



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 146 Leonard Place 37917

FILE NO.: 5-J-18-HZ

DISTRICT: Old North Knoxville H-1

MEETING DATE: 5/24/2018

APPLICANT: Open Door Architecture; Sean Martin (architect/agent)

LEVEL OF WORK: Level II. Construction of addition

PROPERTY DESCRIPTION: Queen Anne (c. 1915)

Queen Anne cottage with later-added Craftsman porch. One-story frame with weatherboarding. Hip roof with lower cross gables, asphalt-shingled roof, sawn wood attic vent and partial cornice returns. Prairie-style one-over-one double-hung windows. One-story two-bay front porch with truncated wood posts set on brick piers. Brick foundation. Rectangular plan. Multi-paned full view front entry door. (Contributing)

► **DESCRIPTION OF WORK:**

Option 1

Construct hipped dormer on west side of main hipped roof as per submitted drawings. The dormer is proposed be asphalt-shingled and weatherboarded, with three abutting 37" x55" two-over-two double-hung wood windows. The dimensions of the proposed dormer are 12'-10" in width, 6 feet high to the roof eave, and 13 feet overall to the roof ridge. Also, install 24x48 skylight on rear roof slope with a dark-colored metal frame that will project 3-1/2 inches above the roof surface.

Option 2

Enlarge gable on rear (south side) of house as per submitted drawings. The height of the gable would be raised from 20'-10" to 24'. Two 36" x66" two-over-two double-hung wood windows are proposed to be installed in this gable. Add back returned cornice, fascia, window trim, and any other trim to match existing. Also, install 24x48 skylight on rear roof slope with a dark-colored metal frame that will project 3-1/2 inches above the roof surface.

► **APPLICABLE DESIGN GUIDELINES:**

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

L. ADDITIONS

1. Locate exterior additions at the rear of or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building, and using appropriate proportions.
2. Design new additions so that it is clear what is historic and what is new.
3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district. Additions shall be distinguishable from the historic building, but shall be compatible in terms of mass, materials, size, texture, and scale. Additions shall be designed so they can be removed without destroying the form of the historic building.
4. New additions should not be visible from streets.



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5. Before expanding the size of the historic building with a new addition, try reconfiguring interior space that does not define the historic character of the building in order to accommodate the new space needs.

6. Do not cause a loss of historic character through a new addition.

A. ROOFS

5. Do not place solar collectors or modern skylights on roof areas that are visible from the street, and do not install them where they interfere with decorative roof elements.

6. Roofs that are visible from streets shall retain their original shapes. Do not introduce roof elements such as dormers to a roof shape that is original.

COMMENTS:

The applicant is presenting two options for an addition: one is the roof dormer located on the west slope, and one includes an enlargement of the gable roof end located in the rear of the house. The HZC may approve or deny one of them, or both of them.

STAFF FINDINGS:

1) The house at 146 Leonard Place is a contributing property within the Old North Knoxville H-1 Overlay as well as within the National Register Historic District.

2) The house is located on a corner lot; therefore, all sides are visible from the right-of-way. The proposed hipped roof dormer location on the western roof slope is visible from the right-of-way in front of the house, while the enlarged gable proposed for the rear is visible from the right-of-way on the east side.

3) The hipped roof retains its original form as viewed from the front, but the rear elevation has been altered with an earlier addition. It is a priority in Old North Knoxville Historic District to retain the original appearance of houses from the front. The proposed hipped roof dormer on the west slope would be visible from.

4) The enlarged gable proposed for the rear is compatible with the main house in terms of materials, size, texture, and scale. Since the rear elevation has been altered, there is less loss of historic character that would occur with the proposed changes on the rear than with the dormer on the west side which is visible from the front. However, the rear gable proposed to be enlarged is in its original configuration.

5) The proposed skylight on the rear will be visible from the east-side right-of-way, but not from the front. The frame of the skylight will project above the roof at 3-1/2 inches. The frame will be dark in color to blend with the roof shingles.

