



**KNOX COUNTY HISTORIC ZONING COMMISSION  
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

**PROPERTY ADDRESS:** Third Dr 37934

**FILE NO.:** 4-G-19-HZ

**DISTRICT:** Village of Concord HZ

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**MEETING DATE:** 4/18/2019

**APPLICANT:** Daniel and Laura Benner

**LEVEL OF WORK:** Construction of a new house and detached garage

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**PROPERTY DESCRIPTION:** Two-story farmhouse style cottage

Property is currently a vacant .81 acre lot on the southeast side of Third Drive between Olive Road and Spring Street in the Village of Concord Historic District.

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► **DESCRIPTION OF WORK:**

Construction of a new, 1,791 sq. ft., two-story single-family home and 484 sq. ft. garage.

**HOUSE:**

Roof: Asphalt Shingle

Gutters: Dark Bronze

Siding: James Hardie plank - horizontal lap, Colorplus series, Smooth, 4" exposure, Artic White

Soffit and Fascia: James Hardie plank, Colorplus series, Artic White

Windows: Vinyl, white, 2 over 2 grid pattern

Shutters: Board & Batten style, Painted black

Porch Posts: 6" square post, James Hardie Wrapped, Artic White

Foundation Chimney: Brick, General Shale, Driftwood Queen (Brown)

Porch: Floors- Broom finish concrete, Railing - White picket rail, painted Artic White

**GARAGE:**

22' W x 24' D

Roof: Asphalt Shingle

Gutters: Dark Bronze

Siding: James Hardie plank - horizontal lap and board and batten Colorplus series, Smooth, 4" exposure, Artic White

Soffit and Fascia: James Hardie plank, Colorplus series, Artic White, Windows, Vinyl, white, 2 over 2 grid pattern

Shutters: Board & Batten style, Painted black

Garage Doors: Wayne Dalton 9700 series, Lexington Square, White

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► **APPLICABLE DESIGN GUIDELINES:**



**KNOX COUNTY HISTORIC ZONING COMMISSION  
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Village of Concord Design Guidelines, adopted by the Knox County Commission on October 22, 2001.

**INFILL AND NEW CONSTRUCTION**

New buildings should be compatible with surrounding architecture, but their design should recognize that they will function as a new building and will be built with new materials. New buildings constructed in historic areas should, however, be compatible with older structures and sensitive to the patterns already in that environment. A building should not be visually incompatible or disrespect historic relationships within the neighborhood.

**WIDTH OF HOUSES AND LOTS**

The form of the houses is rectangular or irregular, with narrow sides facing the street. This development pattern should be respected if new structures are built in the neighborhood.

**SCALE AND MASSING**

The size and proportions of new buildings should be consistent with historic or adjacent buildings in the neighborhood. Recessed or projecting porches, bays and other details should be incorporated into any new construction. Any new buildings should complement and reinforce neighboring buildings.

**OUTBUILDINGS**

Auxiliary or outbuildings are sometimes found in Concord, and would have included carriage houses, barns, outhouses and sheds. Buildings that resemble carriage houses, work buildings or simple one-story garages may be appropriate for the historic district. Their size and construction should duplicate the original outbuildings that would have been found.

**RESIDENTIAL BUILDINGS - RECOMMENDATIONS:**

1. Maintain the facade lines of streetscapes. Never violate the existing setback pattern by placing new buildings in front of or behind the historic setback line, or at odd angles.
2. Relate the size and proportions of new structures to the scale of adjacent buildings.
3. Break up box-like forms into smaller masses like historic buildings. New buildings should be designed with a mix of door and window elements in the facade mimicking nearby historic houses. The placement of door and window openings should be imitated.
4. Relate the vertical, horizontal character of new buildings to the directional alignment of nearby buildings.
5. Relate the roof forms of the new buildings to those found in the area, duplicating existing roof shapes and pitches.
6. New buildings shall equal the average height of existing adjacent buildings.
7. New housing shall be built with raised foundations or designed to suggest that there is a raised foundation equal to the foundation height of adjacent buildings.
8. In new buildings, the height of roofs and eaves, stories, windows and doors shall mimic adjacent historic buildings.
9. The materials used for new buildings shall be consistent with existing historic building materials along the street.
10. Front elevations shall have a strong sense of entry.
15. Garages and other outbuildings shall resemble outbuildings that have been historically constructed in the Village of Concord.

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**COMMENTS:**

**STAFF FINDINGS:**



**KNOX COUNTY HISTORIC ZONING COMMISSION  
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**DISTRICT: Village of Concord HZ**

1. The proposed square footage of house footprint is 1,791 sq. ft.
2. The proposed square footage of garage footprint is 484 sf (22' w x 24' d)
3. Front setback of the house is proposed to be 65'3" from Third Drive
4. Rear setback for the house is proposed to be 35' from rear property line.
5. Rear setback for accessory structure is proposed to be 22'33" feet.
6. Interior side setback for the garage is proposed to be 10' from the unimproved alley.
7. The proposed style of the house is compatible with the district.
8. The proposed materials are appropriate given that fiber cement board has been found to adequately simulate wood siding for new construction as long as the proposed smooth finish with no faux wood-graining is utilized. The wood door and porch elements are also appropriate.
9. The garage is appropriate for the district.

**► STAFF RECOMMENDATION:**

Staff recommends the HZC approve the COA for construction of a new house and detached garage as currently proposed.

Certificate (File) No: \_\_\_\_\_

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. APPLICANT NAME: Daniel and Laura Benner

Address: 10817 Third Drive Concord, TN 37934

Telephone: 865-805-9624 E-mail address: LAURAR.BENNER@gmail.com

Relationship to Owner: \_\_\_\_\_

2. OWNER NAME: Same as above

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail address: \_\_\_\_\_

3. LOCATION OF PROPERTY:

Address: 10809 Second Drive, 37934 Tax ID/Lot/Parcel No: Lot 3-R2 of the re-subdivision of lot 3, Stokes, Beeler & Russell

4. LEVEL OF WORK (circle Level)

Level I Routine repair; replacement of deteriorated materials in-kind; removal of artificial siding; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure or a late addition; renewal of COA

Level II Major replacement of materials or architectural elements; construction of an addition or outbuilding

**Level III** Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

See attached

6. SIGNATURE OF APPLICANT: Laura Benner Date: 3/29/19

**Incomplete applications cannot be accepted.**

Mail application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902; or Fax: (865) 215-2068; or E-mail to [Kave.Graybeal@knoxmpc.org](mailto:Kave.Graybeal@knoxmpc.org)  
Phone: (865) 215-3795

