



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY LOCATION: 1616 Forest Ave. /
Parcel ID 94 N E 012

FILE NO.: 9-I-19-HZ

DISTRICT: Ft. Sanders NC-1

MEETING DATE: 9/19/2019

APPLICANT: John Holmes

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Queen Anne cottage, c.1900

One-story, cross-gable roof residence with an asphalt shingle roof and a continuous brick foundation. Exterior is clad in vinyl siding. Façade (north) features a full-length hipped porch, supported by square wood posts with wooden brackets. Porch wraps around east elevation. Entry is located recessed from the façade on the central side-gable roof massing. Interior brick chimney, centrally located on the front gable ridgeline.

► **DESCRIPTION OF WORK:**

Applicant is requesting approval of demolition of 19'-7" of the house to the rear, reconstruction of the 19'-7" section, and an additional 15.2' rear addition. The width of the addition will be 21', leaving a 1' offset on either side of the house to delineate the addition. The shed roofline on the existing 19'-7" middle section will be reconstructed as a gable roof to allow for a proper slope and better water drainage. Windows with shutters will be installed where existing windows were previously located (see example from 1618 Forest Avenue).

► **APPLICABLE DESIGN GUIDELINES:**

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

1. Additions should be made to the rear or side of the building.
2. The wall of the new structure (addition) should not be continuous with the wall of the existing building, but have a minimum 4 x 6 indentation.

Secretary of the Interiors Standards for Rehabilitation

3. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
 4. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be impaired.
-

COMMENTS:

Applicant has enlisted a surveyor to confirm the potential encroachment of the proposed addition's southwest corner. According to applicant, the surveyor thinks the corner is exactly on the property line or a 1" encroachment.

STAFF FINDINGS:

1. The house is a contributing structure in the Fort Sanders NC-1 District.
2. The ordinance for an NC-1 district declares the third purpose of the NC-1 overlay as "to regulate demolition."



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Thus, proposed demolition of additions over 50 years old on a structure that contributes to an NC-1 district must be reviewed by the Historic Zoning Commission. The applicant is proposing an additional demolition to approximately 19' of the rear of the structure. This demolition was not included in the original COA.

3. The proposed addition will be located at the rear of the building, and will be offset to distinguish it from the original structure. It will be compatible with massing, size, scale, and architectural features to protect the historic integrity of the original structure.

4. At the August 2019 HZC meeting, extensive discussion occurred regarding 1616 Forest Avenue, and the adjacent house, 1614 Forest Avenue. The applicant has described both houses as "identical." The Commission identified the need for windows on both properties' west elevations, to avoid creating a long wall with no transparency. For the adjacent 1614 Forest Avenue, the Commission recommended the west elevation walls be constructed at minimum 3' away from the property line, with two windows of matching sizes installed in the spaces described on the plan as Bathroom 1 and Bathroom 2.

5. City Plans Review and Inspections staff verified that windows cannot be installed if they are less than 3' away from the property line.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the work as proposed, with the following condition: the newly constructed wall section (the 19'-7" section and the 15.2' addition) be constructed at a minimum of 3' from the property line, with windows of matching sizes to be installed in the spaces labeled "bathroom 1" and "bathroom 2."



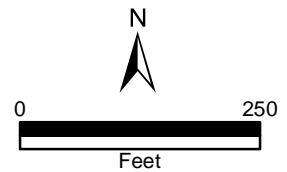
9-1-19-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1616 Forest Ave. 37916
Ft. Sanders NC-1

Original Print Date: 9/10/2019
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes



Certificate (File) No: 9-I-19-HZ

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. **NAME OF APPLICANT:** John Holmes
Address: 5914 Gray Gables Dr. Knoxville, TN 37931
Telephone: 423-231-4980 E-mail address: jholmes6@gmail.com
Relationship to Owner: Owner

2. **NAME OF OWNER:** See Above
Address: _____
Telephone: _____ E-mail address: _____

3. **LOCATION OF PROPERTY:**
Address: 1616 Forest Ave Tax ID/Lot/Parcel No: 094A/E013

4. **LEVEL OF WORK** (circle Level)

- Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA
- Level II** Major replacement of materials or architectural elements; construction of addition or outbuilding
- Level III Construction of a new primary building; subdivision of individually designated property
- Level IV Demolition or relocation of a contributing structure

5. **DESCRIPTION OF WORK:** (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

See Attached

6. **SIGNATURE OF APPLICANT:** [Signature] Date: 8/28/19

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or Fax: 865-215-2068. **Incomplete applications will not be accepted.**

FOR STAFF USE ONLY			
Date Received	Approved	Disapproved	Approved As Modified
Date Acted On			

1616 Forest Ave:**Level 2:****Rear Addition:**

We would like to extend on to the back of the house by 15.2 feet to the North. The width will be 21 feet which leaves a 1 foot offset on either side of the house to delineate the addition. The existing shed style roof does not have the proper slope to meet code requirements and pools water on it at the back. We would request to change the back portion of the roof and over the addition to a gable style. This would allow for the proper slope and better drainage of water. Due to the proximity of walls to the property lines the building department will require the construction of 1hr rated fire walls. Walls within 5' will require this 1hr rated wall and allows openings, walls with 3' are not allowed to have any openings. The fire walls are not visually different, except for the ones not allowing openings. This is the exact same addition approved in 2018 for 1618 Forest. Windows with shutters will installed where existing windows were previously installed. See picture below, matches style approved on 1618 Forest.

Lot Coverage:

The existing lot size is 32x 150'. This results in a total lot size of 4,800 Square Feet. Max footprint is 30% of 4800 or 1,440 sq ft.

