



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY LOCATION: 1614 Forest Ave. /
Parcel ID 94 N E 013

FILE NO.: 8-C-19-HZ

DISTRICT: Ft. Sanders NC-1

MEETING DATE: 8/15/2019

APPLICANT: John Holmes

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Queen Anne Cottage, c.1900

One-story, cross-gable roof residence with an asphalt shingle roof and a continuous brick foundation. Exterior is clad in vinyl siding. Façade (north) features a full length hipped porch supported by square wood posts with wooden brackets. Porch wraps around east elevation. Entry is located perpendicular to the façade on a projecting front-gable roof massing. Interior brick chimney, centrally located on front gable ridgeline.

► **DESCRIPTION OF WORK:**

Applicant is requesting after-the-fact approval of demolition of 19'-7" of the house to the rear. Existing COA issued for the project (reviewed by the HZC in April 2019, COA issued 4/18/2019) refers only to the 16'-1" addition to the house's rear; however, the 19'-7" portion demolished will also be reconstructed. Therefore, the new construction will be a 35'-8" addition instead of 16' as reviewed in April.

► **APPLICABLE DESIGN GUIDELINES:**

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

1. Addition should be made to the rear or side of the building.
2. The wall of the new structure (addition) should not be continuous with the wall of the existing building, but have a minimum 4' x 6' indentation.

Secretary of the Interiors Standards for Rehabilitation

1. The historic character of a property shall be retained and preserved.
 3. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
 4. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be impaired.
-

COMMENTS:

Review of demolition is after-the-fact.

STAFF FINDINGS:

1. The house is a contributing structure in the Fort Sanders NC-1 District.
2. The ordinance for a NC-1 district declares the third purpose of the NC-1 overlay as "to regulate demolition." Thus, proposed demolition of additions over 50 years old on a structure that contributes to an NC-1 district must be



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reviewed by the Historic Zoning Commission. City inspections staff acknowledged the demolition of 19' of the house's rear in June 2019. This demolition was not included in the original COA.

3. The proposed addition will be located at the rear of the building, with windows and doors to match those on the existing structure. The windows will provide transparency on those sides not restricted by Fire Code standards.

4. The addition will be offset to distinguish it from the original structure.

5. The addition, as proposed, will be compatible with massing, size, scale, and architectural features to protect the historic integrity of the original structure.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the rear demolition and approximately 35' addition to the rear.



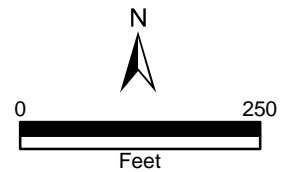
8-C-19-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1614 Forest Ave. 37916
 Ft. Sanders NC-1

Original Print Date: 8/1/2019
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: John Holmes



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. NAME OF APPLICANT: John Holmes