FOR STAFF USE ONLY			
Date Received	Approved	Disapproved	Approved As Modified
Date Acted On			

**Application for Certificate of Appropriateness  
Knoxville/Knox County Historic Zoning Commission**

Daniel and Laura Benner  
10809 Third Drive  
Concord Village HZ Overlay District

**Description of Work:**

**House:**

1,791 TOTAL HEATED SQFT, 2 Story Cottage

**Roof:**

- Asphalt Shingle

**Gutters:**

- Dark Bronze

**Siding:**

- James Hardie plank – horizontal lap
- Colorplus series
- Smooth, 4" exposure
- Artic White

**Soffit and Fascia:**

- James Hardie
- Colorplus series
- Artic White

**Windows**

- Vinyl, white
- 2 over 2 grid pattern

**Shutters:**

- Board & Batten style
- Painted black

**Porch Posts:**

- 6" square post
- James Hardie Wrapped
- Artic White

**Brick:**

- Foundation and Chimney
- General Shale, Driftwood Queen (Brown)

**Porch:**

- Floors – Broom finish concrete
- Railing – White picket rail, painted Artic White

**Garage:**

484 HEATED SQ. FT.  
22' W x 24' D

**Roof:**

- Asphalt Shingle

**Gutters:**

- Dark Bronze

**Siding:**

- James Hardie plank – horizontal lap and board and batten
- Colorplus series
- Smooth, 4" exposure
- Artic White

**Soffit and Fascia:**

- James Hardie
- Colorplus series
- Artic White

**Windows**

- Vinyl, white
- 2 over 2 grid pattern

**Shutters:**

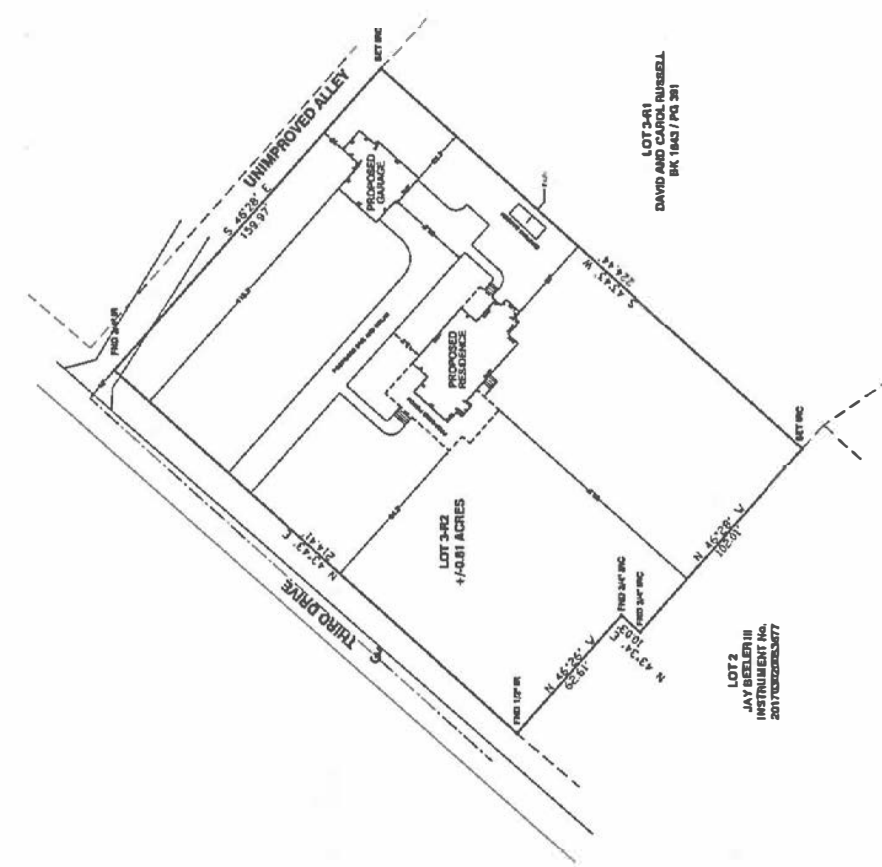
- Board & Batten style
- Painted black

**Garage Doors:**

- Wayne Dalton 9700 series, Lexington Square, White



**LEGAL DESCRIPTION**  
 PART OF THE 4.081 ACRES OF LOT 3, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



Know what's below.  
 Call before you dig.

I hereby certify that this is a correct and true and the true and correct of the undisturbed survey is better than any other survey on record for the same land.

Dean W. Gruber, P.L.S.  
 License No. 21663

**Pinnacle Land Surveying, Inc.**  
 211 Belle Front Trail  
 Knoxville, TN 37934  
 Phone: 865.542.3185

**SITE PLAN**  
**THIRD DRIVE**  
**KNOXVILLE, TN 37934**

DATE OF FIELD SURVEY: 05/20/19  
 PROFESSIONAL:  
**Daniel & Laura Benner**  
 10817 Third Drive  
 Knoxville, TN 37934

1a

**SURVEY NOTES:**

1. BEARINGS SHOWN HEREON ARE BASED ON THE RIVAL PLAT OF STOKES, BEGLER & RUSSELL SUBDIVISION AS RECORDED BY INSTRUMENT No. 20100427087433 OF THE RECORDS OF KNOX COUNTY, TENNESSEE.
2. CORNER MARKS SHOWN HEREON (IF ANY) ARE ASSUMED.
3. ALL CORNERS ARE FOUND IRON PIN WITH CAP UNLESS OTHERWISE NOTED.
4. ALL EASEMENTS SHOWN HEREON FOR THE UTILITIES ARE BASED ON DESIGNED LOCATION, FINAL AS BUILT LOCATION WILL DETERMINE THE EXACT LOCATION OF UTILITY EASEMENTS. A 30' WIDE EASEMENT, 10' EACH SIDE OF SANITARY SEWER LINE AS INSTALLED.
5. A 10' DRAINAGE AND UTILITY EASEMENT EXISTS ALONG ALL STREET RIGHT-OF-WAY, 10' ALONG ALL EXTERIOR BOUNDARY AND 5' ALONG INTERIOR LOT LINES.
6. DATE OF FIELD SURVEY: 05/20/19