Current house size is 1,121 sq ft and the addition of 21 feet wide x 15.2 feet results in a total of 1457 sq ft.

This results in a lot fill of 29%, 30% is allowed without variance.

Below are pictures of the house as it currently is as well as pictures of 1618 Forest which was approved last year and is identical.

1616 Forest Rear:

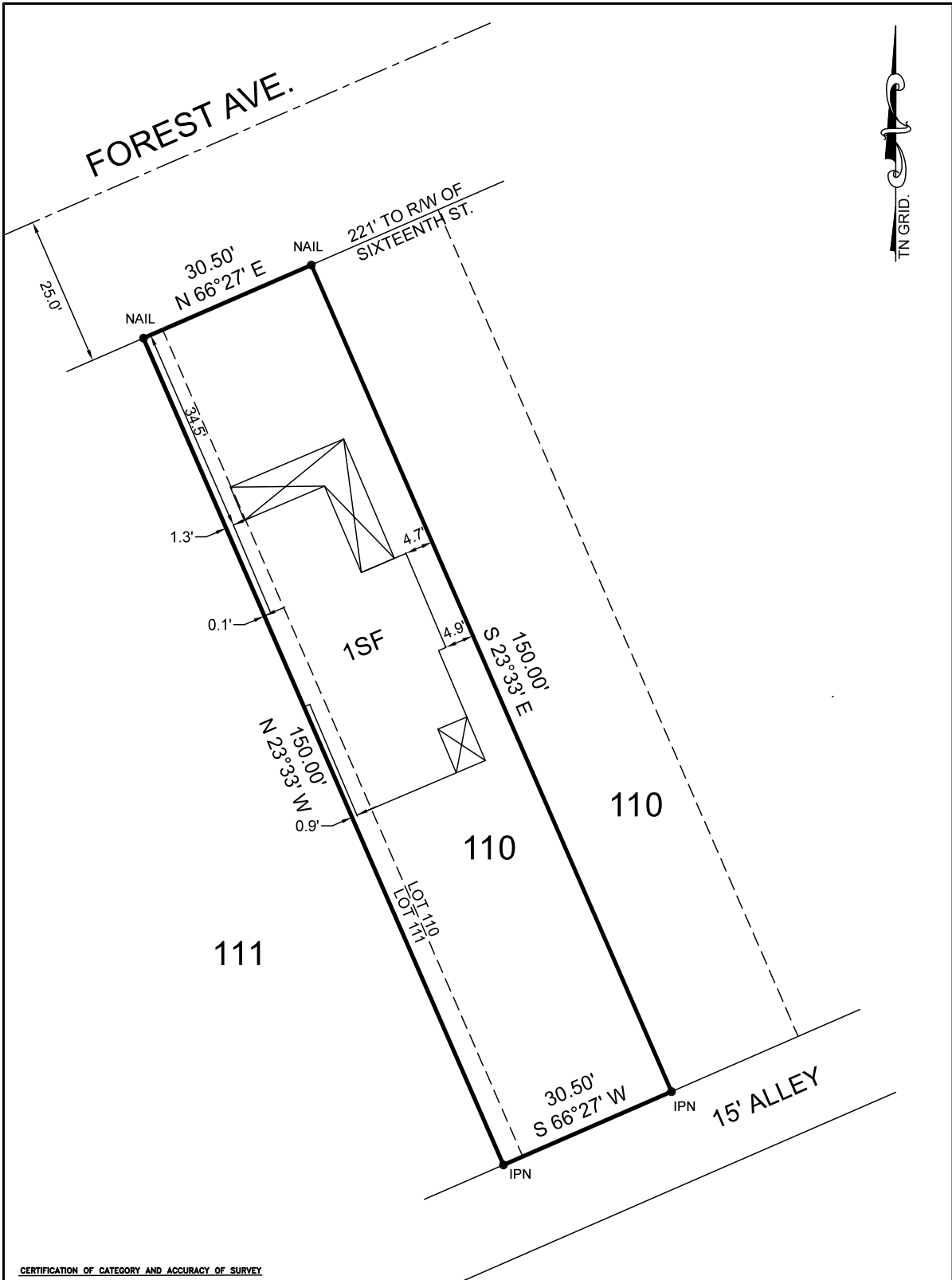


1616 Forest Front:



1616 Forest East Side:





CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY

I HEREBY CERTIFY THAT THIS CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:110,000 AS SHOWN HEREON
 SURVEYOR: STANLEY E. HINDS TENN. REG. NO. 867

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE LATEST RECORDED DEED AND OTHER DOCUMENTS FURNISHED BY THE ATTORNEY THAT THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THAN THOSE SHOWN AND THAT THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