Address: 5914 Gray Gables Dr. Knoxville, TN 37931

Telephone: 423-231-4980 E-mail address: jholmes6@gmail.com

Relationship to Owner: Owner

2. NAME OF OWNER: See Above

Address: _____

Telephone: _____ E-mail address: _____

3. LOCATION OF PROPERTY:

Address: 1614 Forest Ave Tax ID/Lot/Parcel No: 094A/E013

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

See Attached

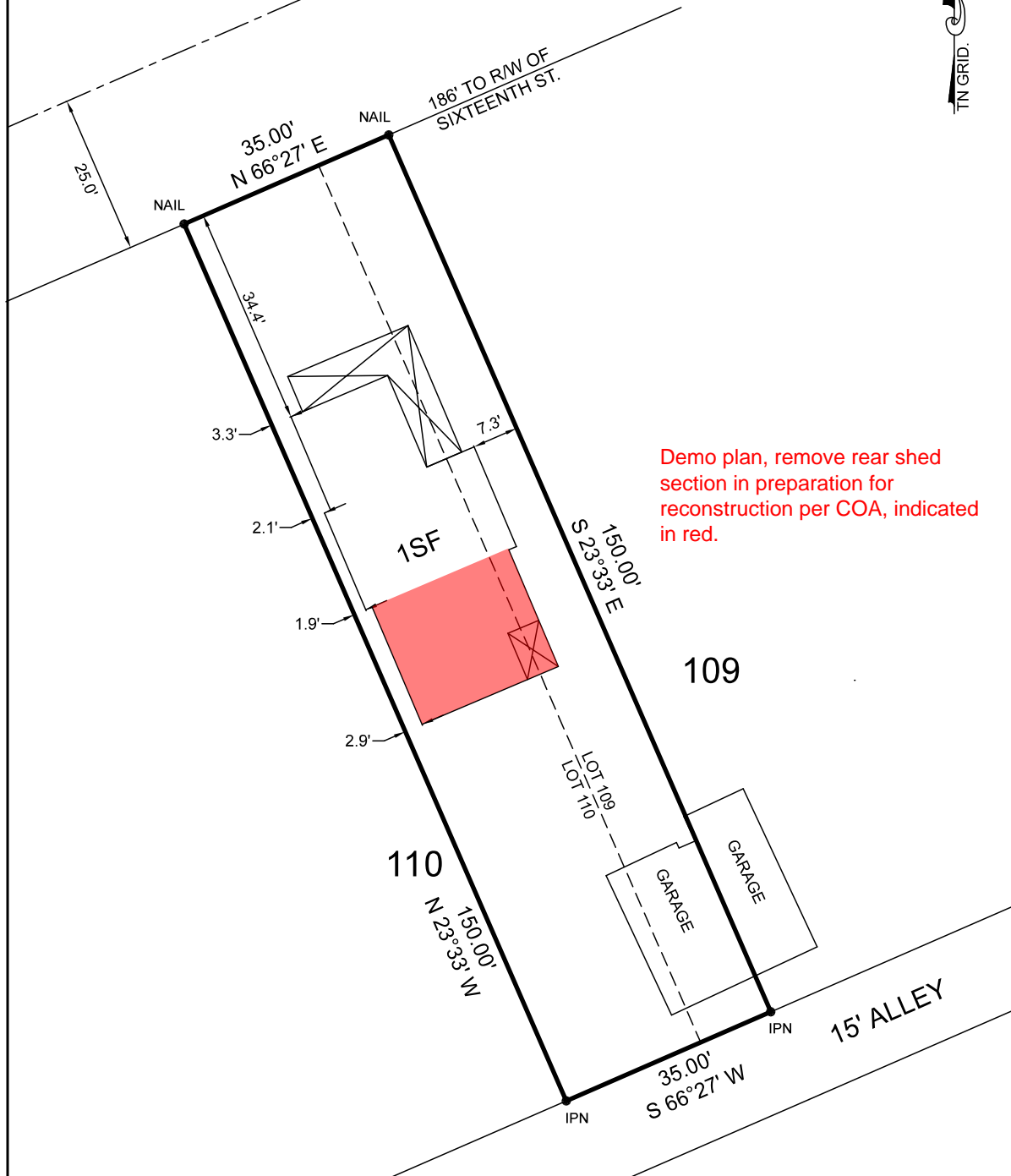
6. SIGNATURE OF APPLICANT: [Signature] Date: 3/15/19

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or Fax: 865-215-2068. **Incomplete applications will not be accepted.**