# BENNER RESIDENCE - THIRD DRIVE



Roof:  
TAMKO,  
Rustic Black



- Siding: James Hardie plank - horizontal lap Colorplus series, Smooth, 4" exposure color: Arctic White
- Soffit + Fascia: James Hardie plank Colorplus series, color: Arctic White
- Porch Posts: 6" Square Hardie posts, color: Arctic White

T+G Porch Ceilings,  
painted "haint blue"



Windows: Vinyl, white  
2 over 2 grid pattern

Porch Floors: broom finish concrete  
Railing: White Picket Rail, Painted Arctic White



Shutters: Board + Batten style,  
Painted Black (per plan)



Front Door:  
mahogany, stained

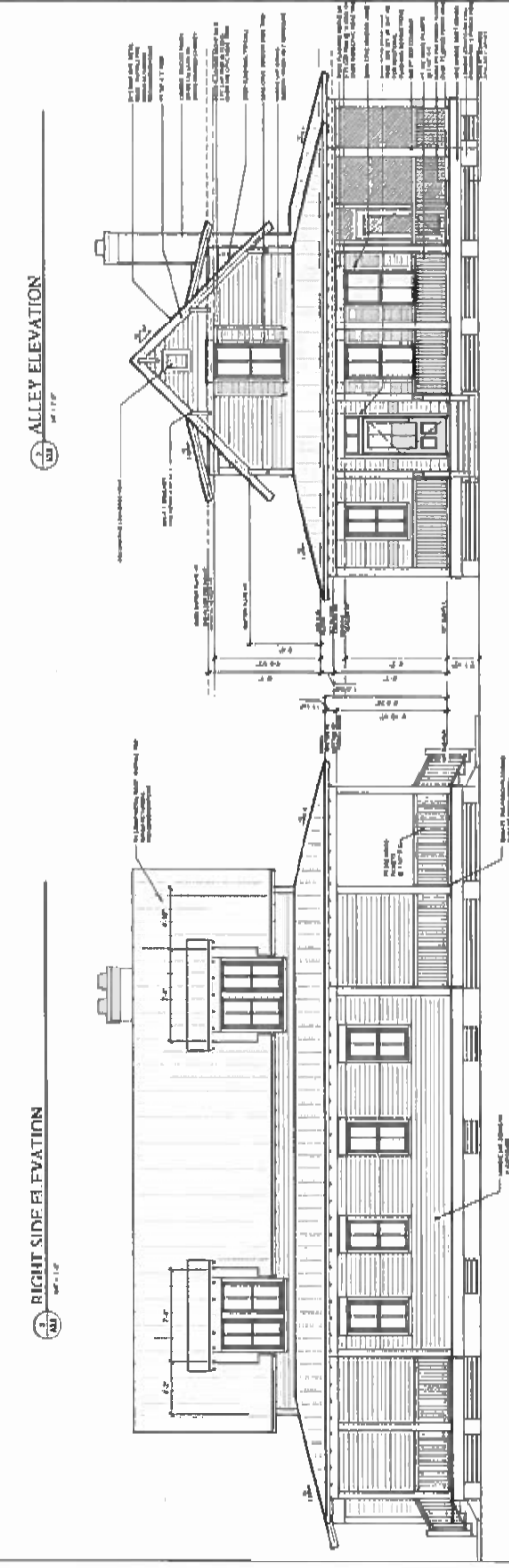
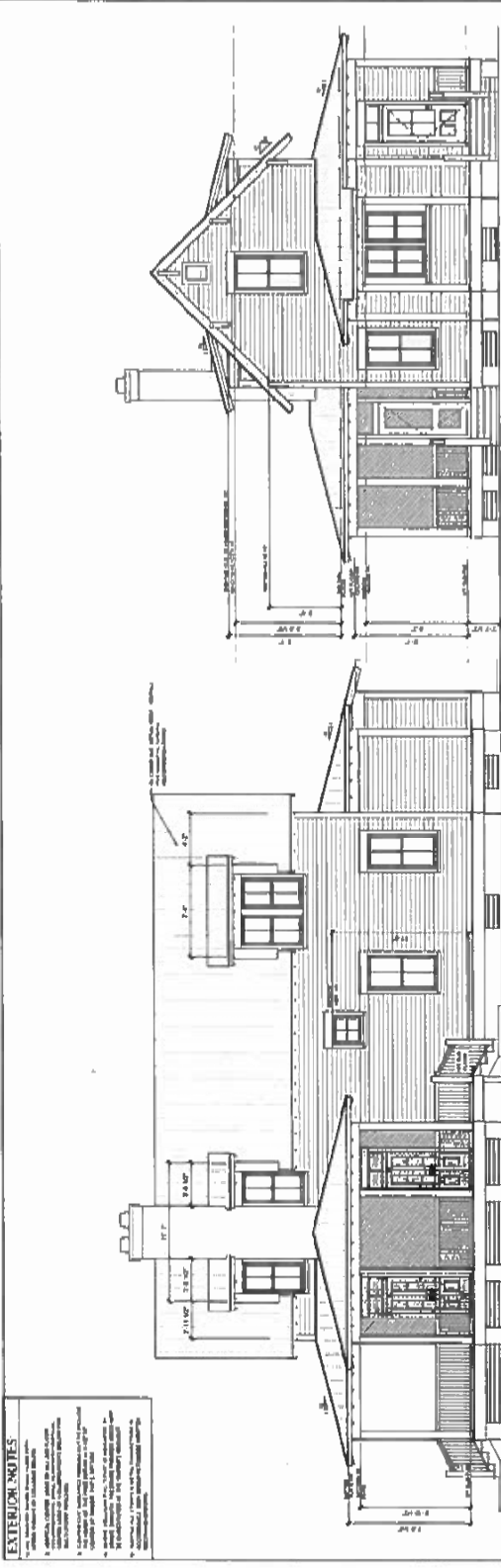


Brick:  
General Shale,  
Driftwood Queen,  
Foundation + Chimney



Gutters:  
Dark Bronze





**EXTERIOR NOTES**

1. SEE EXTERIOR FINISH SCHEDULE FOR FINISHES.
2. EXTERIOR WALLS TO BE CONCRETE BLOCK WITH STUCCO FINISH.
3. EXTERIOR ROOF TO BE ASBESTOS FREE SHINGLES WITH 1/2" OSB DECKING.
4. EXTERIOR FLOORING TO BE 1/2" OSB DECKING.
5. EXTERIOR PAINT TO BE EXTERIOR GRAHNS.
6. EXTERIOR TRIM TO BE 1/2" OSB DECKING.
7. EXTERIOR LIGHTING TO BE 1/2" OSB DECKING.
8. EXTERIOR VENTILATION TO BE 1/2" OSB DECKING.
9. EXTERIOR INSULATION TO BE 1/2" OSB DECKING.
10. EXTERIOR FOUNDATION TO BE 1/2" OSB DECKING.