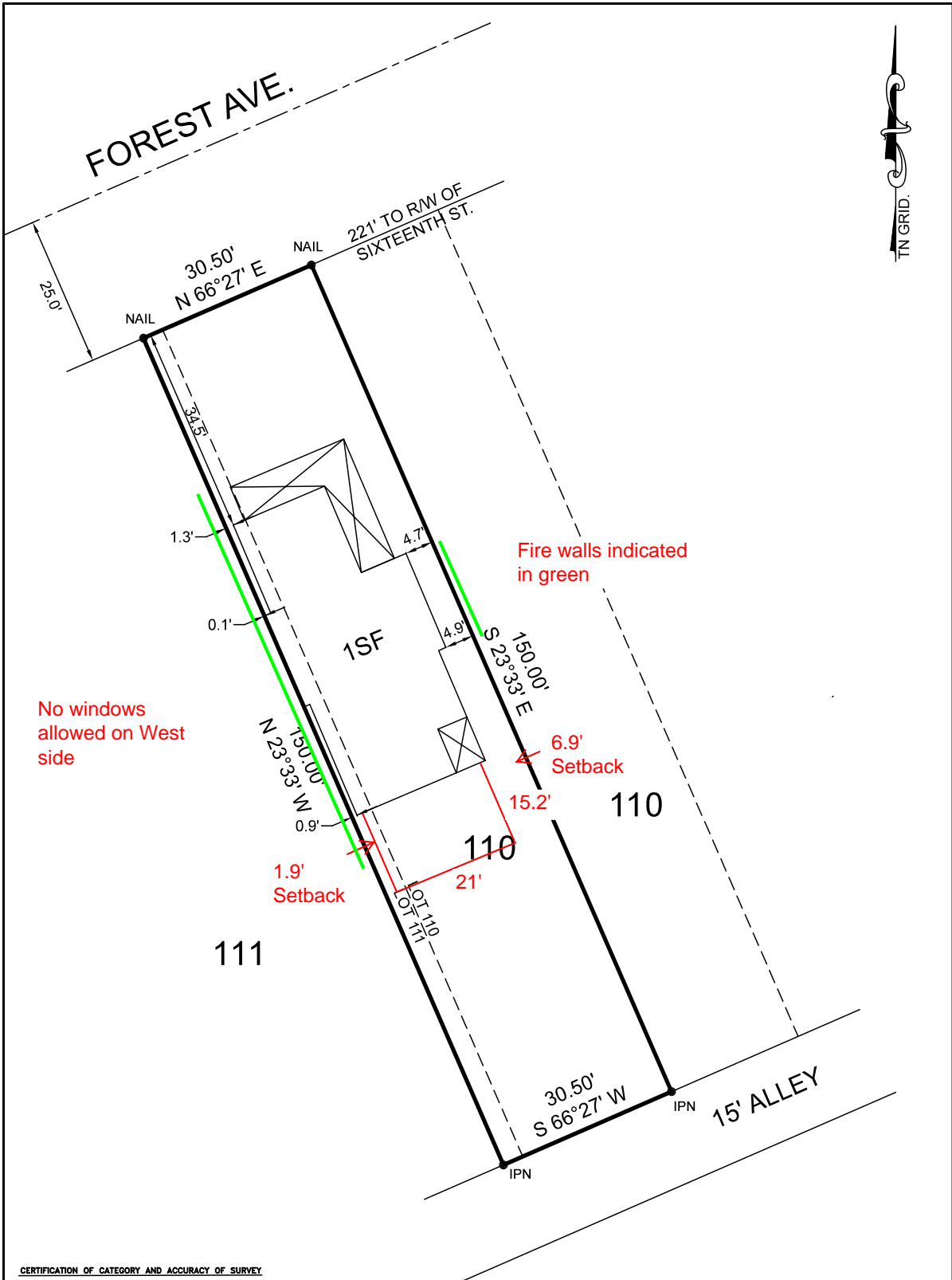
SURVEY FOR EVIAN PARTNERS
 DIST. 4 WARD 10 CITY OF KNOXVILLE COUNTY KNOX
 ADDRESS 1616 FOREST AVE.
 LOT NO. PART OF 110 & 111 BLOCK _____ UNIT _____
 S/D RAMSEY'S ADDITION
 INSTR. 201703080054916 SCALE 1"= 20' DATE 5-1 2018
 JOB NO. 1804011 ORDERED BY: INDEP.



HINDS SURVEYING CO.

3555 WINDY J FARMS DR. LOUISVILLE, TN 37777
 PH. 588-9799 FAX. 233-3393
 WWW.HINDSSURVEYING.COM

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No windows allowed on West side

