



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 1214 Luttrell St 37917

FILE NO.: 9-I-18-HZ

DISTRICT: Fourth and Gill H-1

MEETING DATE: 9/20/2018

APPLICANT: Sara and Sean Martin; Open Door Architecture (Architect)

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Neoclassically-influenced cottage (ca. 1905)

One-story hipped-roof frame house with sidelights and transom at entrance. Full-façade front porch with no balustrade and with roof engaged within the main hipped roof. Nearly full-facade porch. Rectangular transom and sidelights at main entry and a central dormer. Shadow of engaged pilasters with rounded bases.

► **DESCRIPTION OF WORK:**

- Install round wooden porch columns, 2x2 square porch 30-inch balustrade and wood tongue-and-groove
 - Install louvered window shutters and hardware on 2 front-facing windows visible from Luttrell Street
 - Restore front door and replace the non-original decorative door glass with a simple, clear lite
 - Remove 2nd front door which is not original
 - Install two 1/1 wooden double-hung windows in their original size and configuration to match existing (a double window on the north, an enlarged window on the south)
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► **APPLICABLE DESIGN GUIDELINES:**

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

PORCHES

1. Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate.

WINDOWS

4. If replacement windows are necessary, they should be the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width and profile. False muntins or grids should not be used.

DOORS

7. Missing doors should be replaced with new doors appropriate for the style and period of the building. In replacing missing original doors, replacement doors should mimic doors typical for that architectural style, including materials, glazing, and pane configuration.

COMMENTS:

STAFF FINDINGS:

- 1) The house is a contributing resource within the Fourth and Gill H-1 and National Register Historic Districts.
 - 2) The historic district designation report description mentions a date of c. 1905 and "the shadow of engaged pilasters with rounded bases"; therefore, the round column design is appropriate.
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3) There is evidence in the siding that small windows on the side were reduced from larger windows matching others on the façade; therefore, replacement of these windows with historically-sized wooden windows is appropriate.

4) The replacement of the non-original decorative door glass with a simple, clear lite and remove of the 2nd front door is appropriate since the glass in the main door is not original, nor is the second door since it serves as access to a later upstairs apartment.

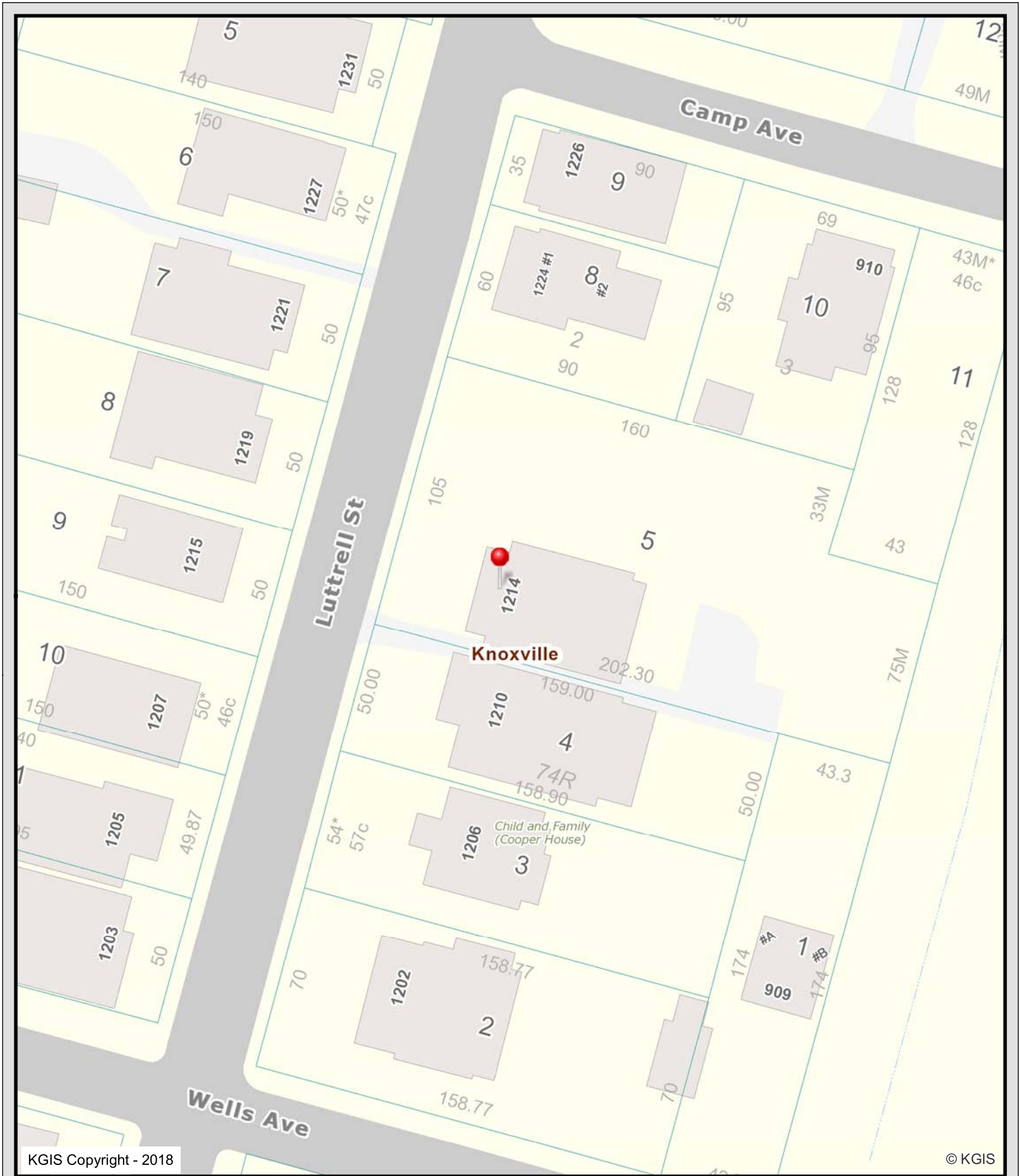
5) There are no rabbets chiseled into the existing windows casings indicating former hinges and no pieces of any former hinges remaining.