6) The proposed window size and style would closely match those original to the main house.

► **STAFF RECOMMENDATION:**

Approval of enlarged gable on the rear and skylight installation. Condition of approval is that the two proposed 2/2 windows in the gable have simulated-divided-lights.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. NAME OF APPLICANT: Sara Martin, Open Door Architecture

Address: 1121 Eleanor St. Knoxville, TN 37917

Telephone: 865-603-4756 E-mail address: sara@opendoorarchitecture.com

Relationship to Owner: Architect

2. NAME OF OWNER: Beth and Robert Miller

Address: 146 Leonard Place, Knoxville, TN 37917

Telephone: 865-406-8280 E-mail address: rmiller6@gmail.com, beth.rucker@gmail.com

3. LOCATION OF PROPERTY:

Address: 146 Leonard Place, Knoxville, TN 37917 Tax ID/Lot/Parcel No: 081LH009

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

The homeowners wish to construct a 12'-10" wide hip dormer on the west side of the second story and add a skylight to the north side of the roof. See attached drawings.

As an alternate design, in case the preferred hip dormer is not approved, is to enlarge the rear-facing, original gable and add double windows facing south. See attached drawings.

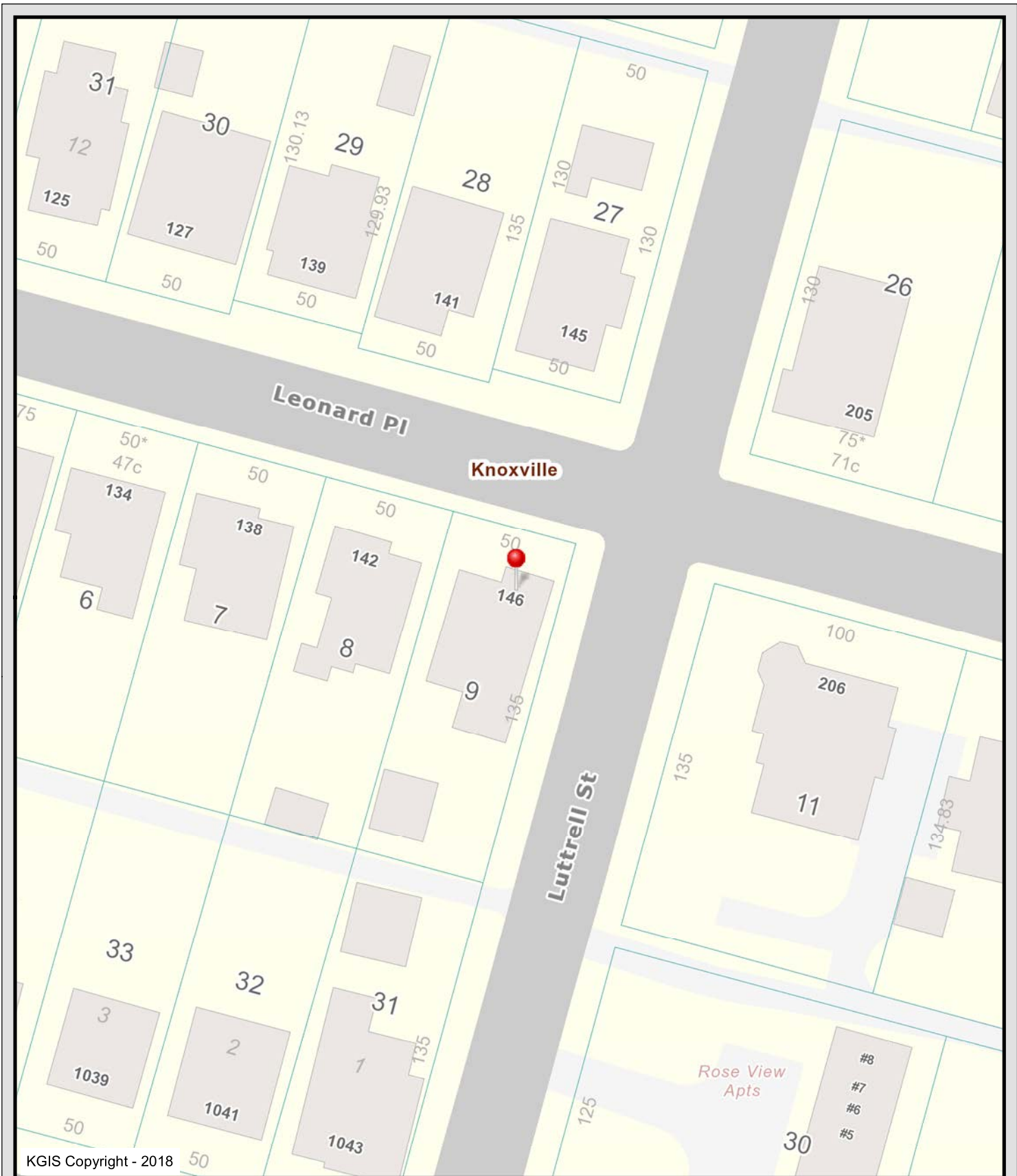
6. SIGNATURE OF APPLICANT:  Date: May 16, 2018

