



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 629 Luttrell St 37917

FILE NO.: 5-E-19-HZ

DISTRICT: Fourth and Gill H-1

MEETING DATE: 5/16/2019

APPLICANT: Curb Studio (Architect)

LEVEL OF WORK: Level II Major replacement of materials or architectural elements; construction of addition or outbuilding.

PROPERTY DESCRIPTION: Queen Anne Cottage (c. 1895)

One-story with brick venner added c. 1950. Hip roof with jerkin head gables, imbricated shingles at gables, sawn wood bargeboard. One over one double hung replacement windows, metal columns and balustrade. Interior offset brick chimney. Brick foundation. Irregular plan. Sidelights at front entry. Replacement door. Projecting octagonal bay on front elevation. (Contributing)

► **DESCRIPTION OF WORK:**

Proposed Upper Level Work:

Replace asphalt shingles with metal roofing; replace gutters and downspouts.

Remove three acrylic skylights and replace with three glass skylights (one egress)

Remove failing low-slope gable and replace with higher pitch partial gable and green roof; add windows (one egress)

Remove abandoned chimney in existing low-slope gable

Add recessed window (bathroom ventilation)

Proposed Ground Level Work:

Repair and paint non-historic brick

Remove non-contributing canopy and CMU laundry room

Add glazed doors and new windows to rear façade (project west)

Add new windows to the façade facing the adjacent lot (project south)

Remove decorative front door and replace with half-lite door and sidelights

Repair or replace in-kind existing double-hung windows

Repair front steps and add curbs to the sides

Remove non-conforming columns and balustrade and replace with contemporary columns and balustrade inspired by Queen Anne flat sawn detailing

► **APPLICABLE DESIGN GUIDELINES:**

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

- Materials used in roofing existing buildings or new construction should duplicate the original roofing materials if possible. Asphalt or fiberglass shingles can be appropriate, as are slate, standing seam metal or metal shingle roof coverings. The color of roofing materials should be dark, green, charcoal gray, black or dark reddish brown to simulate the original roof colors. (p. 10)

- Do not use solar collectors, modern skylights, or inappropriate structures on roof planes that are visible from the street. Do not install them where they interfere with decorative roof elements. If they are installed, they should not comprise more than 3% of the total roof surface. (p. 10)



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- If replacement windows are necessary, they should be the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width and profile. False muntins or grids should not be used. (p. 11)
 - Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate. (p. 12)
 - Details such as columns, posts, piers, balustrades and porch flooring must use materials and designs that present a visually and physically appropriate appearance historically. (p. 12)
 - Missing doors should be replaced with new doors appropriate for the style and period of the building. In replacing missing original doors, replacement doors should mimic doors typical for that architectural style, including materials, glazing, and pane configuration. Solid six panel or flush wood or steel design doors should only be used for entrances not visible from the public street. Decorator designed doors available from wholesale hardware stores are usually not appropriate for the architectural styles of the Fourth & Gill Historic District. (p. 13)
 - Historic masonry should not be coated with paint, stucco, vapor permeable water-repellent coatings or other non-historic coatings. (NOTE: Coatings are frequently unnecessary, expensive, and may change the appearance of the historic masonry as well as accelerate its deterioration.) (p. 16)
 - Locate attached exterior additions at the rear or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building. Proportion is very important. (p. 18)
 - Design new additions in a manner that makes clear what is historic and what is new. (p. 18)
 - Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the Historic district. Design for the new work may be contemporary or may reference design motifs from the historic buildings. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, size, texture, scale, relationship of solids to voids, and color. (p. 18)
 - Replacement of missing features will be substantiated by documentary and physical evidence. (SOI Standards for Rehabilitation)
 - New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. (SOI Standards for Rehabilitation)
 - A compatible new addition should preserve significant historic materials, features and form; be compatible; and be differentiated from the historic building. (SOI Preservation Brief 14)

COMMENTS:

STAFF FINDINGS:

- 1)The c. 1895 Queen Anne cottage is a contributing structure within the Fourth and Gill H-1 zoning overlay and the National Register Historic District.
- 2)The wrought iron balustrade, porch roof supports, and front door that were replaced were not original to the house. The sidelight frames appear to have been original.
- 3) No evidence is provided that a transom existed over the front door; therefore, installing a transom would not be appropriate if it could create a false sense of history.
- 4)The doors of the Queen Anne era were typically a half-light or 3/4-light door with either no muntins or small panes framing the perimeter, as indicated by original doors on other Queen Anne cottages in the district. The current door knob on the door is not appropriate hardware for the era -- the appropriate hardware would be a handle



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instead of a knob.

5) The buff-colored brick does not appear to be original to the house nor does it appear to originate from East Tennessee.

6) Although design elements such as paint colors, landscaping, and roof color may not be subject to a Certificate of Appropriateness if they do not require a building permit, they can strongly affect the appearance of houses in the district. Staff encourages the use of materials and colors that are sympathetic to the surrounding homes and for all applicants to follow the recommendations outlined in the guidelines.

- use of a standing seam metal roof with no exposed fasteners in a color that simulates the original roof colors in the district (p. 10).

- selection of a darker paint color for the brick that is appropriate for the era and style of the house (p. 20)

► **STAFF RECOMMENDATION:**

Staff recommends postponement in order to provide an opportunity for review and discussion by the Commission.



5-E-19-HZ

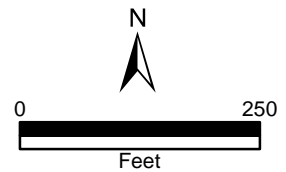
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



629 Luttrell St 37917
 Fourth and Gill H-1

Original Print Date: 5/9/2019
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Curb Studio



Certificate (File) No: 5-E-19-12

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. **NAME OF APPLICANT:** Curb Studio

Address: 101 Gill Avenue Knoxville 37917

Telephone: 8653001581 E-mail address: curbcc@gmail.com

Relationship to Owner: architect

2. **NAME OF OWNER:** Andrew & Caitlin Seidler

Address: 629 Luttrell Street

Telephone: 847-917-0445 E-mail address: andrewseidler@yahoo.com & coseidler@gmail.com

3. **LOCATION OF PROPERTY:**

Address: 629 Luttrell Street Knoxville 37917 Tax ID/Lot/Parcel No: 094DJ004

4. **LEVEL OF WORK** (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. **DESCRIPTION OF WORK:** (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

See attached description.

6. **SIGNATURE OF APPLICANT:**  Date: April 29, 2019

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or Fax: 865-215-2068. **Incomplete applications will not be accepted.**

| FOR STAFF USE ONLY | | | |
|--------------------|----------|-------------|----------------------|
| Date Received | Approved | Disapproved | Approved As Modified |
| Date Acted On | | | |

pd 4/29/19

**INFORMATION REQUIRED TO BE SUBMITTED BEFORE
CERTIFICATE OF APPROPRIATENESS (COA) APPLICATION CAN BE ACCEPTED**

Incomplete applications will not be accepted. All required information must be submitted before the COA application and fee will be accepted for the next available Historic Zoning Commission (HZC) agenda. Checks mailed with an incomplete application will be returned and the application will not be placed on the HZC agenda.