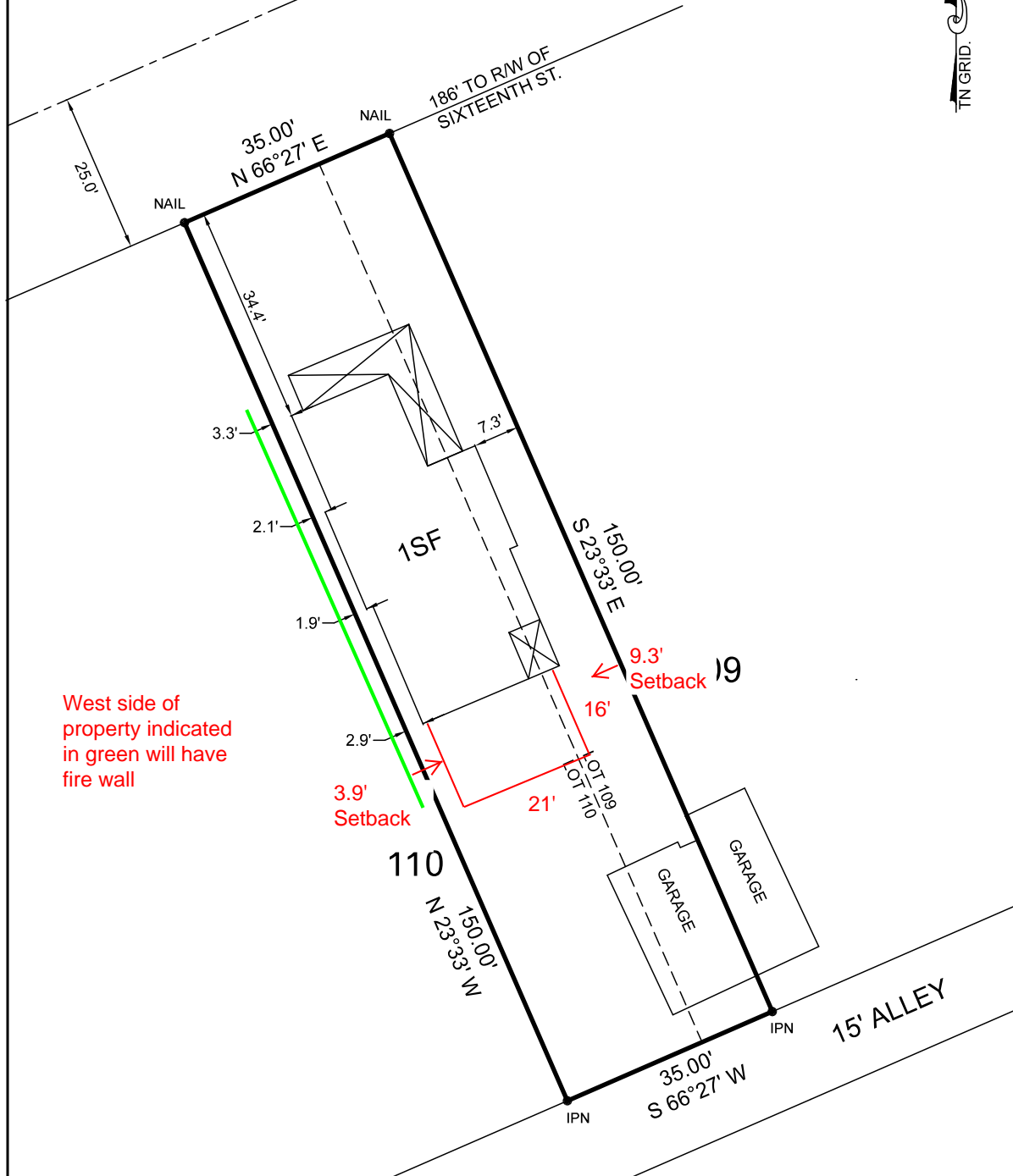
FOR STAFF USE ONLY			
Date Received	Approved	Disapproved	Approved As Modified
Date Acted On			

