAILINGS



- A 4x4 post
- B 2x6 TOP GUARD/RAIL 38" FROM DECK
- C 2x4 INNER BAND FOR BALUSTER/SPINDLE
- D 2x4 LOWER BAND FOR BALUSTER/SPINDLE
- E OPEN SPACE TO DECK 4"
- F DECK
- G BALUSTER/SPINDLE 1 1/2" X 1 1/2" SQUARE
- H OPEN SPACE BETWEEN SPINDLES/BALUSTER 4"
- J BALUSTER/SPINDLES 32 1/2" WILL BE SCREWED TO OUTSIDE OF C + D (2x4's)

EXHIBIT C1







Façade, photographer facing northwest



Previous deck on rear elevation



Google Streetview



Google Streetview