A. EXTERIOR ALTERATION OR REPAIR:

Circle each work item for which approval is requested:

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> Accessory structure | <input checked="" type="checkbox"/> Masonry (including painting) | Satellite dish |
| <input checked="" type="checkbox"/> Architectural feature | <input checked="" type="checkbox"/> Material changes | Shutters |
| <input type="checkbox"/> Awning or canopy | <input checked="" type="checkbox"/> Mechanical system unit | <input checked="" type="checkbox"/> Siding |
| <input type="checkbox"/> Deck | <input checked="" type="checkbox"/> New construction | Signs |
| <input checked="" type="checkbox"/> Door | <input checked="" type="checkbox"/> Parking lot (entrance drives, paving, fencing) | <input checked="" type="checkbox"/> Skylights or solar collectors |
| <input checked="" type="checkbox"/> Fencing and walls | <input checked="" type="checkbox"/> Porch (including any porch elements) | Storm windows or doors |
| <input checked="" type="checkbox"/> Guttering | <input checked="" type="checkbox"/> Roofing | <input checked="" type="checkbox"/> Windows |

Describe the proposed work in detail and include the following information:

- a. Sketches, photographs, manufacturer's specifications, illustrations, and detailed drawings are required for major changes in architectural features and materials
- b. Samples, description, and specifications for proposed materials
- c. Site plan for fence / retaining wall applications

B. NEW CONSTRUCTION:

Describe the proposed project in detail and include the following information:

- a. Dimensioned site plan showing building footprint
- b. Dimensioned elevation drawings that clearly show the exterior appearance of the building
- c. Samples, description, and specifications for proposed materials and architectural features
- d. Description and drawings or photos of site improvements such as fences, walls, and paving

C. RELOCATION OF STRUCTURE:

- a. Description of structure and its condition and reason for relocation
- b. Photographs of the structure at existing location
- c. Site plan for, and photos of, proposed location
- d. Description of any site features that will be disturbed such as topography, retaining walls, fences

D. DEMOLITION OF CONTRIBUTING STRUCTURE:

- a. Description of the structure and its condition of the structure and reason for proposed demolition
- b. Photos of overall structure and its details

SEIDLER RESIDENCE

H2C Application Review | April 2019
629 Luttrell Street

PUBLIC STREET EXPERIENCE

Luttrell Street elevation between 4th Avenue and 3rd Avenue looking west



PUBLIC STREET EXPERIENCE

Luttrell Street elevation between 3rd Avenue and 4th Avenue looking east



Source: CURB

PUBLIC EXPERIENCE - CURRENT CONDITIONS
629 Luttrell Street and 3rd Avenue Context



SEIDLER RESIDENCE

H2C Application Review | April 2019
629 Luttrell Street



PRIMARY ELEVATION
Luttrell Street - Existing conditions



SECONDARY ELEVATION
3rd Avenue - Existing conditions



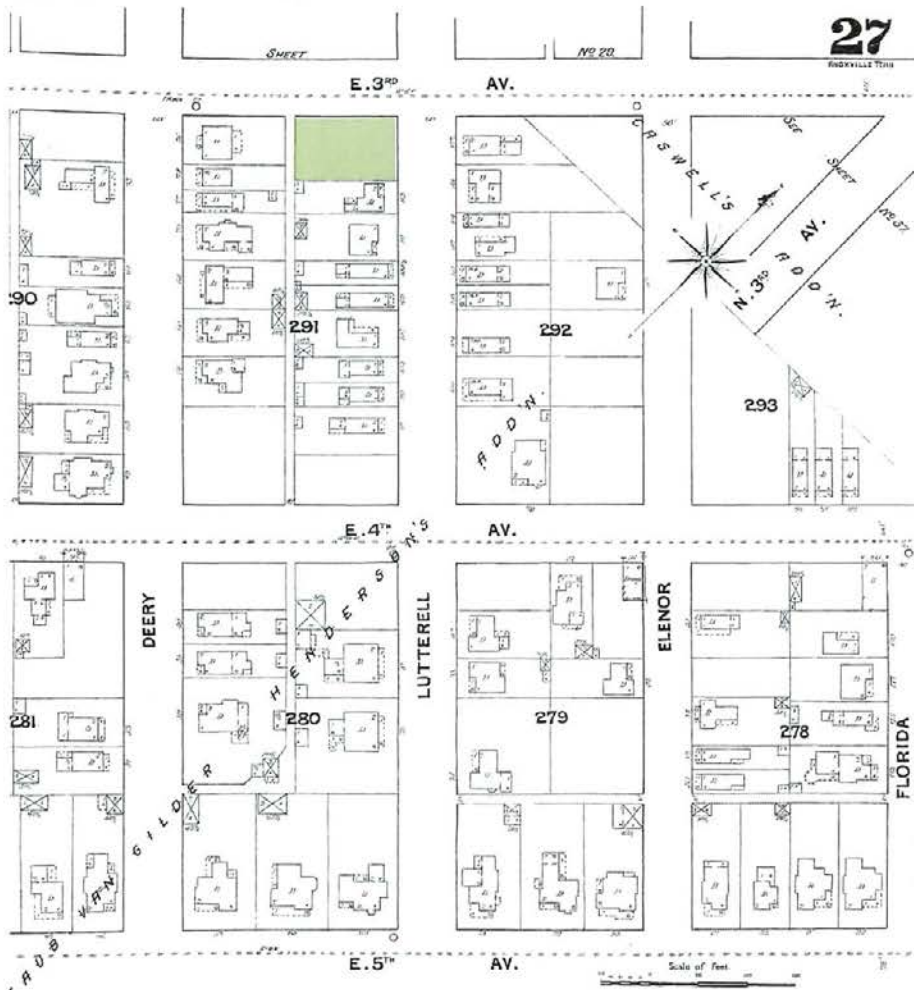
SERVICE ALLEY ELEVATION
Existing conditions



SIDEYARD ELEVATION
Existing conditions

Source: CURB

HISTORICAL CONTEXT [1890]
 1890 Sanborn Fire Insurance Map, Sheet 27



HISTORICAL CONTEXT [1903]
 1903 Sanborn Fire Insurance Map, Sheet 53



SEIDLER RESIDENCE

HZC Application Review | April 2019
 629 Luttrell Street

HISTORICAL CONTEXT [1917-1924]

1917 - 1924 Sanborn Fire Insurance Map, Sheet 50



HISTORICAL CONTEXT [1950]