6) A couple of local Neoclassically-influenced cottages in the Egewood-Park City H-1 Overlay as shown in this staff report are examples that do not have shutters. Late 1800s and the early-1900s Neoclassical hipped-roof cottages in coastal areas frequently have shutters, but this feature is more indigenous to areas that are prone to hurricanes and high-wind storms, so they are functional rather than purely decorative. Therefore, they are needed for protection and light/heat regulation on not only the front of the house, but also the side of the house.

7) Installing shutters to a house on which there is no documentation of their having existed originally or historically would be adding a conjectural feature that would reduce the authenticity of the house.

► **STAFF RECOMMENDATION:**

Staff recommends approval with the condition that the shutters not be installed, and that the balustrade top rail be a molded design in order to be compatible with the round porch columns.



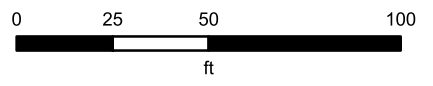
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1214 Luttrell Street
 Fourth and Gill H-1

Printed: 9/12/2018 at 6:34:25 PM

Knoxville - Knox County - KUB Geographic Information System



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**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. NAME OF APPLICANT: Sara Martin, Open Door Architecture

Address: 1121 Eleanor St.

Telephone: 865-603-4756 E-mail address: sara@opendoorarchitecture.com

Relationship to Owner: Architect

2. NAME OF OWNER: Jim & Carol Hawley

Address: 1214 Luttrell St. Knoxville, TN 37917

Telephone: 865-765-1613 E-mail address: jlhawley@cox.net

3. LOCATION OF PROPERTY:

Address: 1214 Luttrell St. Knoxville, TN 37917 Tax ID/Lot/Parcel No: 081LK005

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

The homeowners wish to restore the home to a single family residence after it having served as a multi-unit rental.

Proposed changes include:

- Tuck pointing and masonry repair in-kind on north chimney
- New porch columns, porch railings, and porch flooring
- New window shutters on 2 front-facing windows visible from Luttrell Street
- Restore front door, replace decorative door glass with a simple, clear lite
- Remove 2nd front door (which serves as access to upstairs apartment)
- Restore 2 windows to their original configuration (a double window on the north, an enlarged window on the south; see illustrations).
- New gutters

6. SIGNATURE OF APPLICANT:  Date: September 4, 2018

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or **Fax:** 865-215-2068. **Incomplete applications will not be accepted.**

FOR STAFF USE ONLY

Date Received _____ . Approved _____ Disapproved _____ Approved As Modified _____ .

Date Acted On _____ .