Fire walls indicated in green

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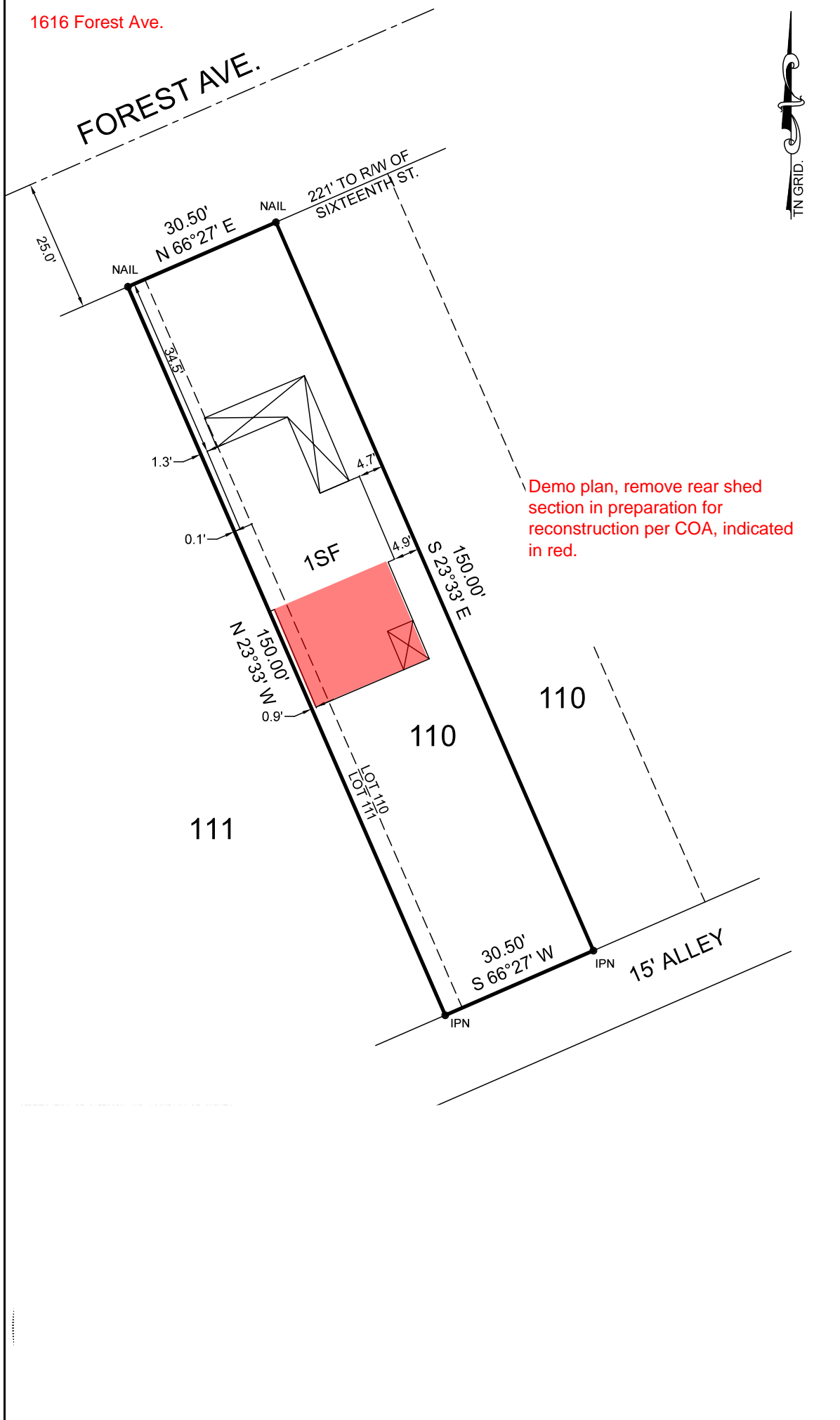


HINDS SURVEYING CO.

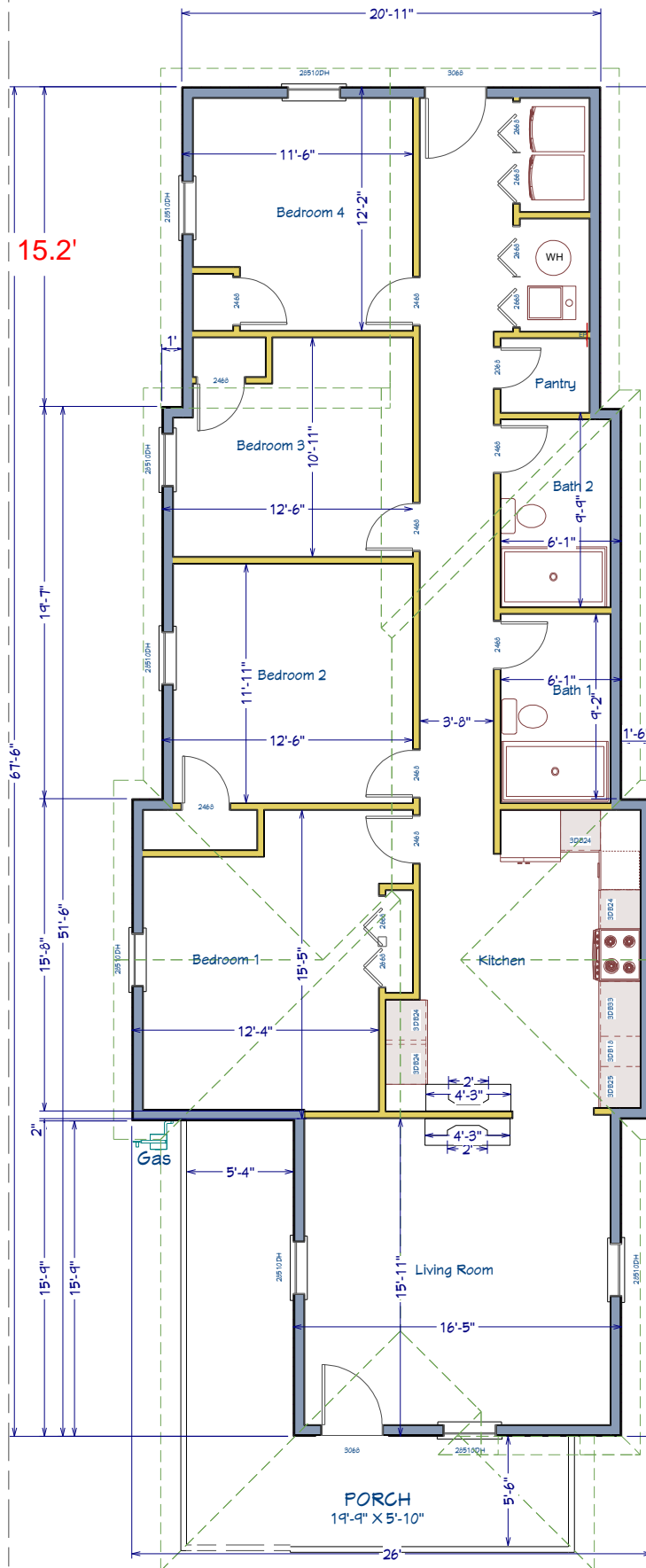
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1616 Forest Ave.