1917 - 1950 Sanborn Fire Insurance Map, Sheet 50

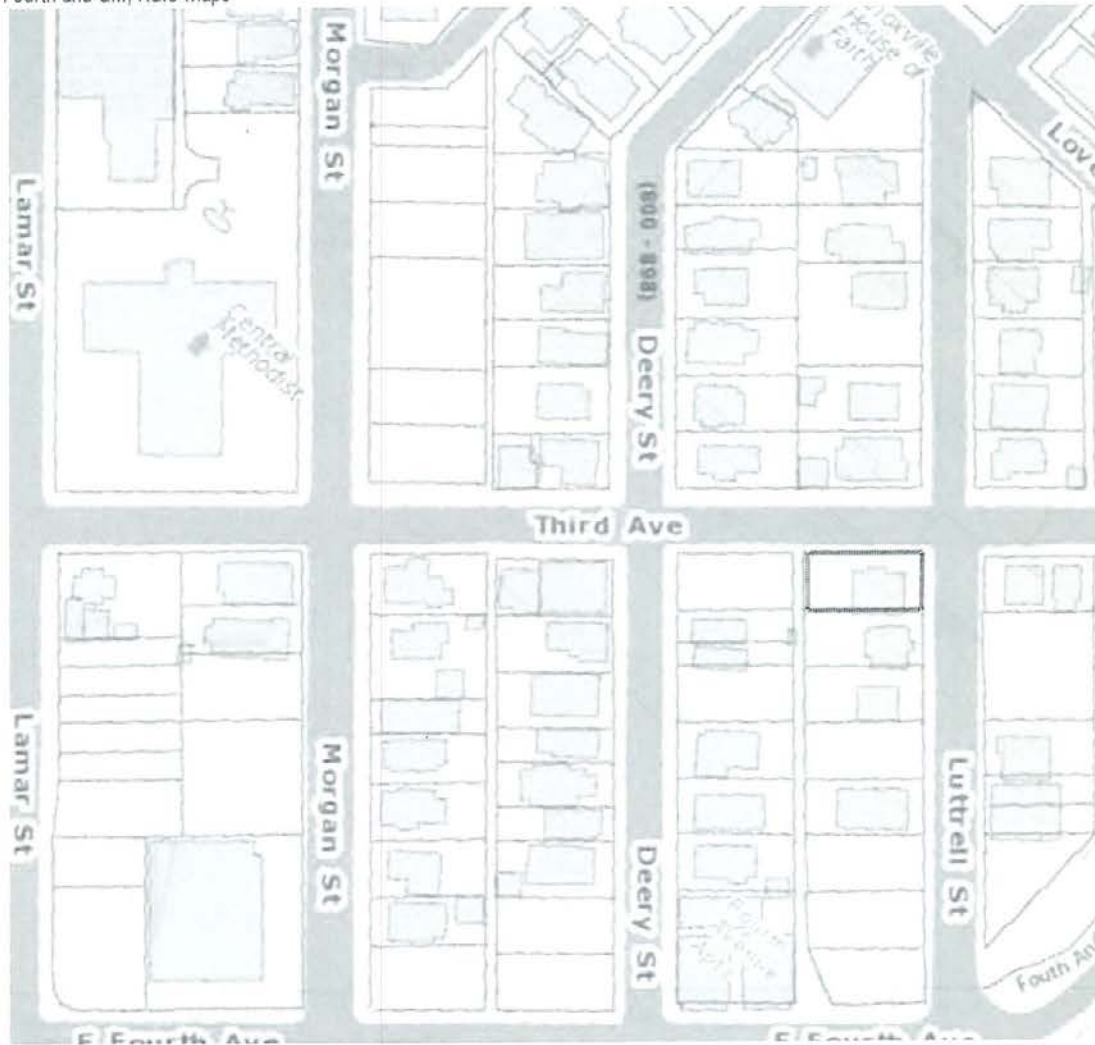


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629 Luttrell Street

LOCATION WITHIN NEIGHBORHOOD [2019]

Fourth and Gill, KGIS Maps



Source: KGIS Maps, www.kgis.org, accessed April 25, 2019



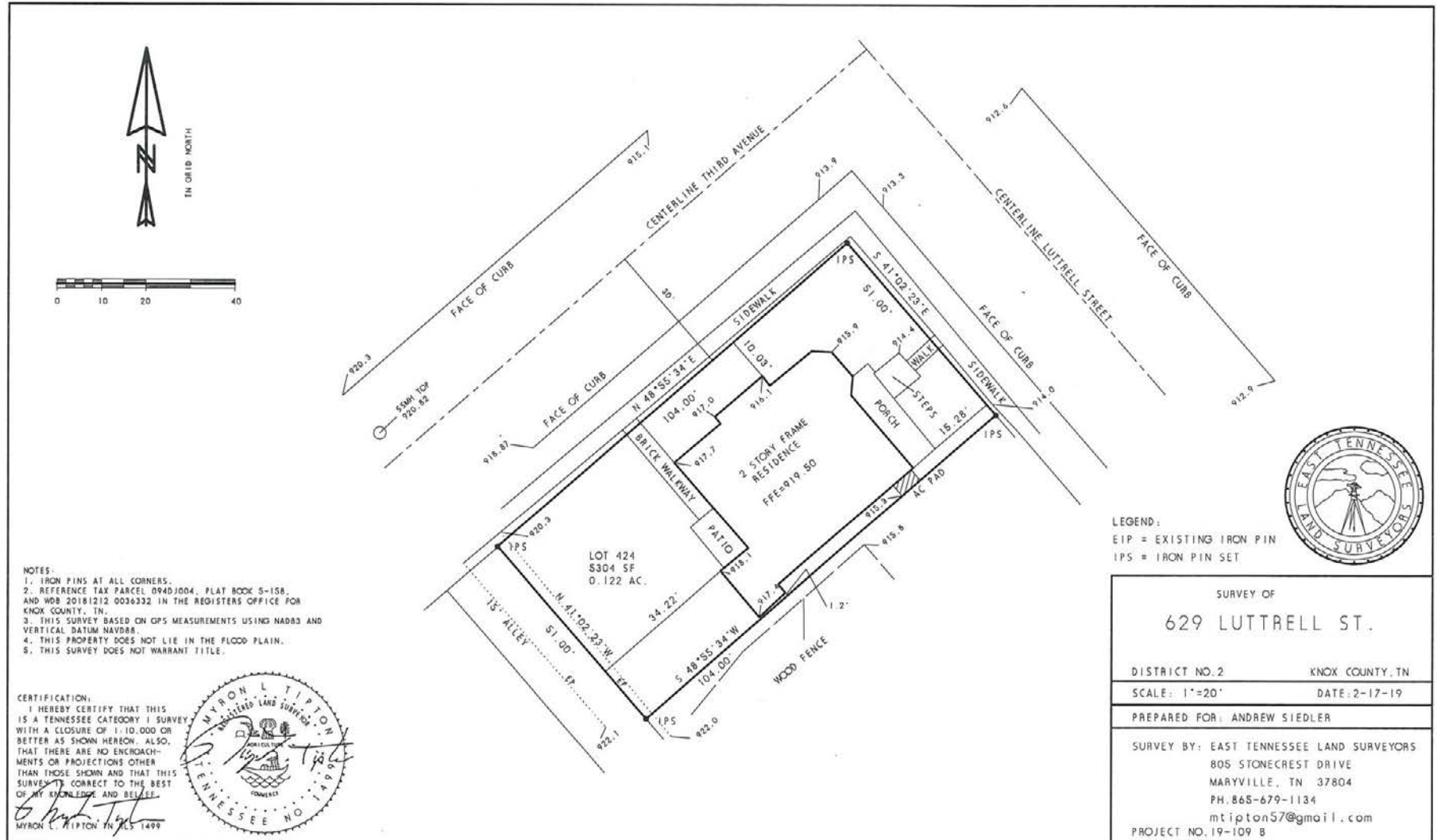
curb | 101 Gill Avenue Knoxville, Tennessee 37917