1614 Forest Ave.

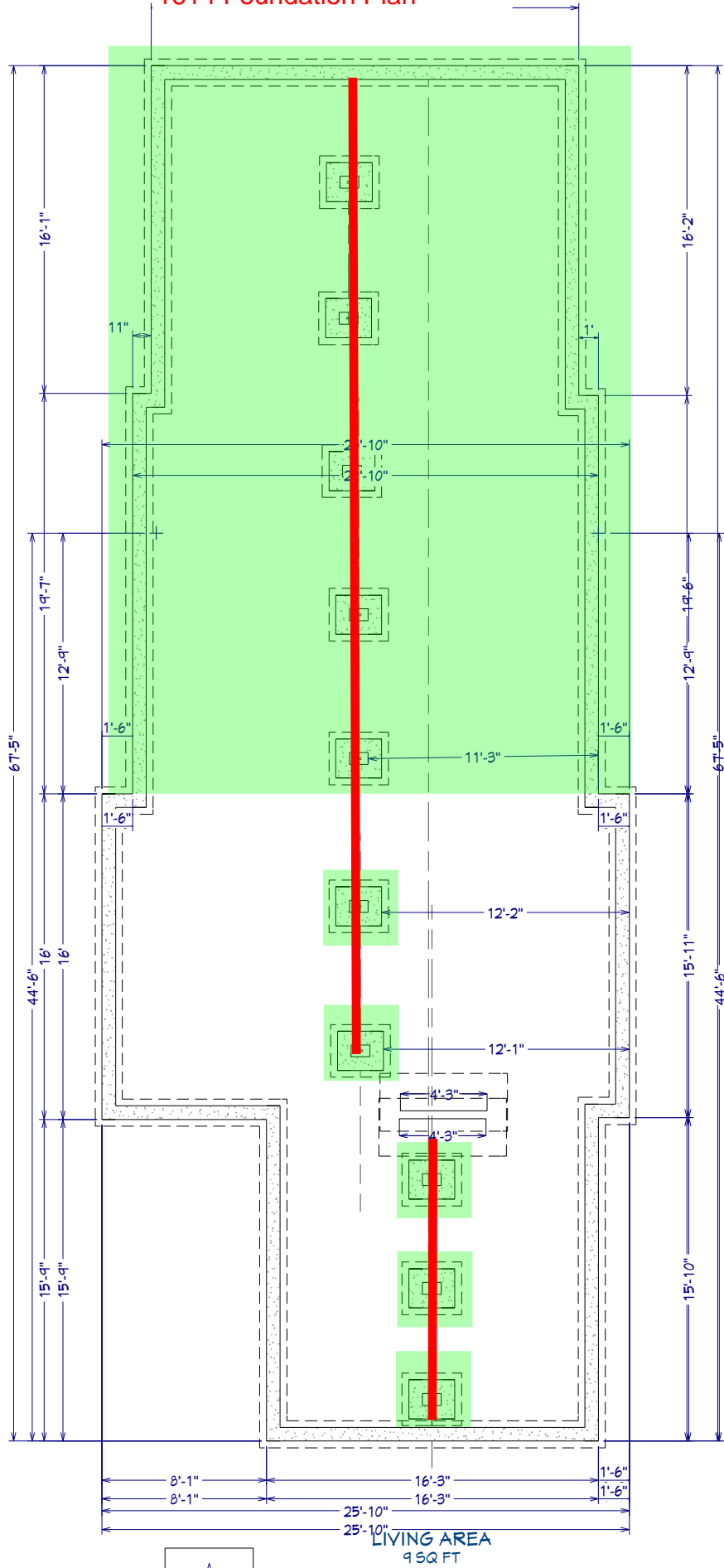
FOREST AVE.



FOREST AVE.



1614 Foundation Plan



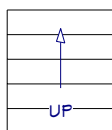
House is on crawlspace
 Min clearance to joists is 30" on rear half of house which is rebuilt.
 Existing clearances for front half of house is 24"

Foundation:

New footers for rear IAW IRC 403.1
 24" w x 12" deep footer
 #4 bar x 2
 8" CMU block walls
 Foundation Drainage per IRC 405.1
 Bitumen damp proofing
 New 2'x2' piers every 6'
 #4 bar x 2 both directions
 Beam is 2x12 (x3)
 New floor joists 2x12 @ 16" O.C. #2 Pine
 Existing floor joists 2x10 rough @ 16" O.C
 Max unbalanced fill is 3"
 Add new piers to reinforce central beam where necessary.

Center beam is (3) 2x12
 Simpson Hangers for joist attachment
 Max Span is 12' 6" for floor joists