1616 Forest Ave, 4BR / 2BA



Insulation: (Fiberglass Batts)

Walls - R20
 (Entire house wall sheathing will be replaced)
 Ceilings - R49
 Floors - R19
 Crawlspace walls - R-10 XPS interior

Heat/Cooling:

14 Seer Split
 50,000 BTU Gas furnace
 R-8 Duct insulation

Water Heater:

Electric 50 gallon

Windows:

36" w x 72" H
 U-Factor - .29
 SHGC - .28
 No windows required to be tempered
 IRC302.1(1) - No windows <3' from property line

Exterior Walls:

7/16" OSB Sheathing
 2x2 added to exterior walls so that
 R20 insulation may be properly installed
 Vapor Barrier
 Hardi Siding

Framing:

Exterior walls existing 2x4 rough cut @ 16" O.C.
 2x2 added to existing exterior walls for insulation depth
 New Exterior walls 2x6 @ 16" O.C.
 New interior walls 2x4 @ 16" O.C.
 Floor sheathing 3/4" OSB
 Headers are 2x12 (2) (longest span 60")
 Existing ceiling joists are rough cut 2x8 @ 24"

Roof:

New trusses over reconstructed portion
 (manufacturer details to be provided before installation)
 New 1/2" sheathing over existing 1x lap board.
 new 2x8 collar ties and purlins to reinforce existing roof
 new underlayment
 New dimensional shingles
 Roof pitch 6/12

All doors have min 36" min landing
 Rear of property is a 6'x20' paver patio
 Front entry is on the porch

Fire wall:

1hr rated on entire West Side only
 UL 305
 7/16" OSB option between framing and dense glass
 Exterior Option 3a (5/8th dense glass)
 Interior Option 3e (5/8th type x firecode)
 Fireblocking to be installed from top plate
 up to underside of roof sheathing, no additional
 protection for projections required.

Front Porch:

repair brick as necessary
 Stucco Front
 replace tongue and groove flooring
 Replace joists with 2x8 PT as needed.

Radon:

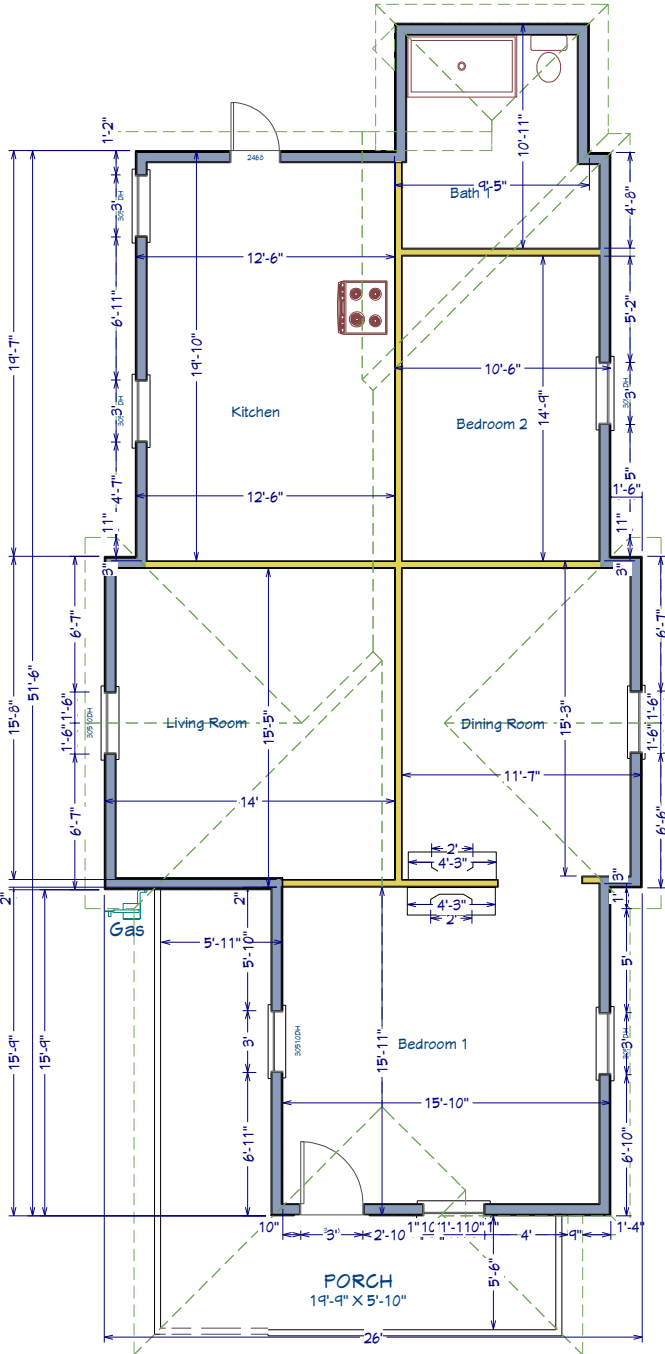
3" PVC tee under vapor barrier installed through
 roof exten min of 1' above roof line

Door Landings:

Front door and rear door shall have min 36"x36"
 clear landing
 Plans show 5'6" for front door x 26'
 Rear door opens to paver patio 6' x 20'