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H2C Application Review | April 2019
629 Luttrell Street

SURVEY OF 629 LUTTRELL STREET [2018]

East Tennessee Land Surveyors





BRICK CHIMNEY



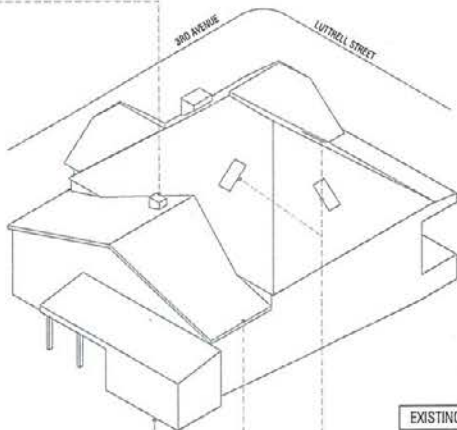
SHED & OVERHANG



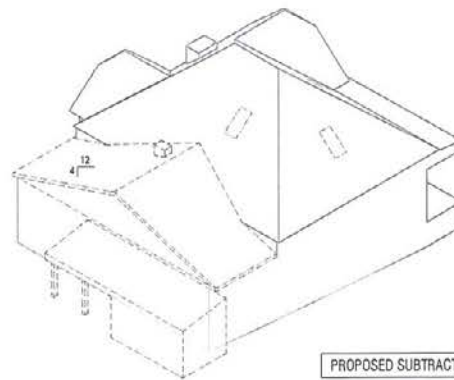
ADDITION ROOF



ASPHALT SHINGLE & YELLOWED SKYLIGHTS, CURBLESS

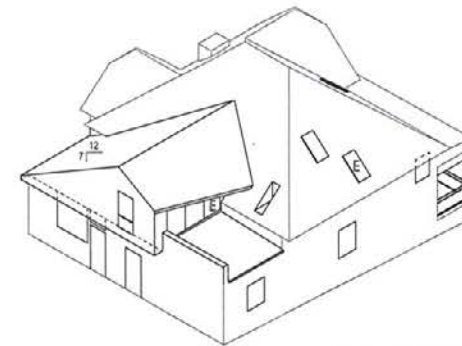


EXISTING



PROPOSED SUBTRACTION

--- BUILDING ELEMENTS REMOVED



PROPOSED ADDITION

E EGRESS

AXON TRANSFORMATION DIAGRAM

Sanborn maps and roof geometries indicate that the rear gabled structure is an addition. The pitch of this roof is significantly shallower than typically seen in the neighborhood. The stucco-clad concrete masonry unit (CMU) laundry space in the rear is likely an even later addition. The structure of the gabled rear addition is failing; with all of the rafters either completely or partially pulled away from the ridge board.

The proposal assumes that the low-slope rear gable, the CMU laundry room addition, the rear canopy, the buff brick cladding, the acrylic skylights, and the asphalt shingle roofing have not achieved historic significance in their own right. The foremost difficulty in making the home functional for the new owners was the creation of two bedrooms on the upper level, which requires egress openings in the roof. In discussion with HZC staff, it was determined that enlarging the windows in the existing dormers facing Luttrell and 3rd would be inappropriate. It is possible to create egress skylights facing the adjacent property (project south) and one is proposed there. However, due to limited ceiling heights under the historic roof it was not possible to place both bedrooms along this edge.

The proposal removes the failing low-slope gable and replaces it with a partial gable with a higher slope and a small green roof. This accomplishes

several things – structurally repairs the roof, allows for an egress opening facing the adjacent property, and more closely matches the slope of the historic roof. The partial gable is clad with rounded shingles creating a sympathy with the historic gables yet, as required, is clearly denoted as new construction with its geometry and fenestration pattern. The partial gable also provides a slope optimized for future photovoltaics facing away from the street, while the volume's cantilever provides cover for entry doors below. A small recessed window is added in the historic roof to provide light and air to a new bathroom.

In the rear of the house the proposal removes the concrete masonry unit (CMU) laundry room and canopy. An existing solid flush entry door into the guest suite is also removed and replaced with a glazed door. Another glazed door, transom, and fixed window are added to the rear to connect the relocated kitchen with the rear garden. The new door provides an accessible entrance to the house. As required, all of this work is denoted as new through its composition and size of glazing. All of these new openings are placed in the non-historic addition.

The proposal adds new windows on the south elevation facing the adjacent property (project south). No windows currently exist on that façade.

SURVEY OF CURRENT CONDITIONS [2019]

Architectural features, inappropriate changes, deferred maintenance

Renovations to a Queen Anne cottage at 629 Luttrell Street. Its current condition is layered and complex. Sanborn maps and roof geometries indicate that the rear gabled structure is an addition. The pitch of this roof is significantly shallower than typically seen in the neighborhood. The stucco-clad concrete masonry unit (CMU) laundry space in the rear is likely an even later addition. The structure of the gabled rear addition is failing; with all of the rafters either completely or partially pulled away from the ridge board.



The house was clad in buff-colored brick sometime in the mid to late 20th C. (The original wood cladding and red brick foundation can be glimpsed in places.) This brick is not a historical type as the materials to make it ("fire clay" with higher silica and lower ferrous content) are not found locally in any economically recoverable amounts and are most often extracted from eastern Ohio and western Pennsylvania. It is very different from local brick made largely of East Tennessee clay and shale. This brick cladding obscures the house's likely Queen Anne detailing leaving it visible only at the eaves and the surfaces of a couple of dormers.



(Left to Right)
Luttrell St. dormer, original timber shingle, trim material, detailing and operable double casement windows;
3rd Ave dormer, original timber shingle, trim material, detailing and operable double casement windows;
Front door and sidelights, inappropriate replacement

(Left to Right)
Porch ceiling and double-hung window, original
Porch columns and railing, recent & inappropriate
Concrete porch, brick veneer, likely mid-20th c changes.

The previous owners undertook unauthorized and inappropriate changes to the front porch balustrade, columns, and front door. There is no known evidence of the original columns, balustrade, and front door. Curbless acrylic skylights were added to the roof at some time. These have yellowed with age and exposure to UV radiation.