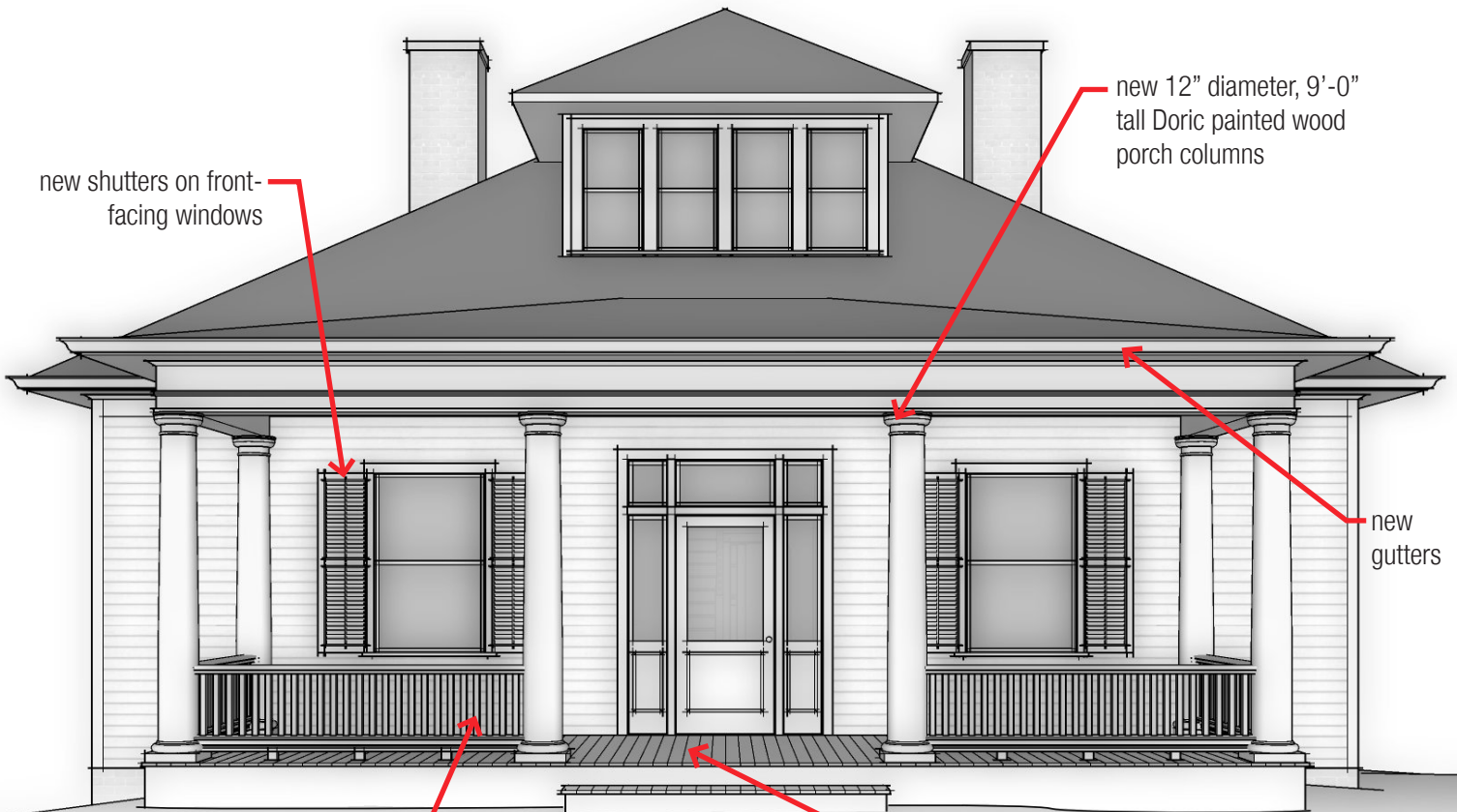
tuck point and repair north chimney



remove non-original columns, replacement shown below

replace ornamental door glass with clear lite; restore front door