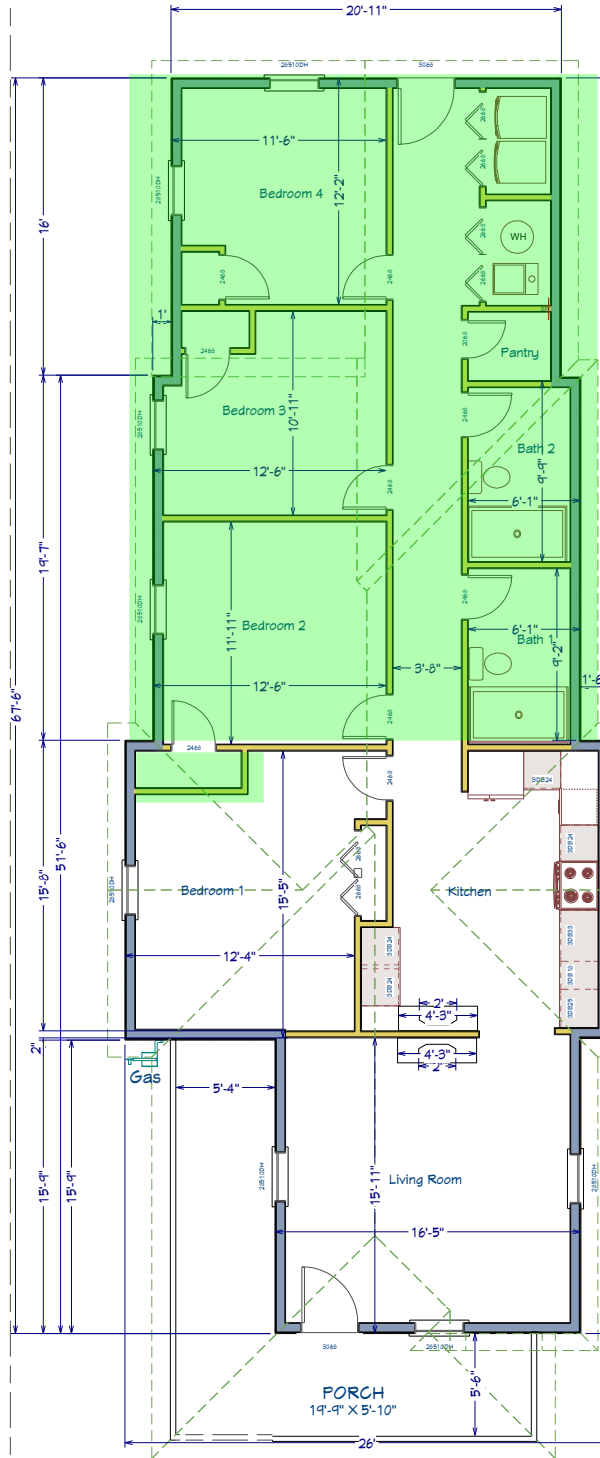
New Foundation and piers indicated in green
All piers are new



LIVING AREA
 1454 SQ FT

LIVING AREA
 959 SQ FT

1614 Forest Av 4BR/2BA House
 New Framing indicated in green



LIVING AREA
 1451 SQ FT

Insulation: (Fiberglass Batts)

Walls - R13 plus R5 Foam XPS on exterior
 (Entire house wall sheathing will be replaced)
 Ceilings - R4R
 Floors - R19
 Crawlspace walls - R-10 XPS interior

Heat/Cooling:

14 Seer Split
 50,000 BTU gas furnace
 R-8 Duct insulation

Water Heater:

Electric 50gallon

Windows:

36" w x 12" h
 U-Factor - .29
 SHGC - .28
 No windows required to be tempered
 IRC302.1(1) - No windows <3' from property line

Exterior Walls:

7/16 OSB Sheathing
 Vapor Barrier
 Hardi Siding

Framing:

Exterior walls existing 2x4 rough cut @ 16" O.C.
 New walls 2x4 @ 16" O.C.
 Floor sheathing 3/4" OSB
 Headers are 2x12 (2) (longest span 60")
 Existing ceiling joists are rough cut 2x8 @ 24"

Roof:

New trusses over reconstructed portion
 (manufacturer details to be provided before installation)
 New 1/2" sheathing over existing 1x lap board.
 new 2x8 collar ties and purlins to reinforce existing roof
 new underlayment
 New dimensional shingles
 Roof pitch 6/12

All doors have min 36" min landing
 Rear of property is a 6'x20' paver patio
 Front entry is on the porch

Fire wall:

1hr rated on entire West Side only
 UL 305
 7/16" OSB option between framing and dense glass
 Exterior Option 3a (5/8th dense glass)
 Interior Option 3e (5/8th type x firecode)
 Fireblocking to be installed from top plate
 up to underside of roof sheathing, no additional
 protection for projections required.