(Left to Right)
Concrete stoop, likely mid-20th c.;
Brick masonry porch foundation, likely original though concealed by brick veneer, likely mid 20th c.;
Double hung windows, partly original, partly replaced, clad, or altered with storm windows, metal or plastic sills, etc.

Source: CURB

SEIDLER RESIDENCE

H2C Application Review | April 2019
629 Luttrell Street

HISTORIC AND CONTEMPORARY REFERENCES

Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the Historic district. Design for the new work may be contemporary or may reference design motifs from the historic buildings. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, size, texture, scale, relationship of solids to voids, and color. (4th and Gill Guidelines, p. 18)



Homes in the surrounding blocks demonstrate: informal rear yard/alley massing & elevations; painted brick facades; square 4" painted wood porch columns; concrete front steps with curbs.

(Pictured, Left to Right)
822 Deery Street
715 Deery Street
716 Deery Street



Homes in the surrounding blocks demonstrate: cantilevered gables with shingle siding and deep-set windows; painted flat sawn balustrade, painted brick.

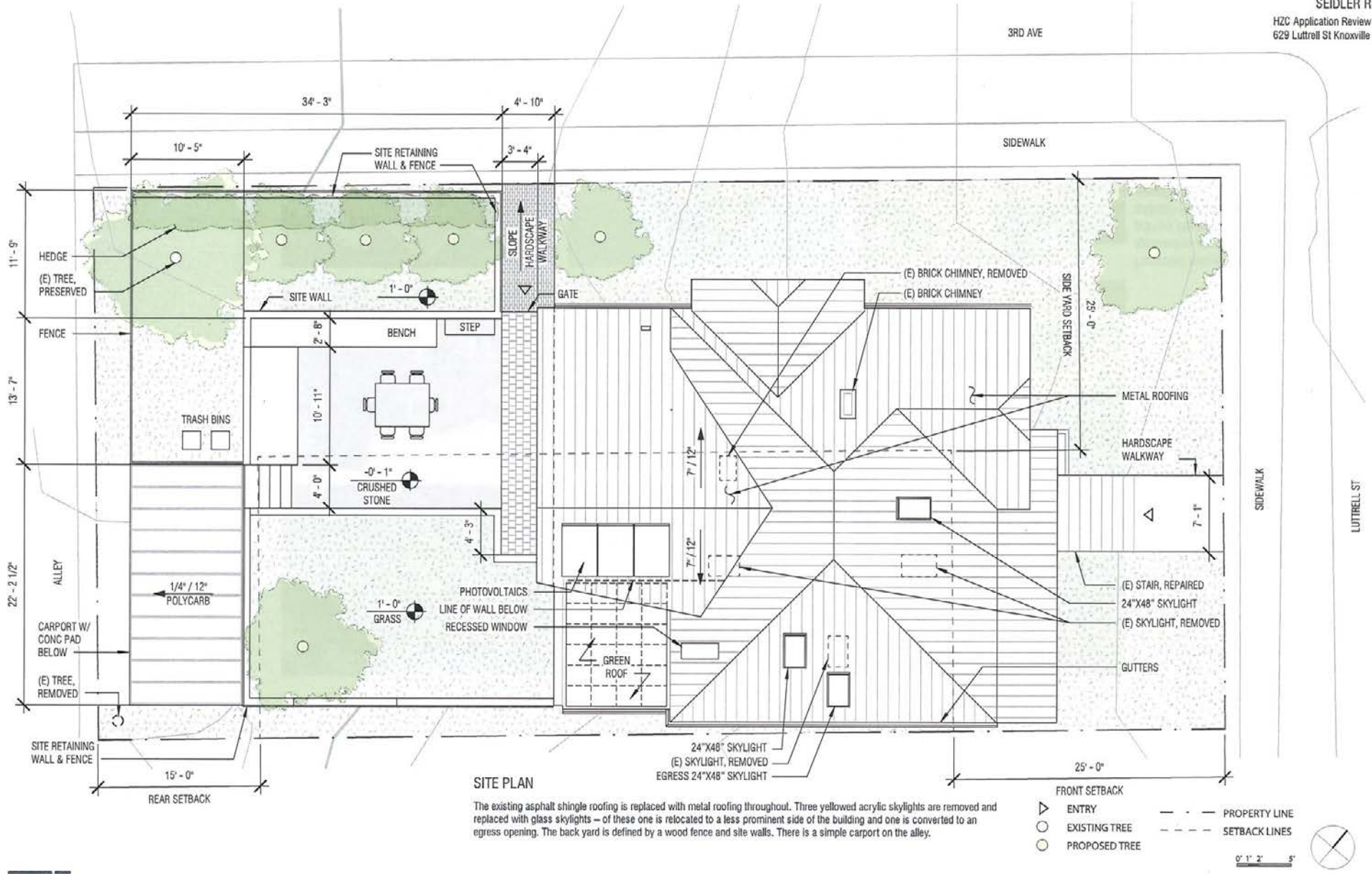
(Pictured, Left to Right)
927 Luttrell Street
703 Eleanor Street

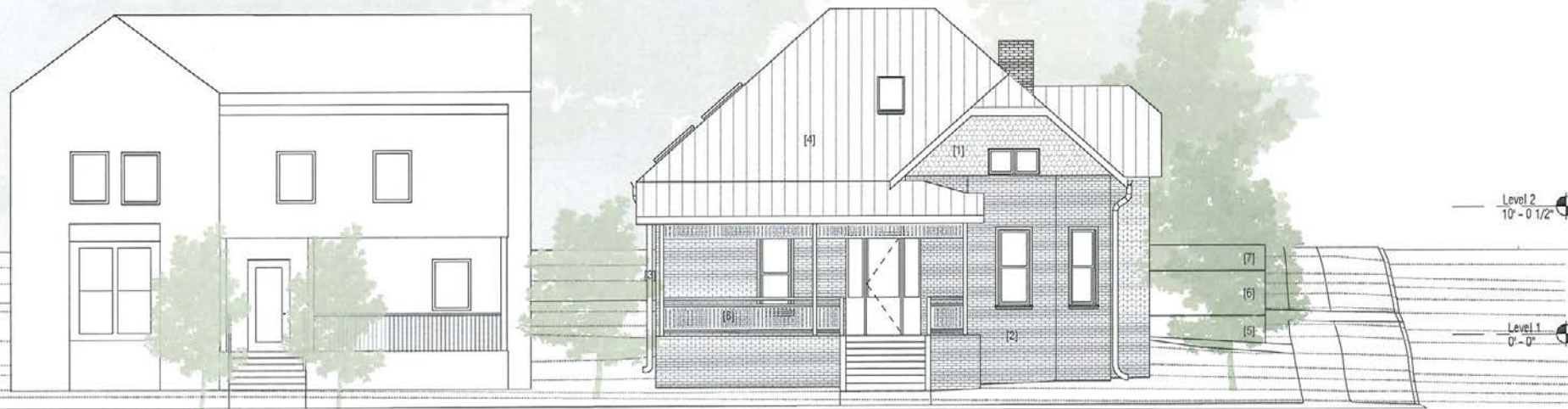


Precedent images illustrate similar approaches where restoration of historic primary elevation and new contemporary addition or modification of secondary elevations.