remove door to upstairs apartment, patch siding in kind



new shutters on front-facing windows

new 12" diameter, 9'-0" tall Doric painted wood porch columns

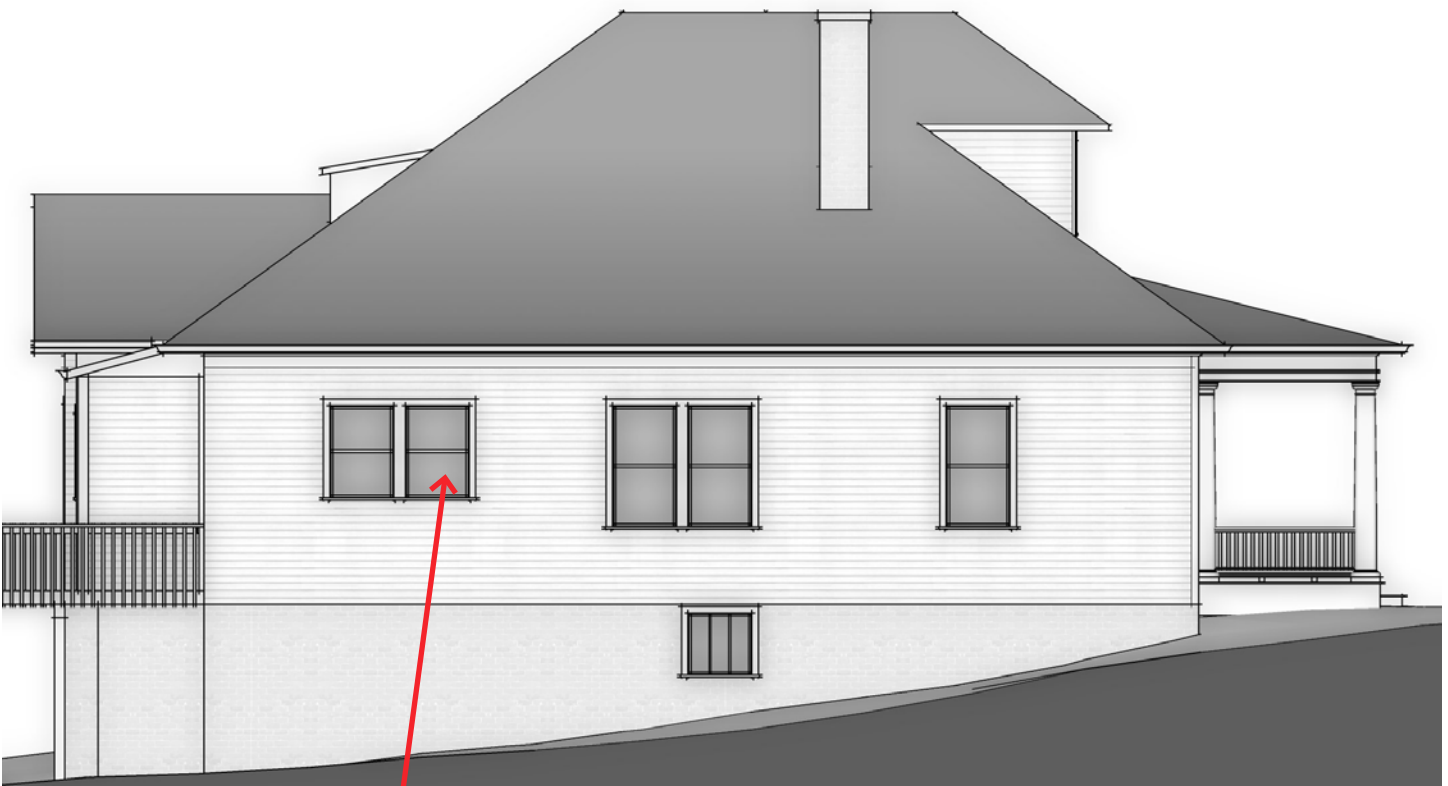
new gutters

new 30" tall handrail with 1.5" square balusters spaced 4" on center