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or **Fax:** 865-215-2068. **Incomplete applications will not be accepted.**

FOR STAFF USE ONLY

Date Received _____ . Approved _____ Disapproved _____ Approved As Modified _____ .

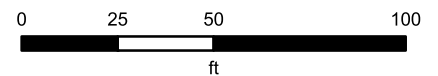
Date Acted On _____ .



146 Leonard Place
Old North Knoxville H-1

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Knoxville - Knox County - KUB Geographic Information System



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existing

VIEW OF NORTH SIDE FACING LEONARD

146 LEONARD PLACE



proposed

HIP DORMER OPTION

146 LEONARD PLACE



146 LEONARD PLACE

Black and white rendering of proposed dormer. Dormer to have (3) double hung all-wood windows, 2-over-2 grill pattern, aligned with original triple window below. Dormer siding to match siding on house. Roof pitch to match original. Roof material to be asphalt shingles to match existing.



PERSPECTIVE VIEW

VIEW OF HIP DORMER FROM THE WEST

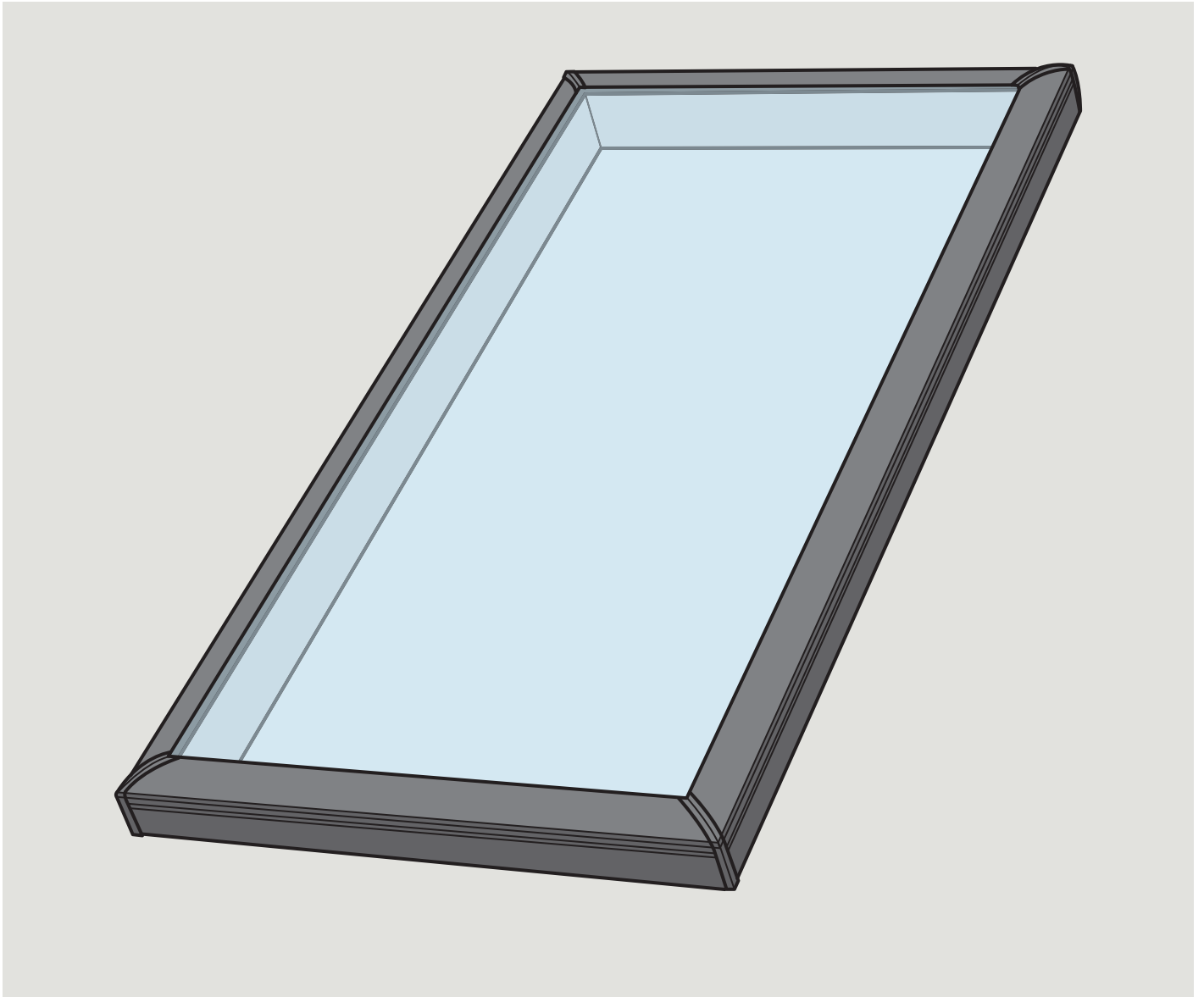
Proposed location of skylight. Velux 24" x 48" operable skylight. Flat glass with dark-colored, metal-clad frame.



PERSPECTIVE VIEW

VIEW OF PROPOSED SKYLIGHT FROM THE NORTH

FCM




ENGLISH: FCM Curb Mounted Skylight Installation Instructions

ESPAÑOL: Instrucciones de instalación para tragaluz FCM montado en brocal

FRANÇAIS : Instruction d'installation du puits de lumière FCM monté sur cadre



ENGLISH: Build curb according to measurements in the chart. Use lumber with an actual thickness of 1½" (38 mm) and a minimum height of 3½" (90 mm). Curb height and attachment should comply with building codes and regulations and be secure enough to transfer the skylight loads to the framing members.

Note: FCM can be rotated 90° 


*No VELUX flashing is available for a rotated FCM, size 2270.

ESPAÑOL: Construya el brocal de acuerdo con las mediciones de la tabla. Use madera con un grosor real de 1½" (38 mm) y una altura mínima de 3½" (90 mm). La altura y sujeción del brocal deben respetar los códigos y normas de construcción y estar bien fijados para transferir las cargas del tragaluz a los elementos del armazón.