Front Porch:

repair brick as necessary
 Stucco Front
 replace tongue and groove flooring
 Replace joists with 2x8 PT as needed.

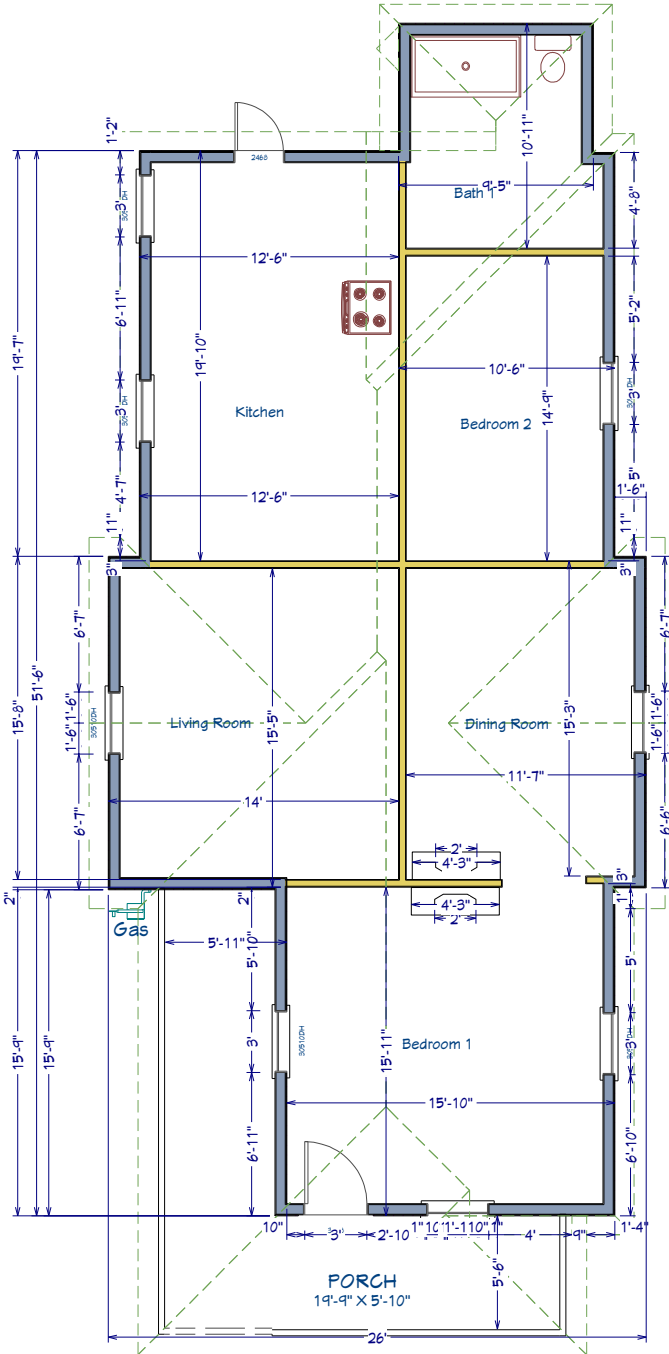
Radon:

3" PVC tee under vapor barrier installed through
 roof exten min of 1' above roof line

Door Landings:

Front door and rear door shall have min 36"x36"
 clear landing
 Plans show 5'6" for front door x 26'
 Rear door opens to paver patio 6' x 20'