(Pictured, Left to Right)
1914 Craftman home restoration of primary facade (left) and modification of rear, secondary facade (middle) by SHED Architects; Planted rear roof, Fraher Architects.

Source: CURB, Fraher Architects, and SHED Architects





EAST ELEVATION, Luttrell Street | 1/8" = 1'

The front of the house facing Luttrell. Proposed work here deals primarily with ameliorating non-approved work performed by the previous owners. The front door is replaced with a half-lite wood door, sidelights, and solid transom panel. The front stairs are repaired and new curb edges added. As no evidence exists of the historic porch columns and balustrades the proposed elements are understated contemporary versions of Queen Anne flat sawn balustrades.

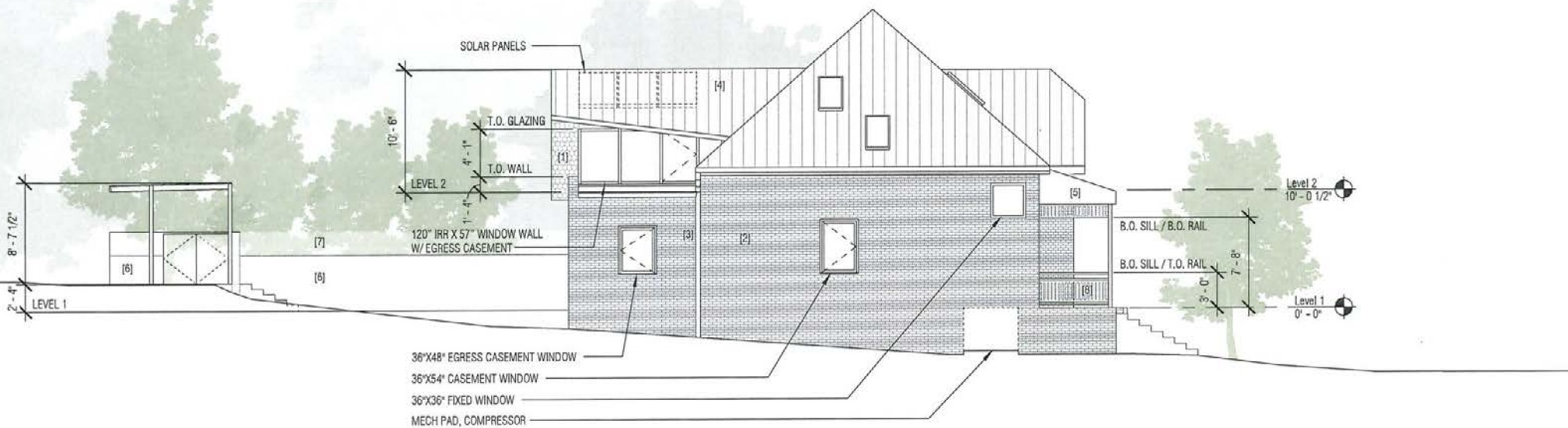
- [1] PAINTED SHINGLE, ROUNDED
- [2] PAINTED BRICK
- [3] METAL DOWNSPOUT
- [4] METAL ROOFING
- [5] CONCRETE RETAINING WALL
- [6] WOOD FENCE, SEMI-OPAQUE
- [7] WOOD FENCE, SEMI-TRANSPARENT
- [8] FLAT-CUT RAIL, PAINTED



NORTH ELEVATION, 3rd Avenue | 1/8" = 1'

A prominent, street-facing elevation. No significant changes are proposed here – merely painting the non-historic brick, new gutters and downspouts, and repairing or replacing existing windows in kind.

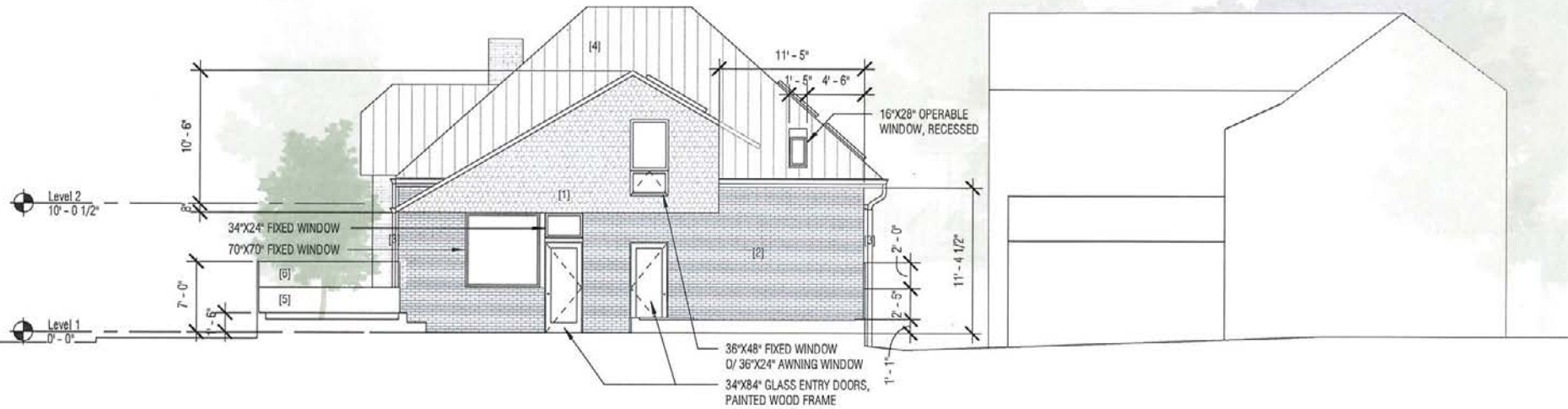
- [1] PAINTED SHINGLE, ROUNDED
- [2] PAINTED BRICK
- [3] METAL DOWNSPOUT
- [4] METAL ROOFING
- [5] CONCRETE RETAINING WALL
- [6] WOOD FENCE, SEMI-OPAQUE
- [7] WOOD FENCE, SEMI-TRANSPARENT
- [8] FLAT-CUT RAIL, PAINTED



SOUTH ELEVATION | 1/8" = 1'

This is the least visible façade. As such, the proposal strives to group as many of the new interventions as possible here including all new egress windows, space for future photovoltaics, a skylight relocated from a more prominent elevation, and the small flat roof. Additionally, daylighting, vision, and ventilation windows are introduced here. Proximity to the property line prohibits either extensive additions or openings along this wall.