LIVING AREA
 1451 SQ FT

1614 Forest - Before

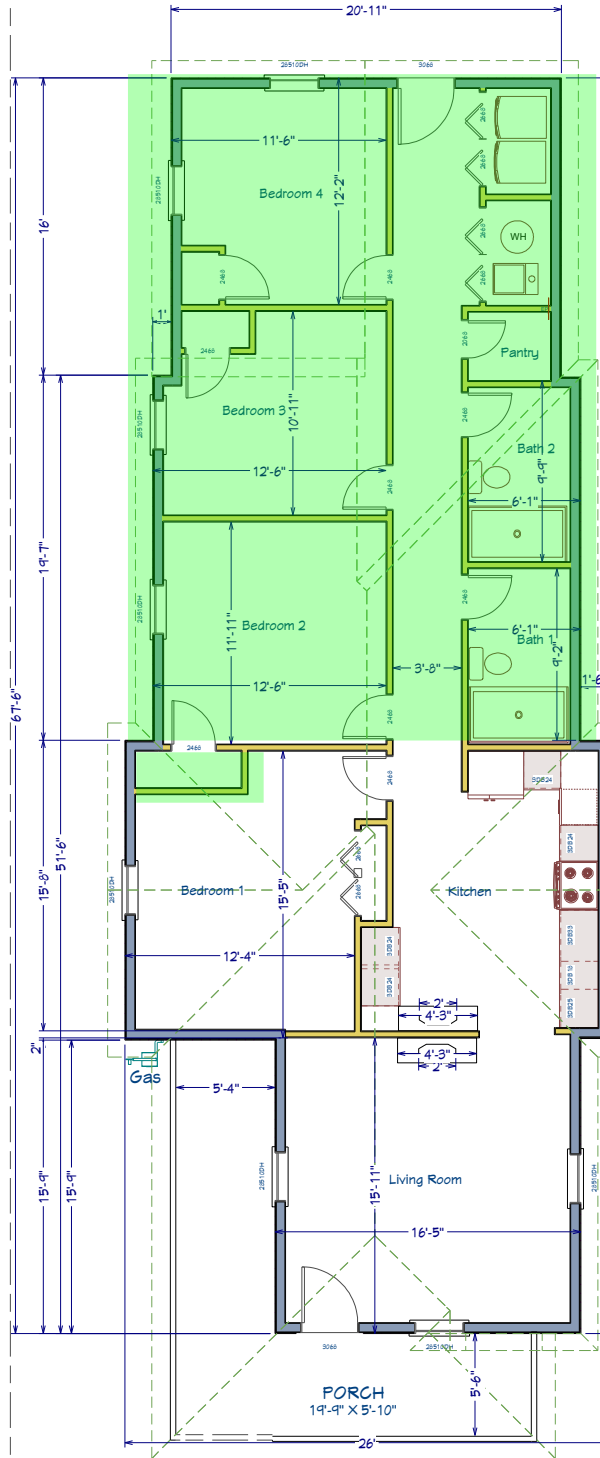


Before Windows:
36' x 12'

Before Doors:
36'

LIVING AREA
1175 SQ FT

1616 Forest Ave, 4BR / 2BA
New Framing indicated in green



LIVING AREA
1451 SQ FT

Insulation: (Fiberglass Batts)

Walls - R13 plus R5 Foam XPS on exterior
(Entire house wall sheathing will be replaced)
Ceilings - R4R
Floors - R19
Crawlspace walls - R-10 XPS interior

Heat/Cooling:

14 Seer Split
50,000 BTU Gas furnace
R-8 Duct Insulation

Water Heater:

Electric 50gallon

Windows:

36" w x 12" H
U-Factor - .29
SHGC - .28
No windows required to be tempered
IRC302.1(1) - No windows <3' from property line

Exterior Walls:

7/16 OSB Sheathing
Vapor Barrier
Hardi Siding

Framing:

Exterior walls existing 2x4 rough cut @ 16" O.C.
New walls 2x4 @ 16" O.C.
Floor sheathing 3/4" OSB
Headers are 2x12 (2) (longest span 60")
Existing ceiling joists are rough cut 2x8 @ 24"

Roof:

New trusses over reconstructed portion
(manufacturer details to be provided before installation)
New 1/2" sheathing over existing 1x lap board.
new 2x8 collar ties and purlins to reinforce existing roof
new underlayment
New dimensional shingles
Roof pitch 6/12

All doors have min 36" min landing
Rear of property is a 6'x20' paver patio
Front entry is on the porch

Fire wall:

1hr rated on entire West Side only
UL 305
7/16" OSB option between framing and dense glass
Exterior Option 3a (5/8th dense glass)
Interior Option 3e (5/8th type x firecode)
Fireblocking to be installed from top plate
up to underside of roof sheathing, no additional
protection for projections required.

Front Porch:

repair brick as necessary
Stucco Front
replace tongue and groove flooring
Replace joists with 2x8 PT as needed.