Nota: El tragaluz FCM puede girarse a 90° 

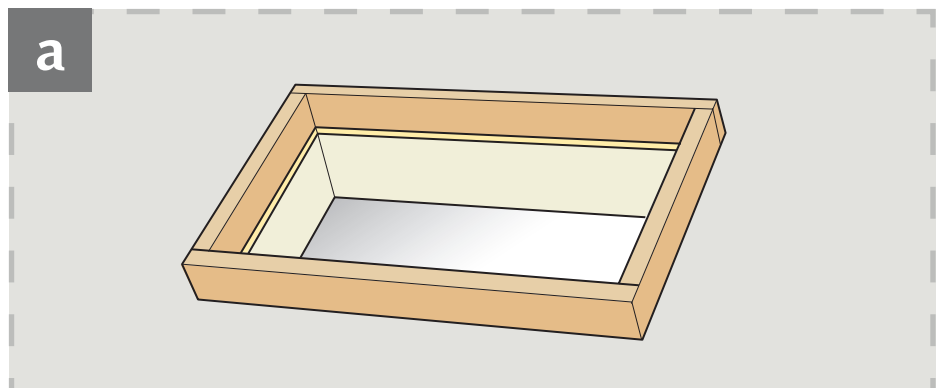
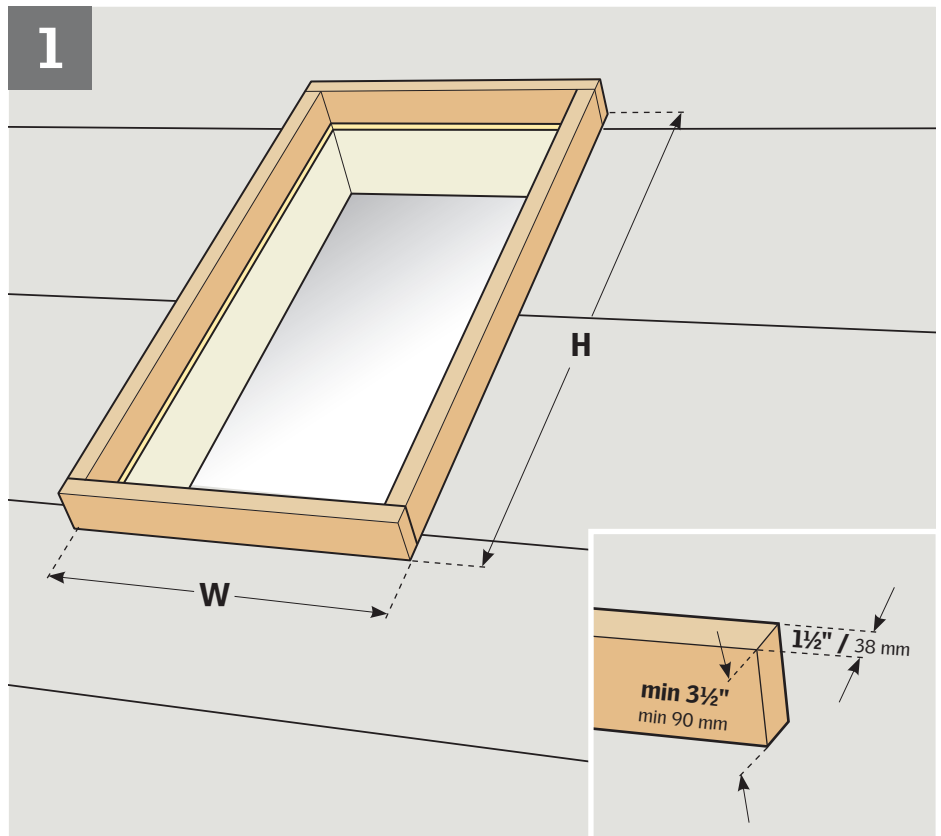
*No hay tapajuntas VELUX para modelo FCM con rotación, tamaño 2270.

FRANÇAIS : Construisez un cadre selon les dimensions indiquées au diagramme. Utilisez du bois de 1½" (38 mm) de largeur réelle et d'une hauteur minimale de 3½" (90 mm). La hauteur du cadre et les raccordements doivent respecter les exigences de la réglementation du Code du bâtiment et être suffisamment sécuritaires pour recevoir le poids de la structure du puits de lumière.

Note : Le puits de lumière FCM peut être tourné de 90° 

*Aucun solin VELUX n'est disponible pour une installation en rotation de 90°, dimension 2270.