- [1] PAINTED SHINGLE
- [2] PAINTED BRICK
- [3] METAL DOWNSPOUT
- [4] METAL ROOFING
- [5] WOOD PANEL, PAINTED
- [6] WOOD FENCE, SEMI-OPAQUE
- [7] WOOD FENCE, SEMI-TRANSPARENT
- [8] FLAT-CUT RAIL, PAINTED



WEST ELEVATION | 1/8" = 1'

The rear facing elevation, only the south elevation is less visible. In accordance with guidelines, every effort is made to have any additions and changes in fenestration occur here. Accessible entries into the kitchen and guest suite are here along with a reshaped partial gable. The partial gable is tied to the house's other gables with rounded shingle siding. A large fixed window helps denote the new work as contemporary, as is required. It is not anticipated that the small recessed window will be visible from the public way other than along the alley.

- [1] PAINTED SHINGLE, ROUNDED
- [2] PAINTED BRICK
- [3] METAL DOWNSPOUT
- [4] METAL ROOFING
- [5] WOOD FENCE, SEMI-OPAQUE
- [6] WOOD FENCE, SEMI-TRANSPARENT



View from 3rd Avenue & Luttrell Street Intersection



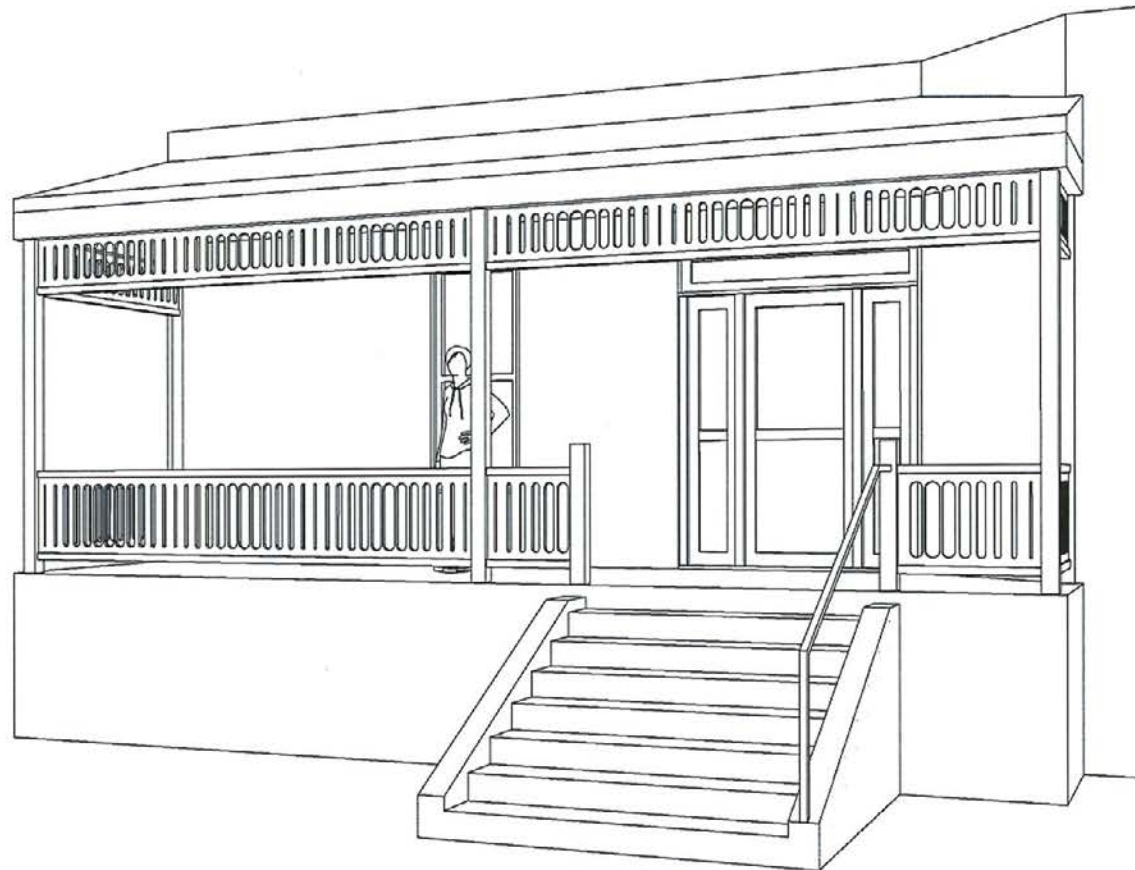
View from 3rd Avenue Sidewalk



PORCH DETAIL OF BALUSTRADE

A compatible new addition should . . . preserve significant historic materials, features and form; be compatible; and be differentiated from the historic building. (SOI Preservation Brief 14)

As there is no documentation of the front porch detailing (also noted in H2C staff report) the proposal is careful not to create a false sense of history by introducing faux elements. However, there is a desire on the front porch to be particularly sensitive to the neighborhood context. The proposed response takes hints from flat sawn balustrade design that was common in the Queen Anne style, particularly the Eastlake variant. Marrying similar materials and techniques with understated details and a slightly morphing pattern that denote the work as contemporary, the intent is to pass the “first look, second look” test – fitting into the language and detailing of the neighborhood’s historic fabric on first glance, appearing subtly but clearly new upon further inspection. The existing concrete stair will be repaired where chipped and wide curbs added to the edges, a pattern that is seen several places in the neighborhood.



KNOXVILLE HISTORIC ZONING COMMISSION
CERTIFICATE OF APPROPRIATENESS



File Number: 8-I-17-HZ

Property Address: 629 Luttrell St 37917
Level of Work: Level II
District: Fourth and Gill H-1
Owner: Taylor Grills , Knoxville, TN 37917
Applicant: Taylor Grills , Knoxville, TN 37917

Work Items: Doors, Porch Elements, Windows

Description of Work:

LEVEL I

Remove aluminum covering from window frames.

LEVEL II

Replace the wrought iron balustrade with a 36-inch-high wooden balustrade with 2x2-inch square balusters (at 4 inches on center). Wooden porch roof support posts at 9'-6" x 9'-6". The current wooden balustrade and square newel posts are to be lowered to 36 inches and 39 inches high respectively. The egg-and-dart decoration at bases of the newel posts and columns will be removed. The top rail of the balustrade will have a circular cross-section with an outside diameter of at least 1 ¼ inches and not greater than 2 inches to meet building code.

DENIED: The current door and sidelight replacement, and balustrade are not approved and are in violation of the historic district zoning code and the building code. Please contact Building Inspections to determine the timeframe within which to install a new door, sidelights, and balustrade without incurring a fine. A new door and sidelights, without a transom, may be approved upon submittal of specifications to the Historic Preservation Planner.

This certificate expires on 8/17/2020 (three years from the date of issue).

Approved By: Kaye Graybeal

Date Certified: 8/18/2017

Please note:

To obtain a building permit for Level II projects, drawings stamped as approved by the Historic Zoning Commission (HZC) staff must be submitted along with this Certificate of Appropriateness to the City of Knoxville Plans Review and Inspections Department or the Knox County Codes Administration Department, as appropriate. Any deviation from the drawings and written conditions approved by the HZC will require subsequent review and approval by the HZC or its staff.