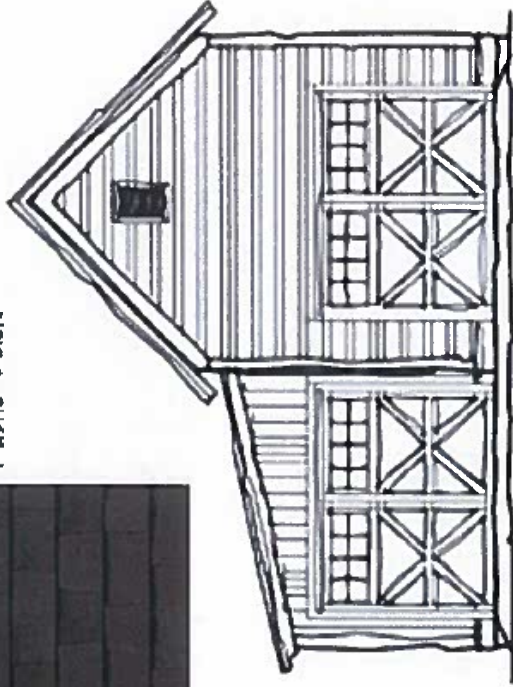
**EXTERIOR NOTES**

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9. EXTERIOR INSULATION TO BE 1/2" OSB DECKING.
10. EXTERIOR FOUNDATION TO BE 1/2" OSB DECKING.

# BENNER RESIDENCE - THIRD DRIVE - GARAGE



Roof:  
TAMKO,  
Rustic Black



Garage Front Elevation



Brick Foundation: General Shale, Driftwood Queen



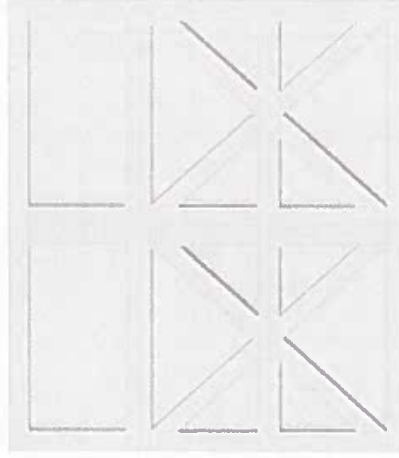
Siding: James Hardie plank - horizontal lap  
Colorplus series, Smooth, 4" exposure  
color: Arctic White

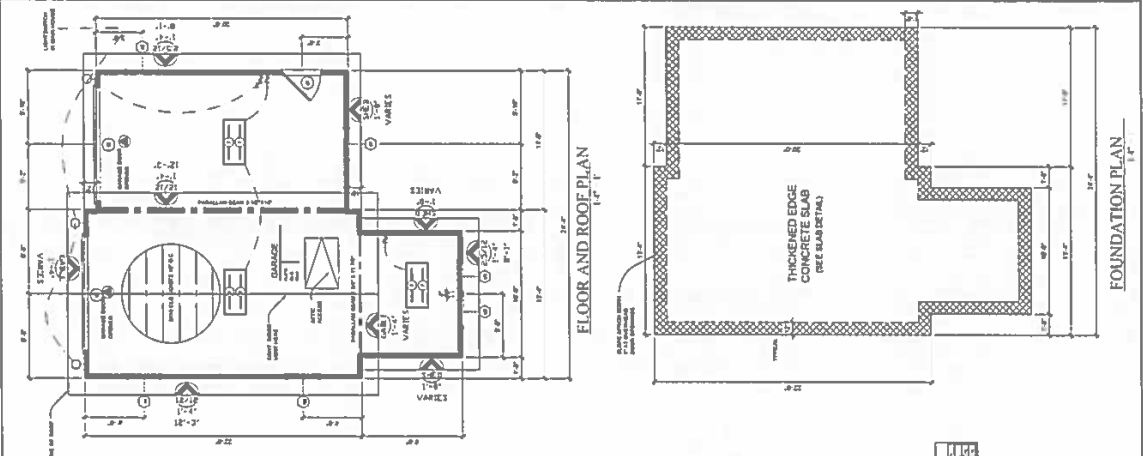
Soffit + Fascia: James Hardie plank  
Colorplus series, color: Arctic White