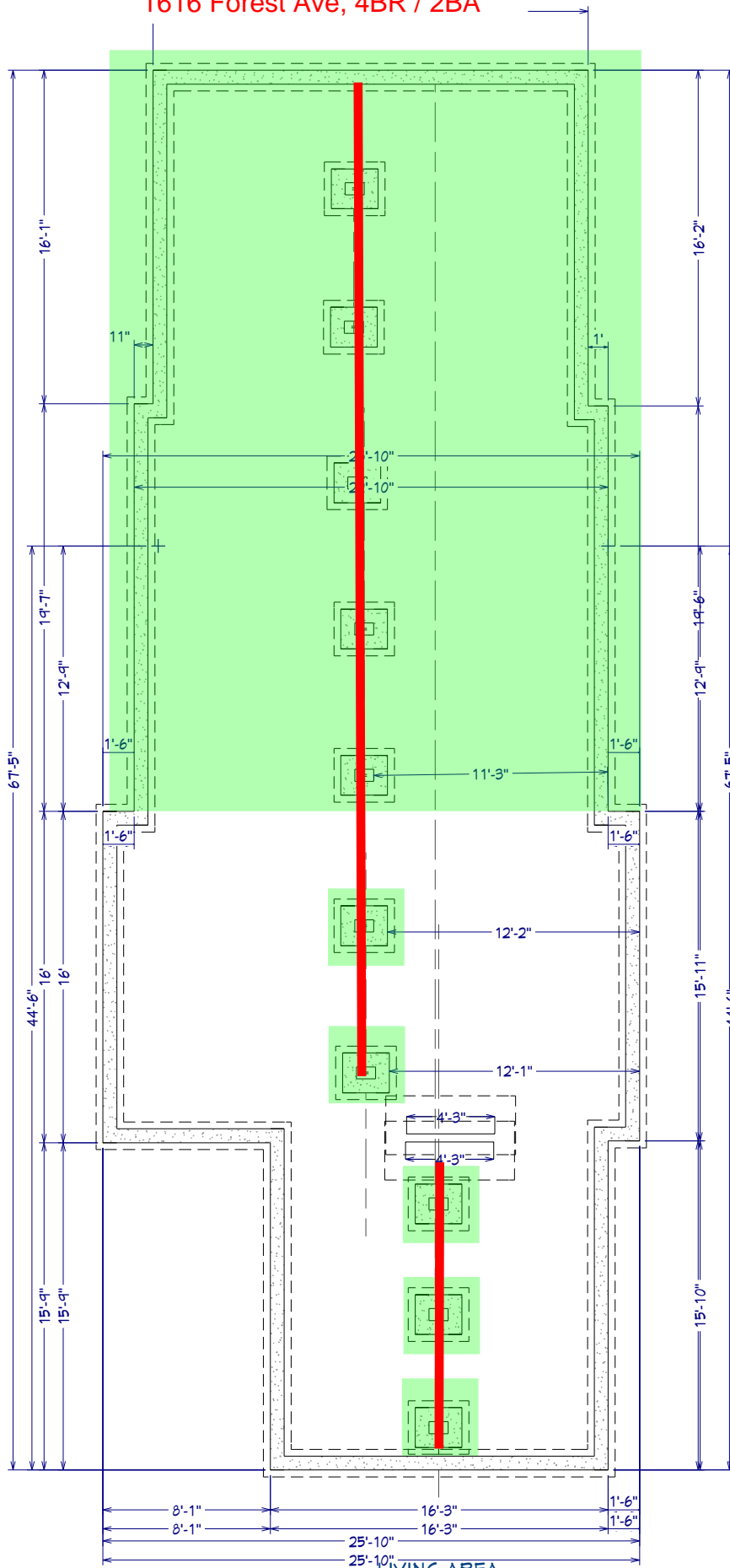
Radon:

3" PVC tee under vapor barrier installed through
roof exten min of 1' above roof line

Door Landings:

Front door and rear door shall have min 36"x36"
clear landing
Plans show 5'6" for front door x 26'
Rear door opens to paver patio 6' x 20'

1616 Forest Ave, 4BR / 2BA



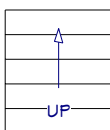
House is on crawlspace
 Min clearance to joists is 30" on rear half of house which is rebuilt.
 Existing clearances for front half of house is 24"

Foundation:

New footers for rear IAW IRC 403.1
 24" w x 12" deep footer
 #4 bar x 2
 8" CMU block walls
 Foundation Drainage per IRC 405.1
 Bitumen damp proofing
 New 2'x2 piers every 6'
 #4 bar x 2 both directions
 Beam is 2x12 (x3)
 New floor joists 2x12 @ 16" O.C. #2 Pine
 Existing floor joists 2x10 rough @ 16" O.C
 Max unbalanced fill is 3"
 Add new piers to reinforce central beam where necessary.

Center beam is (3) 2x12
 Simpson Hangers for joist attachment
 Max Span is 12' 6" for floor joists