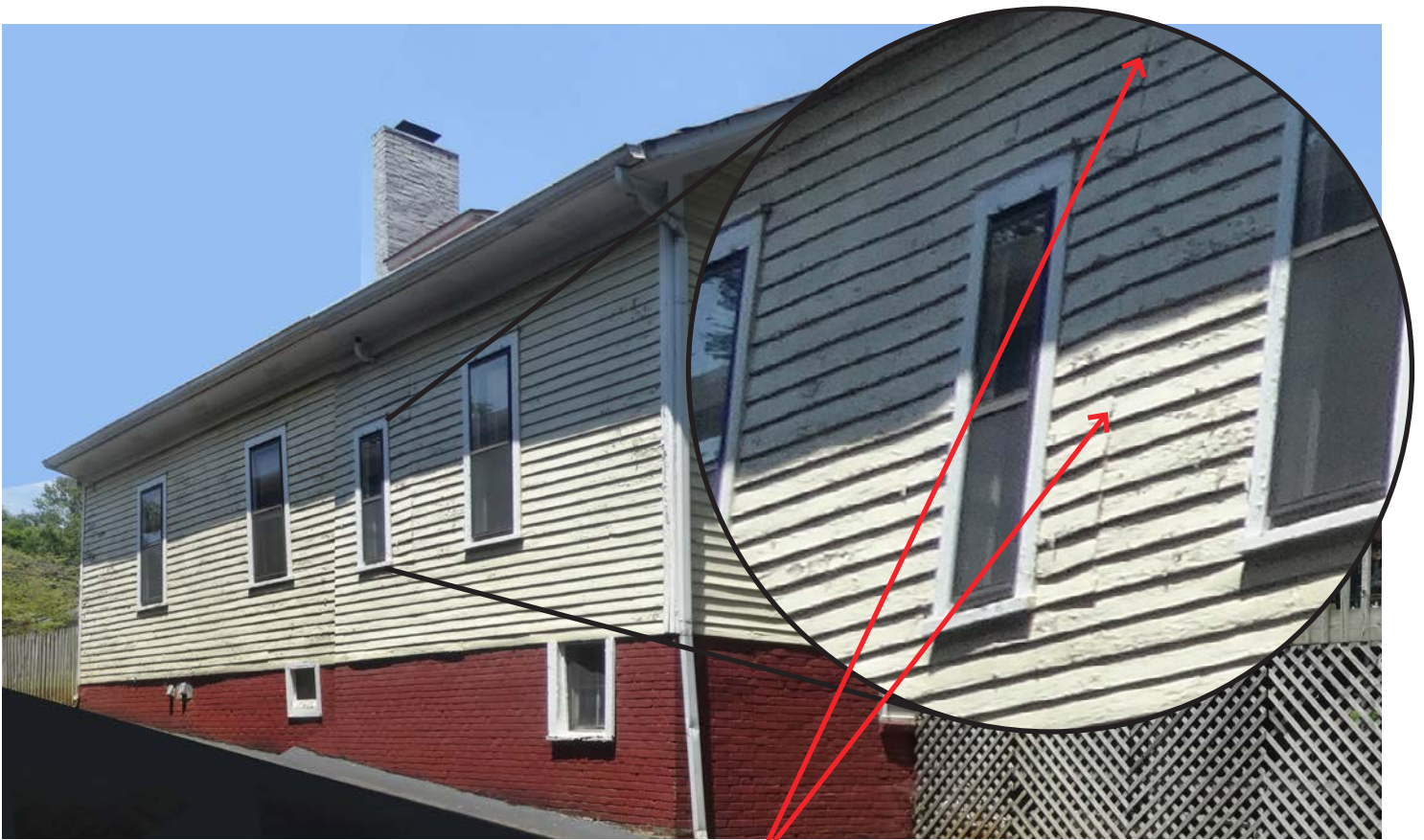
new stained wood porch floor



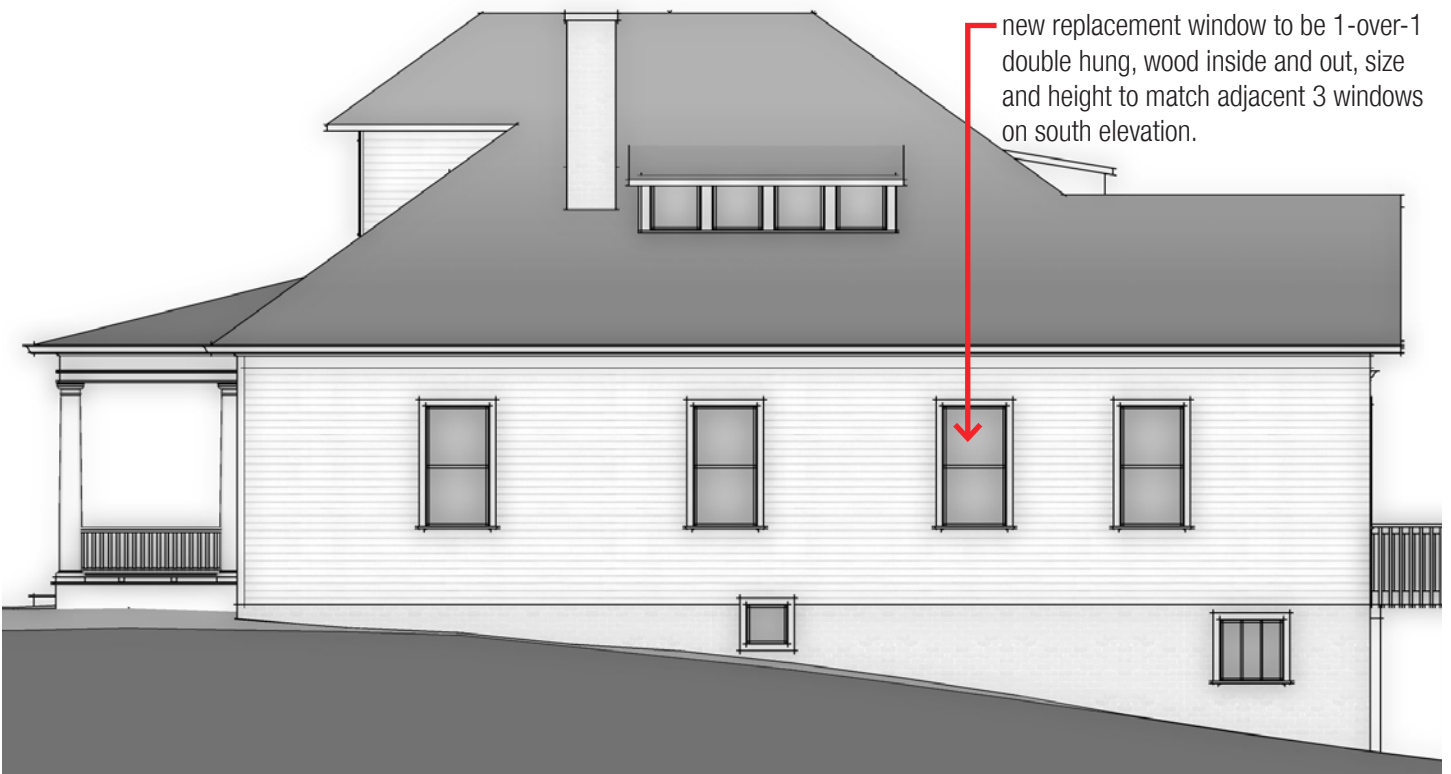
patch line in siding shows location of original double window to be restored