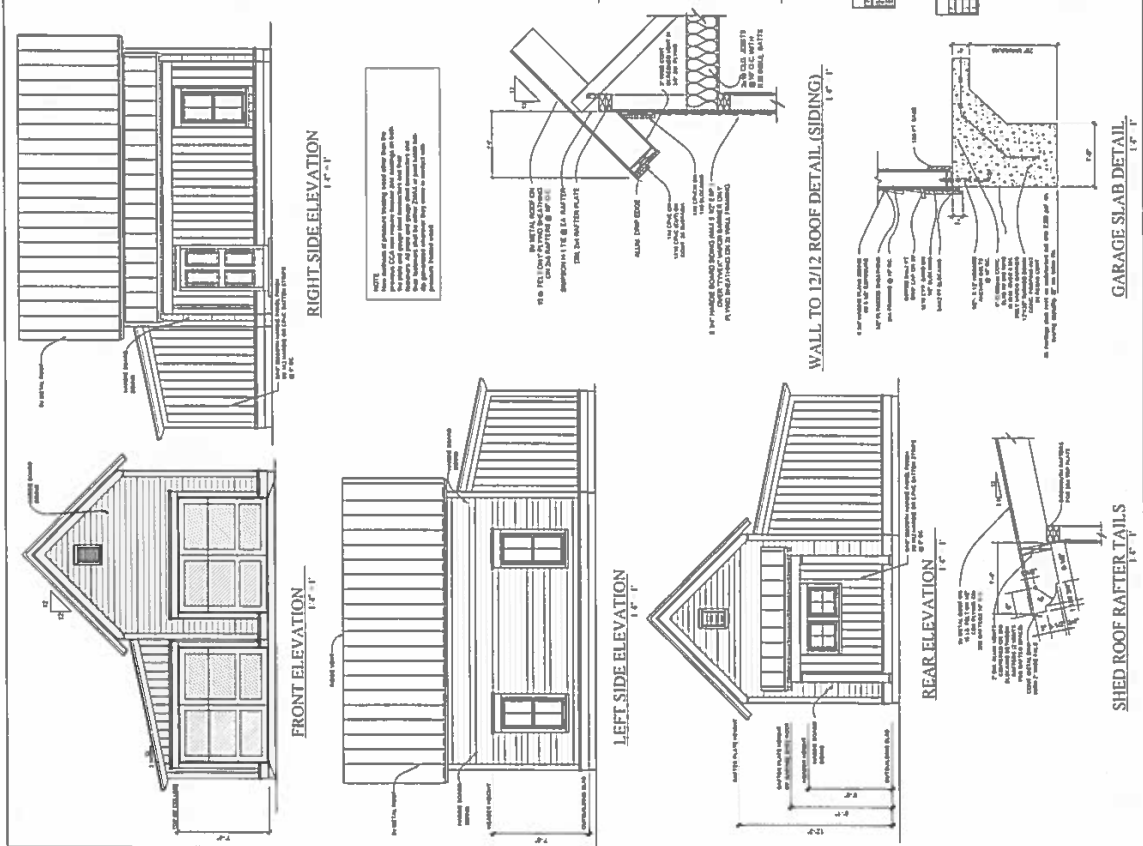
Gutters:  
Dark Bronze

Garage Doors:  
Wayne Dalton 9700 series,  
Lexington Square, White





NO.	DESCRIPTION
1	CONCRETE SLAB NOTES
2	FOUNDATION NOTES
3	FRAMING NOTES
4	ROOFING NOTES
5	WALL TO 12/12 ROOF DETAIL (SIDING)
6	GARAGE SLAB DETAIL
7	SHED ROOF RAFTER TAILS
8	REAR ELEVATION
9	LEFT SIDE ELEVATION
10	RIGHT SIDE ELEVATION
11	FRONT ELEVATION
12	ELECTRICAL LEGEND
13	WINDOW SCHEDULE
14	DOOR SCHEDULE



**ELECTRICAL LEGEND**

**WINDOW SCHEDULE**

**DOOR SCHEDULE**

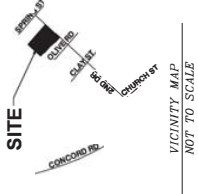
**CONCRETE SLAB NOTES**

**FOUNDATION NOTES**

**FRAMING NOTES**

**ROOFING NOTES**

LEGAL DESCRIPTION:  
LOT 3-02 OF THE SUBDIVISION OF LOT 3, STOKES BEELER & RUSSELL  
SUBDIVISION, AS RECORDED IN INSTRUMENT NUMBER  
REGISTER OF DEEDS, KNOX COUNTY, TENNESSEE  
SAID LANDS SITUATE LYING AND BEING IN DISTRICT 6  
KNOX COUNTY, TENNESSEE.