New Foundation and piers indicated in green
All piers are new

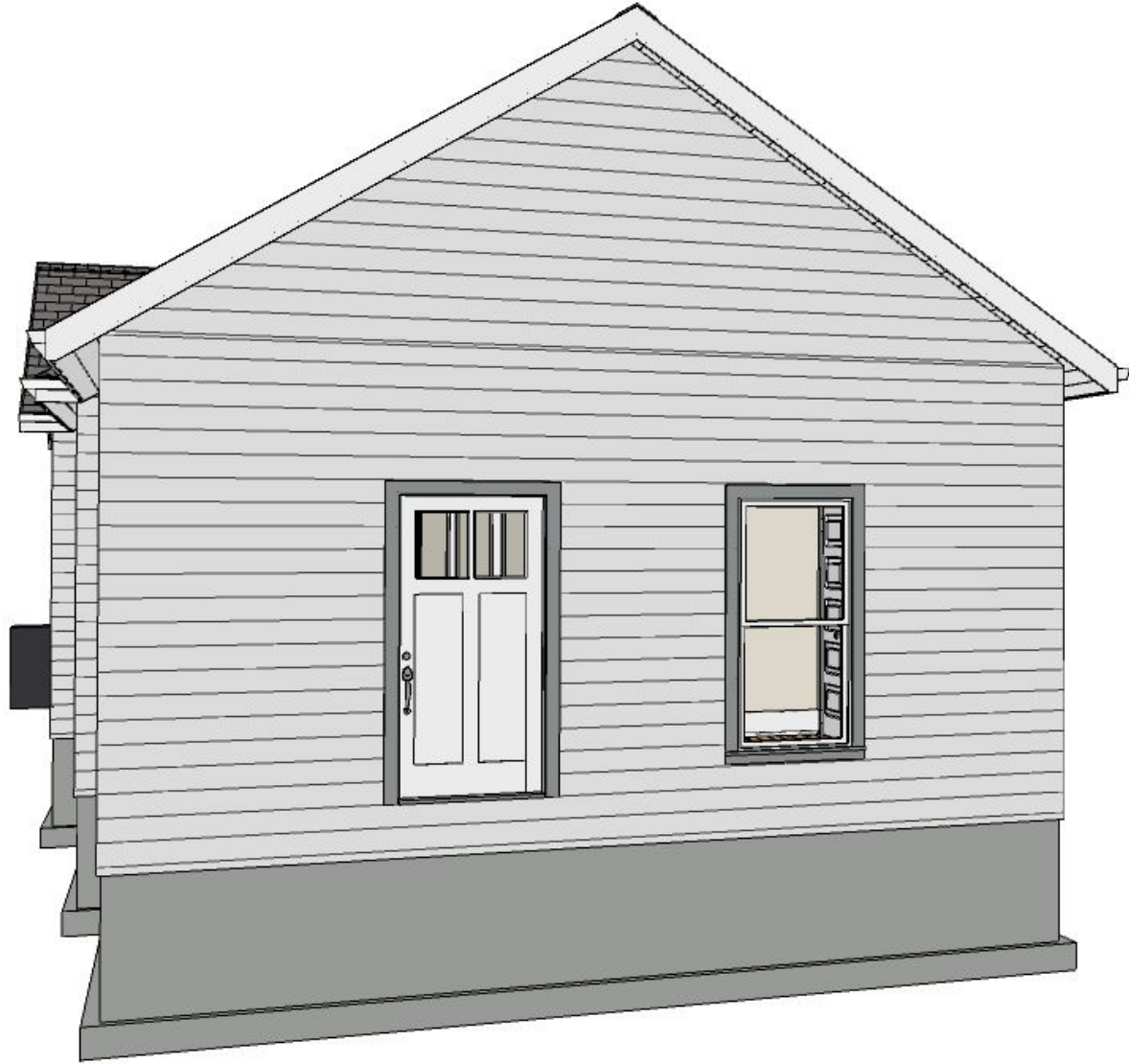


LIVING AREA
 1454 SQ FT

LIVING AREA
 9 SQ FT







Window Covers where windows not allowed per building codes



1618 Forest Front porch: (1616 will be identical when completed)



1618 Forest Addition: (1616 will be identical when completed)



KNOXVILLE HISTORIC ZONING COMMISSION

CERTIFICATE OF APPROPRIATENESS



File Number: 4-D-19-HZ

Property Address: 1616 Forest Ave 37916
Level of Work: Level II
District: Ft. Sanders NC-1
Owner: John Holmes , Knoxville, TN 37931
Applicant: John Holmes , Knoxville, TN 37931

Work Items: Additions

Description of Work:

Extension on the back of the house by 16' to the North.

The width will be 21' which leaves a 1-foot offset on either side of the house to delineate the addition.

The back portion of the roof and over the addition will be changed to a gable style. (The existing shed style roof does not have the proper slope to meet code requirements and pools water on it at the back. This would allow for the proper slope and better drainage of water.)

Walls within 5' will require this 1hr rated wall and allows openings, walls with 3' are not allowed to have any openings. The fire walls are not visually different, except for the ones not allowing openings. (Due to the proximity of walls to the property lines the building department will require the construction of 1hr rated fire walls.)

This certificate expires on 4/17/2022 (three years from the date of issue).

Approved By: Amy Brooks

Date Certified: 4/18/2019

Please note:

To obtain a building permit for Level II projects, drawings stamped as approved by the Historic Zoning Commission (HZC) staff must be submitted along with this Certificate of Appropriateness to the City of Knoxville Plans Review and Inspections Department or the Knox County Codes Administration Department, as appropriate. Any deviation from the drawings and written conditions approved by the HZC will require subsequent review and approval by the HZC or its staff.

THIS CERTIFICATE IS NOT A BUILDING PERMIT

Contact the appropriate building inspections office for permit requirements:

City of Knoxville Plans Review and Inspections Division: 865-215-2992 or 865-215-2991

Knox County Building Codes Administration: 865-215-2325

KNOXVILLE HISTORIC ZONING COMMISSION
CERTIFICATE OF APPROPRIATENESS



File Number: 4-F-19-HZ

Property Address: 1616 Forest Ave 37931
Level of Work: Level I
District: Ft. Sanders NC-1
Owner: John Holmes , Knoxville, TN 37931
Applicant: John Holmes , Knoxville, TN 37931

Work Items:

Description of Work:

Repair exterior siding, windows, gutters, front porch, brick work as needed. Foundation needs new stucco, original brick has been removed by previous owners on front of house.
Replace windows with double hung vinyl 1/1 configuration (Jeld wen vinyl 2500 series, see pictures of 1618 Forest below). Existing locations to be retained except where larger 3'x5' is required to meet the egress code. Typical windows are 36x72.
Replace porch floor with tongue and groove flooring.
Stain the porch ceiling.
Repair and repaint stucco foundation as needed.
The existing siding will be covered or replaced with a smooth finish, Hardi plank siding.
All materials will be in compliance with the Fort Sanders neighborhood guideline.
Applicant has included pictures of 1618 Forest next door as an example of the proposed scope of work.

This certificate expires on 4/10/2022 (three years from the date of issue).

Approved By: Amy Brooks

Date Certified: 4/11/2019

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