replacement double window to be 1-over-1 double hung, wood inside and out. size and profile to match existing.



patch line in siding shows size of original window to be restored



new replacement window to be 1-over-1 double hung, wood inside and out, size and height to match adjacent 3 windows on south elevation.

Overview

Designs

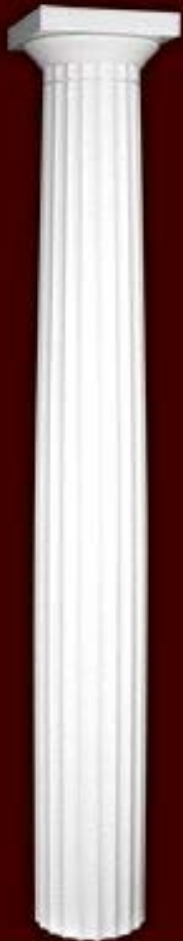
Loads & Plans

Photos

Technical

ClassicWood™ Architectural Wood Column Designs

Greek Doric
#195GD



Tuscan
#200TN



Tuscan
#205TN



Roman Doric
#210RD



Roman Doric
#215RD



Roman Doric
w/Attic
#220RDA



ClassicWood™ Architectural Wood Columns
Architectural Guide Specification
Section: 06400

1.0 GENERAL

1.1. PRODUCT DESCRIPTION

- A. Column shaft shall be standard tongue and groove construction by Melton Classics according to Design No. _____.
- B. Column will have the correct proportions based on Orders of Architecture.
- C. Lumber species shall be _____ (Cedar) (Pine) (Clear All Heart Redwood) (Red Oak) (Poplar) (Hard Maple) (Pine) (Cherry) (Mahogany) (Black Walnut) (Other-Specify).

1.2 SUBMITTALS

- A. Submit Melton Classics literature and shop drawings for customer approval.
- B. Submit samples of _____ (cap) (base) (column shaft)

1.3 DELIVERY, STORAGE AND INSTALLATION

- A. Storage and installation of shafts, capitals and bases shall be according to manufacturer-supplied instructions.
- B. Columns must be stored in a dry, well-ventilated area that is not exposed to heat or sunlight.

1.4 WARRANTY

- A. Manufacturer shall furnish a ten-year warranty that its Cedar or Clear All Heart Redwood columns with fiberglass capitals, bases and plinths will be free of manufacturing defects, joint separation and rotting.
- B. Manufacturer shall furnish a one year warranty on all other wood species against manufacturing defects.