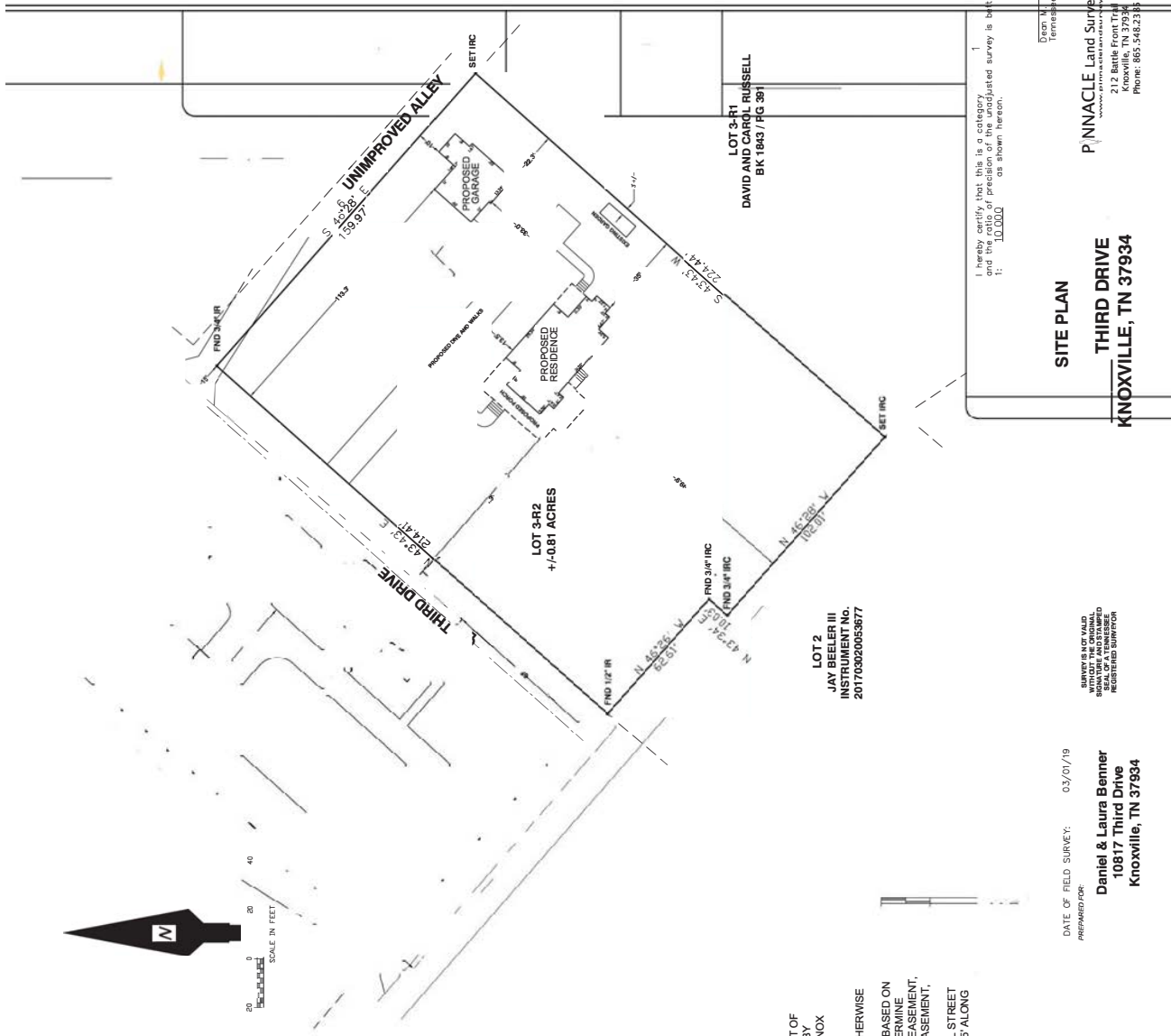
20  
40  
SCALE IN FEET

LEGEND

PROPERTY MARKING	-----
EXISTING BOUNDARY	-----
PROPOSED BOUNDARY	-----
PROPOSED LOT LINES	-----
PROPOSED GARAGE	-----
PROPOSED RESIDENCE	-----
PROPOSED DRIVEWAY	-----
PROPOSED UTILITY	-----
PROPOSED DRIVE	-----
PROPOSED ALLEY	-----
PROPOSED SETBACK	-----
PROPOSED SIDEWALK	-----
PROPOSED CURB	-----
PROPOSED PAVEMENT	-----
PROPOSED UTILITY	-----
PROPOSED DRIVEWAY	-----
PROPOSED DRIVE	-----
PROPOSED ALLEY	-----
PROPOSED SETBACK	-----
PROPOSED SIDEWALK	-----
PROPOSED CURB	-----
PROPOSED PAVEMENT	-----

SURVEY NOTES:

- 1) BEARINGS SHOWN HEREON ARE BASED ON THE FINAL PLAT OF INSTRUMENT NO. 201004270067433 OF THE RECORDS OF KNOX COUNTY, TENNESSEE.
- 2) ELEVATIONS SHOWN HEREON (IF ANY) ARE ASSUMED.
- 3) ALL CORNERS ARE FOUND IRON PIN WITH CAP UNLESS OTHERWISE NOTED.
- 4) ALL EASEMENTS SHOWN HEREON FOR THE UTILITIES ARE BASED ON THE EXACT LOCATION, FINAL AS BUILT, LOCATION WILL DETERMINE THE EXACT LOCATION OF UTILITY EASEMENTS. A 20' WIDE EASEMENT, 10' EACH SIDE OF STORM PIPE AS INSTALLED. A 15' WIDE EASEMENT, 7.5' EACH SIDE OF SANITARY SEWER LINE AS INSTALLED.
- 5) A 10' DRAINAGE AND UTILITY EASEMENT EXISTS ALONG ALL STREET RIGHT-OF-WAY, 10' ALONG ALL EXTERIOR BOUNDARY AND 5' ALONG INTERIOR LOT LINES.
- 6) DATE OF FIELD SURVEY: 03/01/19



I hereby certify that this is a category I as shown hereon.  
Survey  
1:10,000

Dean M. Gearhart, R.L.S.  
Tennessee Registration No. #2863

SITE PLAN

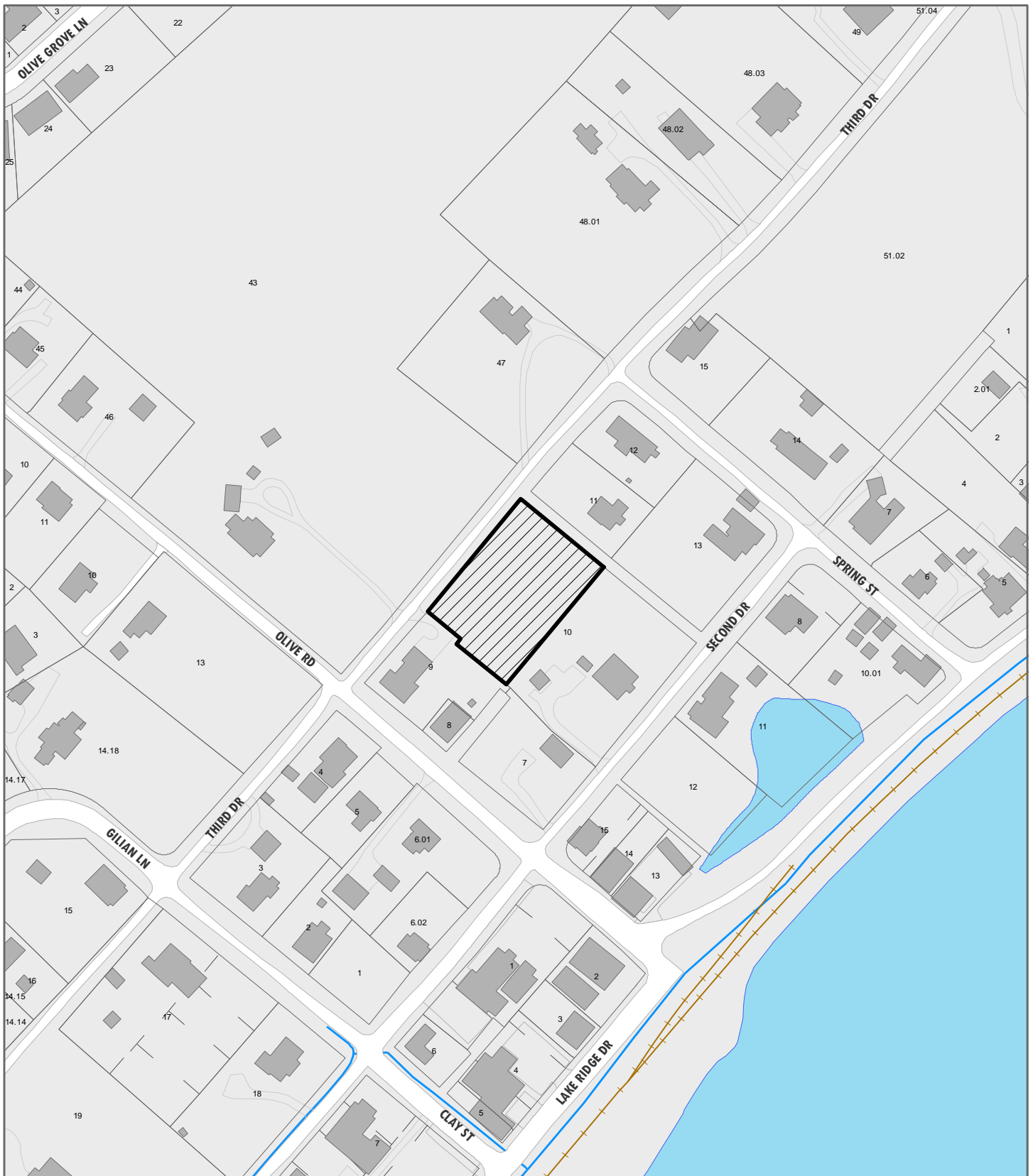
PINNACLE Land Surveying, Inc.  
THIRD DRIVE  
KNOXVILLE, TN 37934