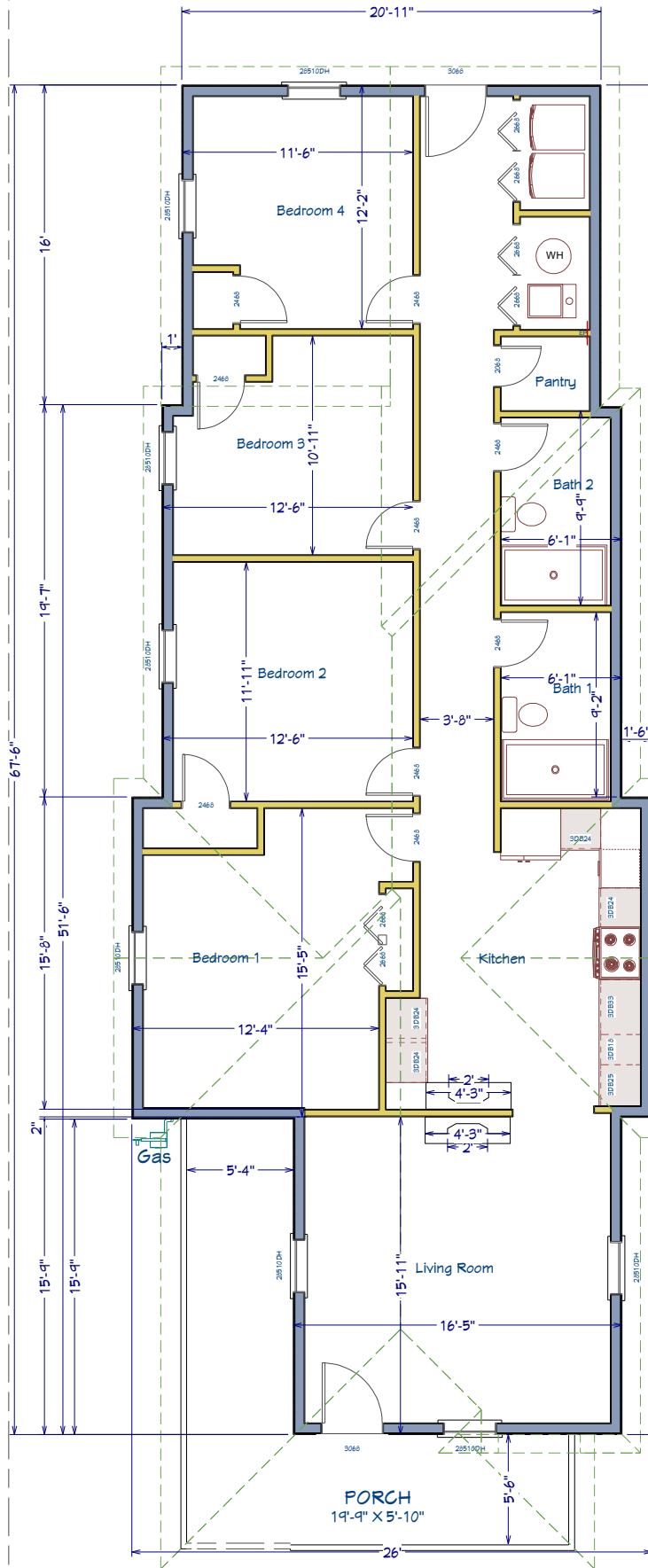
1614 Forest - Before



Before Windows:
36' x 12'
Before Doors:
36'

LIVING AREA
1175 SQ FT

1614 Forest Av 4BR/2BA House



LIVING AREA
1451 SQ FT

Insulation: (Fiberglass Batts)

Walls - R20
(Entire house wall sheathing will be replaced)
Ceilings - R49
Floors - R19
Crawlspace walls - R-10 XPS interior

Heat/Cooling:

14 Seer Split
50,000 BTU Gas furnace
R-8 Duct insulation

Water Heater:

Electric 50gallon

Windows:

36" w x 72" H
U-Factor - .29
SHGC - .28
No windows required to be tempered
IRC302.1(1) - No windows <3' from property line

Exterior Walls:

7/16 OSB Sheathing
2x2 added to exterior walls so that
R20 insulation may be properly installed
Vapor Barrier
Hardi Siding

Framing:

Exterior walls existing 2x4 rough cut @ 16" O.C.
2x2 added to existing exterior walls for insulation depth
New Exterior walls 2x6 @ 16" O.C.
New interior walls 2x4 @ 16" O.C.
Floor sheathing 3/4" OSB
Headers are 2x12 (2) (longest span 60")
Existing ceiling joists are rough cut 2x8 @ 24"

Roof:

New trusses over reconstructed portion
(manufacturer details to be provided before installation)
New 1/2" sheathing over existing 1x lap board.
new 2x8 collar ties and purlins to reinforce existing roof
new underlayment
New dimensional shingles
Roof pitch 6/12

All doors have min 36" min landing
Rear of property is a 6'x20' paver patio
Front entry is on the porch

Fire wall:

1hr rated on entire West Side only
UL 305
7/16" OSB option between framing and dense glass
Exterior Option 3a (5/8th dense glass)
Interior Option 3e (5/8th type x firecode)
Fireblocking to be installed from top plate
up to underside of roof sheathing, no additional
protection for projections required.