THIS CERTIFICATE IS NOT A BUILDING PERMIT

Contact the appropriate building inspections office for permit requirements:

City of Knoxville Plans Review and Inspections Division: 865-215-2992 or 865-215-2991

Knox County Building Codes Administration: 865-215-2325



**KNOXVILLE HISTORIC ZONING COMMISSION
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PROPERTY ADDRESS: 629 Luttrell St 37917

FILE NO.: 8-I-17-HZ

DISTRICT: Fourth and Gill H-1

MEETING DATE: 8/17/2017

APPLICANT: Taylor Grills (owner)

LEVEL OF WORK: Level II. Major repair or replacement of materials and architectural elements

PROPERTY DESCRIPTION: Queen Anne Cottage (C. 1895)

One-story frame with brick veneer added c. 1950. Hip roof with jerkin head gables, imbricated shingles at gables, sawn wood bargeboard. One-over-one double-hung replacement windows. One-story two-thirds front porch with bellcast roof, replacement metal columns and balustrade. Interior offset brick chimney. Brick foundation. Irregular plan. Sidelights at front entry. Replacement door. Projecting octagonal bay on front elevation. (Contributing)

► **DESCRIPTION OF WORK:**

LEVEL I

Remove aluminum covering from window frames.

LEVEL II

Replace the wrought iron balustrade with a 36-inch-high wooden balustrade with 2x2-inch square balusters (at 4 inches on center). Wooden porch roof support posts at 9'-6" x 9'-6". The current wooden balustrade and square newel posts are to be lowered to 36 inches and 39 inches high respectively. The egg-and-dart decoration at bases of the newel posts and columns will be removed. The top rail of the balustrade will have a circular cross-section with an outside diameter of at least 1 ¼ inches and not greater than 2 inches to meet building code.

The non-original front door was replaced by the applicant with an oak wood door. The front entry originally had sidelight frames on each side which have been removed, and new sidelights of a lower height were installed by the applicant. A gap at the top of the newly installed door frame, a result of the difference in height between the original door and/or transom and the newly installed door (7 feet high), is proposed to be infilled with a ~7-inch-high glass transom.

► **APPLICABLE DESIGN GUIDELINES:**

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

PORCHES

Rehabilitation and New Construction

1. Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate.

4. Details such as columns, posts, piers, balustrades and porch flooring must use materials and designs that present a visually and physically appropriate appearance historically.



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 629 Luttrell St 37917

FILE NO.: 8-I-17-HZ

DISTRICT: Fourth and Gill H-1

ENTRANCES

The doors originally used on Fourth and Gill houses were wooden, often with beveled glass or stained glass inserts.

1. Entry features that should be preserved include sidelights and transoms of plain, patterned, beveled or stained glass, fan light windows, entablatures, and the original doors. All add character to the structures within the Fourth and Gill Historic District.
2. Any restoration should be based on historical, pictorial and physical documentation and should be compatible with the historic character of the building and with adjacent buildings. It should not create a false historic appearance.
7. Missing doors should be replaced with new doors appropriate for the style and period of the building. In replacing missing original doors, replacement doors should mimic doors typical for that architectural style, including materials, glazing, and pane configuration. "Decorator" designed doors available from wholesale hardware stores are usually not appropriate for the architectural styles of the Fourth & Gill Historic District.

COMMENTS:

The new porch balustrade and stair railing, as well as the new front door and sidelights were installed without a building permit or a Certificate of Appropriateness or a building permit. Also, the former elements were removed without a COA or a building permit.

STAFF FINDINGS:

- 1) The c. 1895 Queen Anne cottage is a contributing structure within the Fourth and Gill H-1 zoning overlay and the National Register Historic District.
- 2) The wrought iron balustrade, porch roof supports, and front door that were replaced were not original to the house. The sidelight frames that were appear to have been original based on the submitted photos.
- 3) No evidence has been discovered as to the design of the original front porch balustrade; therefore, a simple wood square-in-section design for both the balusters and porch roof supports is appropriate.
- 4) The height of the porch balustrade and step railing that are currently installed are not appropriate to the house. The balustrade/railing would be appropriate at 36"- high to meet building code, with newel posts at 39"- high.
- 5) The egg-and-dart molding at the base of the newels and the columns and at the top of the columns is not appropriate for the Queen Anne cottage style. A plain 1x 8-inch molding at the bottom and a plain 1x 6-inch molding at the top of the columns would be appropriate.
- 6) The ~9'-6" x 9'-6" wood porch roof support posts are appropriate to the style of the front porch.
- 7) The lowered height of the sidelight frames to ~7 feet is not appropriate since the height of the original sidelight frames measure 7'-5" to 7'-7" in height.



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8) No evidence is provided that a transom existed over the front door; therefore, installing a transom would not appropriate if it could create a false sense of history. There is only about 7 inches of height remaining over the newly installed front door in which to install a transom, which is insufficient space to achieve an appropriate scale.

9) The doors of the Queen Anne era was typically a half-light or 3/4-light door with either no muntins or small panes framing the perimeter, as indicated by original doors on other Queen Anne cottages in the district. The current door knob on the door is not appropriate hardware for the era -- the appropriate hardware would be a handle instead of a knob.

► STAFF RECOMMENDATION:

Staff recommends approval of the installation of a wooden balustrade and step rail with the following conditions: 1) height to be at 36-inches and to have a baluster spacing of 4 inches on center; and 2) remove the egg-and-dart molding.

Approval of installing new front door and sidelights with the following conditions: 1) that the door be of a height to fill the original opening, or evidence be provided that a transom existed, and the door height be adjusted to accommodate it; and 2) that the door may be a half-light or 3/4-light wood door with no muntins; and 4) that the sidelights match the configuration as shown in the submitted photos; and 3) that the door knob be changed to a handle.

Stuth, Tricia Anne

From: Stuth, Tricia Anne
Sent: Monday, February 11, 2019 5:52 PM
To: Shelton Jr, Theodore Ernest (Ted Shelton)
Subject: Fwd: 620 Luttrell Street COA and staff report
Attachments: 8-I-17_HZ.pdf; ATT00001.htm; 1-629 Luttrell StaffReport.pdf; ATT00002.htm

Sent from my iPhone

Begin forwarded message:

From: Kaye Graybeal <kaye.graybeal@knoxplanning.org>
Date: February 11, 2019 at 5:09:07 PM EST
To: Tricia Stuth <tricia.curb@gmail.com>
Subject: **620 Luttrell Street COA and staff report**

Tricia, Please find attached the proposed work that was approved in a COA for 629 Luttrell, as well as the staff report. I hope this helps and feel free to contact me if you have any questions.

--

Kaye Graybeal, AICP
Historic Preservation Planner
865-215-3795