Project Number  
Drawing Number  
**1a**

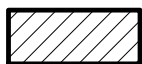
Revisions  
1 Revised to Client 03/01/19  
2 Revised to Client 03/01/19  
3 Revised to Client 03/01/19  
Dated by: BMT 03/01/19

SURVEY NOT VALID  
UNLESS SIGNED AND SEALED  
BY A REGISTERED SURVEYOR

DATE OF FIELD SURVEY: 03/01/19  
PREPARED FOR:  
Daniel & Laura Benner  
10817 Third Drive  
Knoxville, TN 37934



**4-G-19-HZ**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

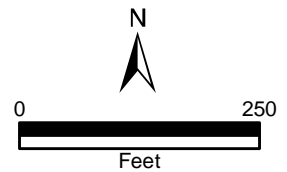


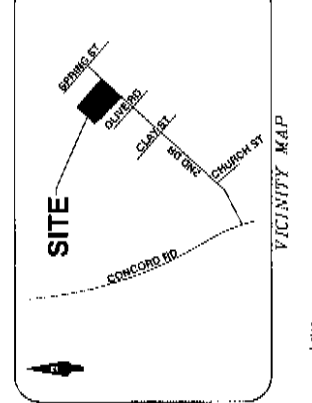
Mid-block on Third Dr.  
 between Olive Rd. and Spring St.

**Village of Concord HZ**

Original Print Date: 4/12/2019  
 Knoxville/Knox County Planning -- Historic Zoning Commission

Petitioner: Daniel and Laura Benner





- Notes:**
- 1. Plat No. 2153 GAO 03
  - 2. No. of Lots - 2
  - 3. This plat is a Re-Subdivision of Stokes, Beeler & Russell, Subdivision recorded - Plat No. 207 GAO 03/08/1453
  - 4. Area Subdivided - 76,232.24 S.F.
  - 5. Lots are R.A. Domes
  - 6. A. Plat Area Four (77,371) Road - (See Notes on Plat)
  - 7. All Utility Easements (Side Roads, Sewer, Water, Gas, Electric, etc.) are shown as they exist.
  - 8. See O.A. (see plat) for details.
  - 9. This property is Zoned RA-1H.
  - 10. Utility Easement, Each Side of Water and Sanitary Sewer Lines As Indicated
  - 11. Check all other data - 1843, 261
  - 12. THE FIRM FLOOD MARKS HAVE DESIGNATED THE PERSON DESCRIBED PROPERTY AS AN "IN FLOOD ZONE" UNSHADED, TAKEN FROM MAP ANTIFLOODING, WITH AN EFFECTIVE DATE OF AUGUST 6, 2013.



**811**  
Check before you dig.  
Call before you dig.

MPC FILE No. 03-19  
FINAL PLAT

**LOT 3, STOKES, BEELER & RUSSELL  
PROPERTY  
SUBDIVISION**

DISTRICT W6 - KNOX COUNTY, TN

**PINNACLE**  
Land Surveying, Inc.  
27 Battle Front Trail  
Knoxville, TN 37934  
Phone: 865.548.2555  
www.pinnaclelandsurvey.com

Revisions	Revised Number
1	15-038
2	Drawing Number
3	
4	
5	

1

Addressing Department/Correction

I, the undersigned, hereby certify that the block shown here and all structures shown hereon are in Knox County and that the lot numbers and addresses shown hereon are in accordance with the laws of the State of Tennessee and the laws of the County of Knox.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Sanitary Sewerage

In unimproved areas of Knox County where sanitary sewers are not available.

This site is to be used for residential purposes and is subject to the rules and regulations of the Knox County Board of Health and the Knox County Board of Health.

Knox County Health Department

Zoning Show or Office Map

Date: \_\_\_\_\_ By: \_\_\_\_\_

This is to certify that all property taxes and assessments due on this property have been paid.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

City Tax Clerk

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Knox County Trustee

Certificate of Ownership and General Dedication

I, the undersigned, hereby certify that the property shown hereon is hereby shown to be in conformity with the laws of the State of Tennessee and the laws of the County of Knox.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Certification of Final Plat - Construction Complete

I hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I am duly certified in this State and am a member of the Tennessee Society of Professional Surveyors.

My name is \_\_\_\_\_ and my address is \_\_\_\_\_.

My license number is \_\_\_\_\_.

I am the author of the above described plat and I certify that the same is a true and correct representation of the facts and conditions as shown on the ground.

I have caused the same to be recorded in the office of the Register of Deeds of Knox County and I have caused the same to be filed for record in the office of the Register of Deeds of Knox County.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Registered Land Surveyor  
Pinnacle Land Surveying, Inc.  
27 Battle Front Trail  
Knoxville, TN 37934  
Phone: 865.548.2555