Front Porch:

repair brick as necessary
Stucco Front
replace tongue and groove flooring
Replace joists with 2x8 PT as needed.

Radon:

3" PVC tee under vapor barrier installed through
roof exten min of 1' above roof line

Door Landings:

Front door and rear door shall have min 36"x36"
clear landing
Plans show 5'6" for front door x 26'
Rear door opens to paver patio 6' x 20'

1614 Forest Front:



1614 Forest East Side:



1614 Forest West Side:



1614 Forest Rear:



KNOXVILLE HISTORIC ZONING COMMISSION

CERTIFICATE OF APPROPRIATENESS



File Number: 4-C-19-HZ

Property Address: 1614 Forest Ave 37916
Level of Work: Level I
District: Ft. Sanders NC-1
Owner: John Holmes , Knoxville, TN 37931
Applicant: John Holmes , Knoxville, TN 37931

Work Items: Masonry Repair or Painting, Porch Elements, Shutters, Windows

Description of Work:

Repair exterior siding, windows, gutters, front porch, brick work as needed. Foundation needs new stucco, original brick has been removed by previous owners on front of house.
Replace windows with double hung vinyl 1/1 configuration (Jeld wen vinyl 2500 series, see pictures of 1618 Forest below). Existing locations to be retained except where larger 3'x5' is required to meet the egress code. Typical windows are 36x72.
Replace porch floor with tongue and groove flooring.
Stain the porch ceiling.
Repair and repaint stucco foundation as needed.
The existing siding will be covered or replaced with a smooth finish, Hardi plank siding.
All materials will be in compliance with the Fort Sanders neighborhood guideline.
Applicant has included pictures of 1618 Forest next door as an example of the proposed scope of work.

This certificate expires on 4/10/2022 (three years from the date of issue).

Approved By: Amy Brooks

Date Certified: 4/11/2019

Please note:

To obtain a building permit for Level II projects, drawings stamped as approved by the Historic Zoning Commission (HZC) staff must be submitted along with this Certificate of Appropriateness to the City of Knoxville Plans Review and Inspections Department or the Knox County Codes Administration Department, as appropriate. Any deviation from the drawings and written conditions approved by the HZC will require subsequent review and approval by the HZC or its staff.

THIS CERTIFICATE IS NOT A BUILDING PERMIT

Contact the appropriate building inspections office for permit requirements:

City of Knoxville Plans Review and Inspections Division: 865-215-2992 or 865-215-2991

Knox County Building Codes Administration: 865-215-2325

KNOXVILLE HISTORIC ZONING COMMISSION

CERTIFICATE OF APPROPRIATENESS



File Number: 4-E-19-HZ

Property Address: 1614 Forest Ave 37916
Level of Work: Level II
District: Ft. Sanders NC-1
Owner: John Holmes , Knoxville, TN 37931
Applicant: John Holmes , Knoxville, TN 37931

Work Items: Additions

Description of Work:

Extension on the back of the house by 16' to the North.

The width will be 21' which leaves a 1-foot offset on either side of the house to delineate the addition.

The back portion of the roof and over the addition will be changed to a gable style. (The existing shed style roof does not have the proper slope to meet code requirements and pools water on it at the back. This would allow for the proper slope and better drainage of water.)

Walls within 5' will require this 1hr rated wall and allows openings, walls with 3' are not allowed to have any openings. Due to the proximity of walls to the property lines the building department will require the construction of 1hr rated fire walls. (The fire walls are not visually different, except for the ones not allowing openings.)

This certificate expires on 4/17/2022 (three years from the date of issue).

Approved By: Amy Brooks

Date Certified: 4/18/2019

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