2.0 PRODUCTS

2.1 ACCEPTABLE MANUFACTURER

- A. Melton Classics, Inc.
P.O. Box 465020
Lawrenceville, Georgia 30042-5020
(770) 963-3060 ~ (800) 963-3060 ~ FAX (770) 962-6988
Website: www.MeltonClassics.com
Email: Sales@MeltonClassics.com

2.2 MATERIALS

- A. All glue joints shall be glued under pressure using Type I waterproof glue and allowed to cure for a minimum of twenty-four hours.
- B. All columns shall be primed with two coats of primer and hand sanded between coats. Exterior columns shall be coated on the interior with asphaltum paint.
- C. Capitals, bases and plinths for lower orders in exterior application shall be load-bearing fiberglass and shall be furnished with lead flashing as required.
- D. Ornamental capitals for higher orders shall be manufactured of fiberglass reinforced composition.
- E. Plinths shall be made of _____ (load-bearing fiberglass) (aluminum) for exterior use or (wood).
- F. Square columns shall match details of round columns as stated in these architectural specifications.
- G. Column shafts shall be manufactured from _____ inch nominal thickness lumber stock.

3.0 EXECUTION

3.1 INSTALLATION

- A. Follow manufacturer's detailed installation guidelines.

Wood Louver Shutter Specification Sheet

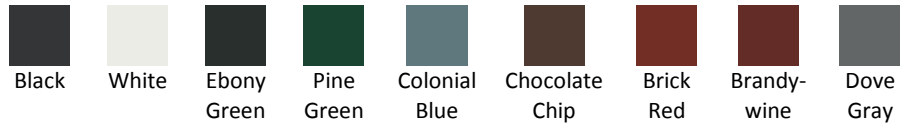


Material: Pine, Cedar, Redwood, Cypress, or Mahogany

- 1" thick

Available Finishes:

- Unfinished
- Factory Primed
- 9 Standard Factory Paint Colors
- Factory Painted Custom Color Matching!



Warranty:

- 1 Year Manufacturer's Warranty
- Covers defects in structure and factory finish

Features:

- Historically & Architecturally Correct
- Custom Designed & Assembled By Hand
- Closed or Open Louver Options
- Made In America

Dimensions: (CALL FOR CUSTOM DIMENSIONS 866-760-2846)

- 3" Top Rail
- 2" Side Stiles
- 3" Center Rails (if applicable)
- Bottom Rail Varies (Usually about 3")
- 1-3/8" Louver Height
- 1" Overall Depth
- 18° Louver Angle



Made in USA



Ships to Canada



LYNN COVE

EHN PSS075

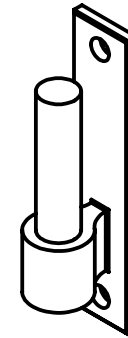
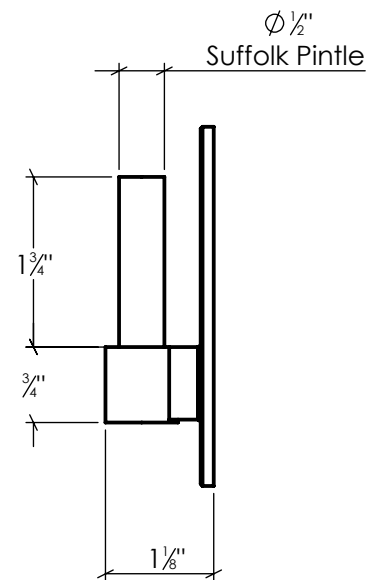
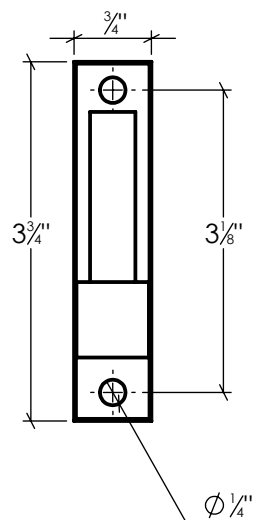
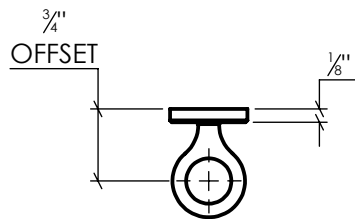
Narrow Plate Pintle - 3/4" Offset
Stainless Steel, Black Powder Coated

Info@LynnCove.com

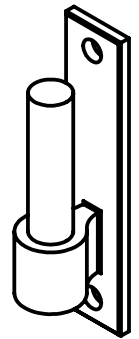
(800) 975-7089

SCALE: 1:2

Do not scale drawing. All dimensions are nominal (+/- 1/8") and for reference only. Specifications and dimensions are subject to change without notice. 11/29/2016