3-P-19  
3/21/19

DAVID RUSSELL  
DAVID RUSSELL  
1651 SECOND DRIVE  
KNOXVILLE, TN 37934  
865-548-2555

DAVID RUSSELL  
1651 SECOND DRIVE  
KNOXVILLE, TN 37934  
865-548-2555

Knox County Historic Zoning Commission Item

February 21, 2019

Pre-Application Review for New House Construction

10809 Third Drive, Concord Village HZ Overlay

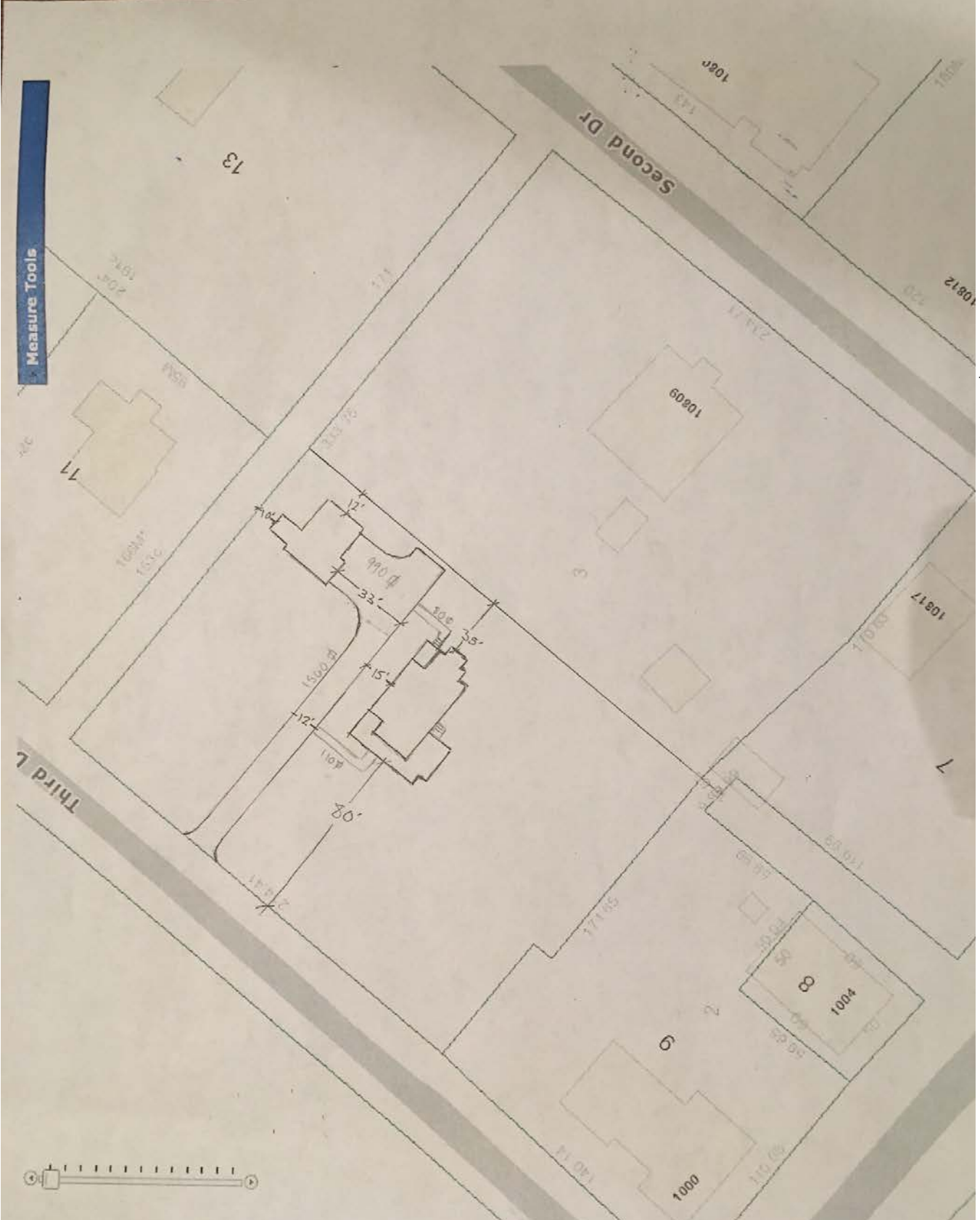


Concept for Benner Residence









This is pre-survey. We will likely place house closer to 3<sup>rd</sup> Drive.

# BENNER RESIDENCE - THIRD DRIVE



Roof:  
TAMIKO,  
Rustic Black



(brick chimney)



Siding: James Hardie plank - horizontal lap  
Colorplus series, color: Arctic White

Soffit + Fascia: James Hardie plank  
Colorplus series, color: Arctic White



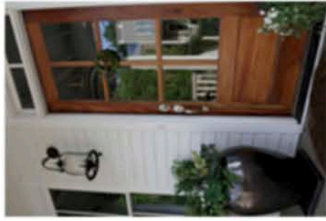
Gutters:  
Dark Bronze



Brick:  
General Shale,  
Driftwood Queen,  
Foundation + Chimney

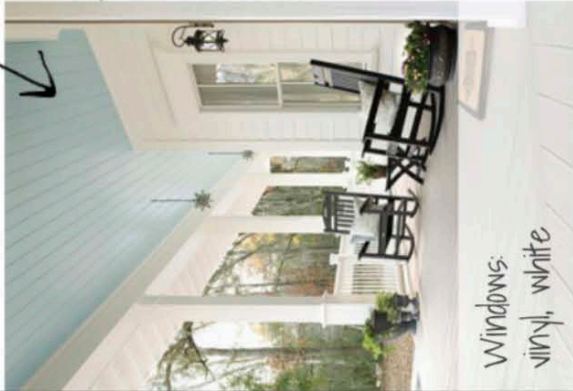


Front Door:  
mahogany, stained



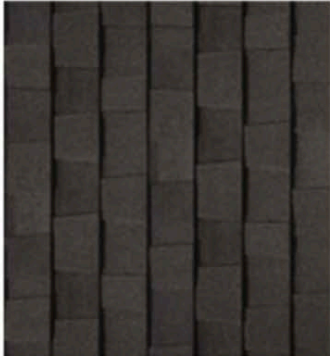
Shutters: Board + Batten style,  
Painted Black (per plan)

T+G Porch Ceilings,  
painted "haint blue"

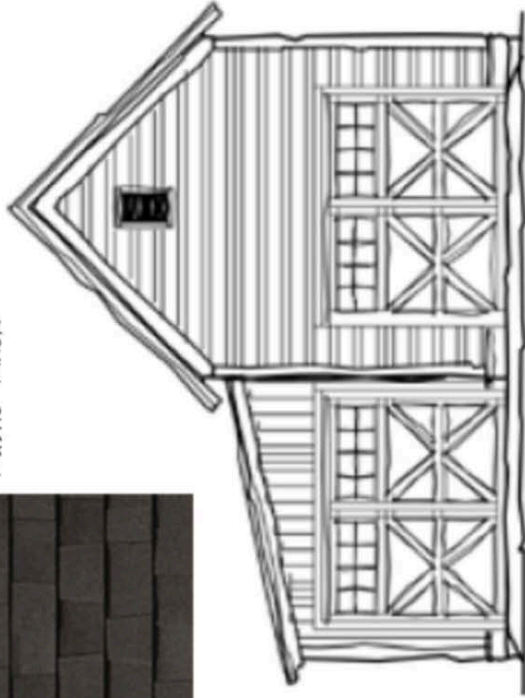


Windows:  
vinyl, white

# BENNER RESIDENCE - THIRD DRIVE - GARAGE



Roof:  
TAMKO,  
Rustic Black



Garage Front Elevation



Siding: James Hardie plank - horizontal lap  
Colorplus series, color: Arctic White

Soffit & Fascia: James Hardie plank  
Colorplus series, color: Arctic White



Gutters:  
Dark Bronze

Garage Doors:  
Wayne Dalton 9700 series,  
Lexington Square, White



Brick Foundation: General Shale, Driftwood Queen