Sold As Shown





LYNN COVE

SD3SS

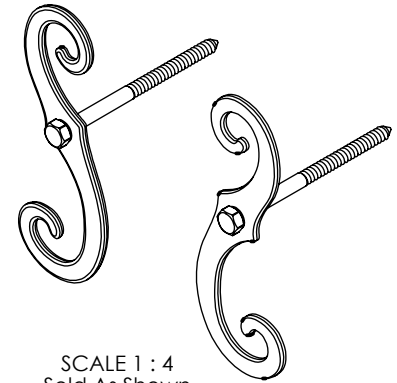
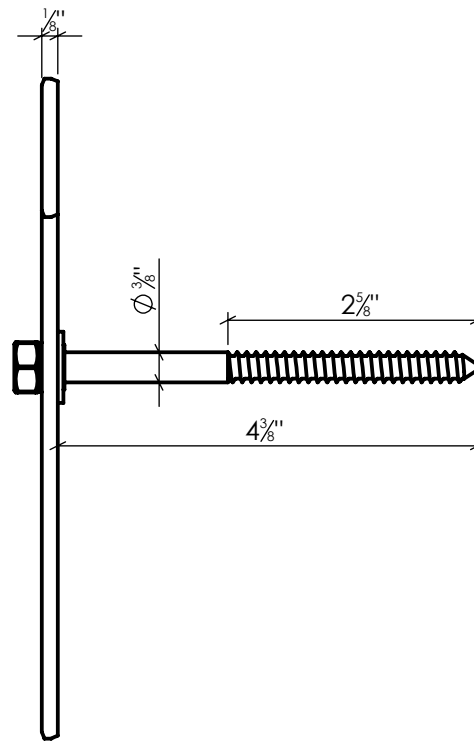
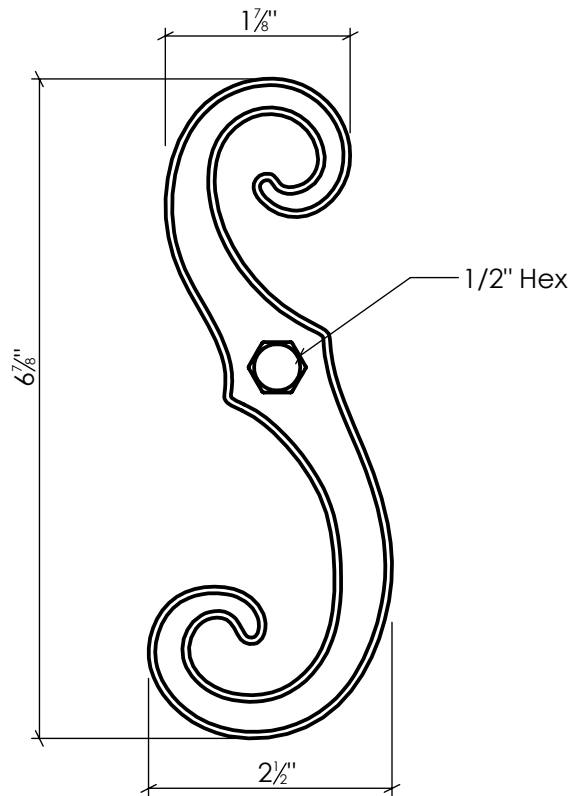
Stainless "S" Stay
Stainless Steel, Black Powder Coated

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(800) 975-7089

SCALE: 1:2

Do not scale drawing. All dimensions are nominal (+/- 1/8") and for reference only. Specifications and dimensions are subject to change without notice. 11/29/2016



SCALE 1 : 4
Sold As Shown

Examples of Neoclassically-influenced cottages in Fourth and Gill without shutters



805 Eleanor Street in Fourth and Gill H-1 Overlay



928 Eleanor Street in Fourth and Gill H-1 Overlay

Examples of Neoclassically-influenced cottages in Park City without shutters



Corner of Woodbine and Bertrand avenues



Corner of Jefferson and Bertrand avenues (side shutters not original)

Examples of Neoclassically-influenced houses without shutters (not local)



Examples of Neoclassically-influenced houses with shutters in coastal areas



Georgetown, SC



Beaufort, SC



Palmetto Bluff, SC

Example of Louvered shutter with hardware



Detail of how to install shutters (from Old House Guy blog)

Below are examples of shutter throw and the type of shutter hinge used to get the right look.



Correct: Shutter Throw is tight to window using a Jamb mounted Butt hinge.

Here the shutter is tight to the window because a Jamb hinge (Butt hinge) is used. This look is **correct for a house built 1854 to present**. It is also correct for shutters using surface hinges after 1854.