Skylight size Tamaño del tragaluz Taille du puits de lumière	Outside curb dimensions Dimensiones exteriores del brocal Dimensions extérieures du cadre
1430	17½" x 33½" (445 mm x 851 mm)
1446	17½" x 49½" (445 mm x 1257 mm)
2222	25½" x 25½" (648 mm x 648 mm)
2230	25½" x 33½" (648 mm x 851 mm)
2234	25½" x 37½" (648 mm x 952 mm)
2246	25½" x 49½" (648 mm x 1257 mm)
2270 *	25½" x 73½" (648 mm x 1867 mm)
3030	33½" x 33½" (851 mm x 851 mm)
3046	33½" x 49½" (851 mm x 1257 mm)
3434	37½" x 37½" (952 mm x 952 mm)
3446	37½" x 49½" (952 mm x 1257 mm)
4646	49½" x 49½" (1257 mm x 1257 mm)





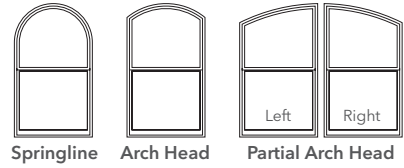
SIZE TABLES

Wood and Aluminum-Clad Exteriors
Double- and Single-Hung



Fixed Transoms

	(552) (533)	(654) (635)	(756) (737)	(857) (838)	(959) (940)	(1 060) (1 041)	(1 162) (1 143)	(1 238) (1 219)
Opening	1' 9 ³ / ₄ "	2' 1 ³ / ₄ "	2' 5 ³ / ₄ "	2' 9 ³ / ₄ "	3' 1 ³ / ₄ "	3' 5 ³ / ₄ "	3' 9 ³ / ₄ "	4' 0 ³ / ₄ "
Frame	1' 9"	2' 1"	2' 5"	2' 9"	3' 1"	3' 5"	3' 9"	4' 0"
(375) (356)	2114	2514	2914	3314	3714	4114	4514	4814
(451) (432)	2117	2517	2917	3317	3717	4117	4517	4817
(654) (635)	2125	2525	2925	3325	3725	4125	4525	4825



Pella Architect Series single-hung windows are available in shapes shown above, and additional custom shapes per drawing. For specifications, size limitations, and details on these units, contact your local Pella sales representative.

Vent Units

(908) (889)	2135	2535	2935	3335	3735	4135	4535	4835
(1 060) (1 041)	2141	2541	2941	3341	3741	4141	4541	4841
(1 213) (1 194)	2147	2547	2947	3347	3747	4147	4547	4847
(1 365) (1 346)	2153	2553	2953	3353	3753	4153	4553	4853
(1 467) (1 448)	2157	2557	2957	3357	3757	4157	4557	4857
(1 518) (1 499)	2159	2559	2959	3359	3759	4159	4559	4859
(1 670) (1 651)	2165	2565	2965	3365	3765	4165	4565	4865

Note : spec sheet shows proper window materials, operation, and size, but not proper grill pattern. Actual window will be 2-over-2 grill pattern.

Opening Dimensions

CLAD EXTERIOR UNITS:

Dimensions shown in standard size tables are rough opening dimensions.

WOOD EXTERIOR UNITS:

Use frame dimension plus dimensions below. This dimension includes the use of standard 1-1/8" wood subsill.

FRAME	ROUGH		MASONRY		
	Brickmould	Width	Height	Width	Height
STD		+ 3/4"	+1-7/8"	+ 3-1/8"	+ 3-1/8"
3-1/2"		+ 3/4"	+1-7/8"	+ 6-3/8"	+ 4-3/4"

For clad and wood units with HurricaneShield® impact-resistant glass, see the product installation instructions or refer to local building code requirements.

Egress Notes:

Check all applicable local codes for emergency egress requirements.

E = Window meets minimum clear opening of 24" height, 20" width, and 5.7 ft².

E1 = Window meets minimum clear opening of 24" height, 20" width, and 5.0 ft².

See Design Data pages in this section for clear opening dimensions.

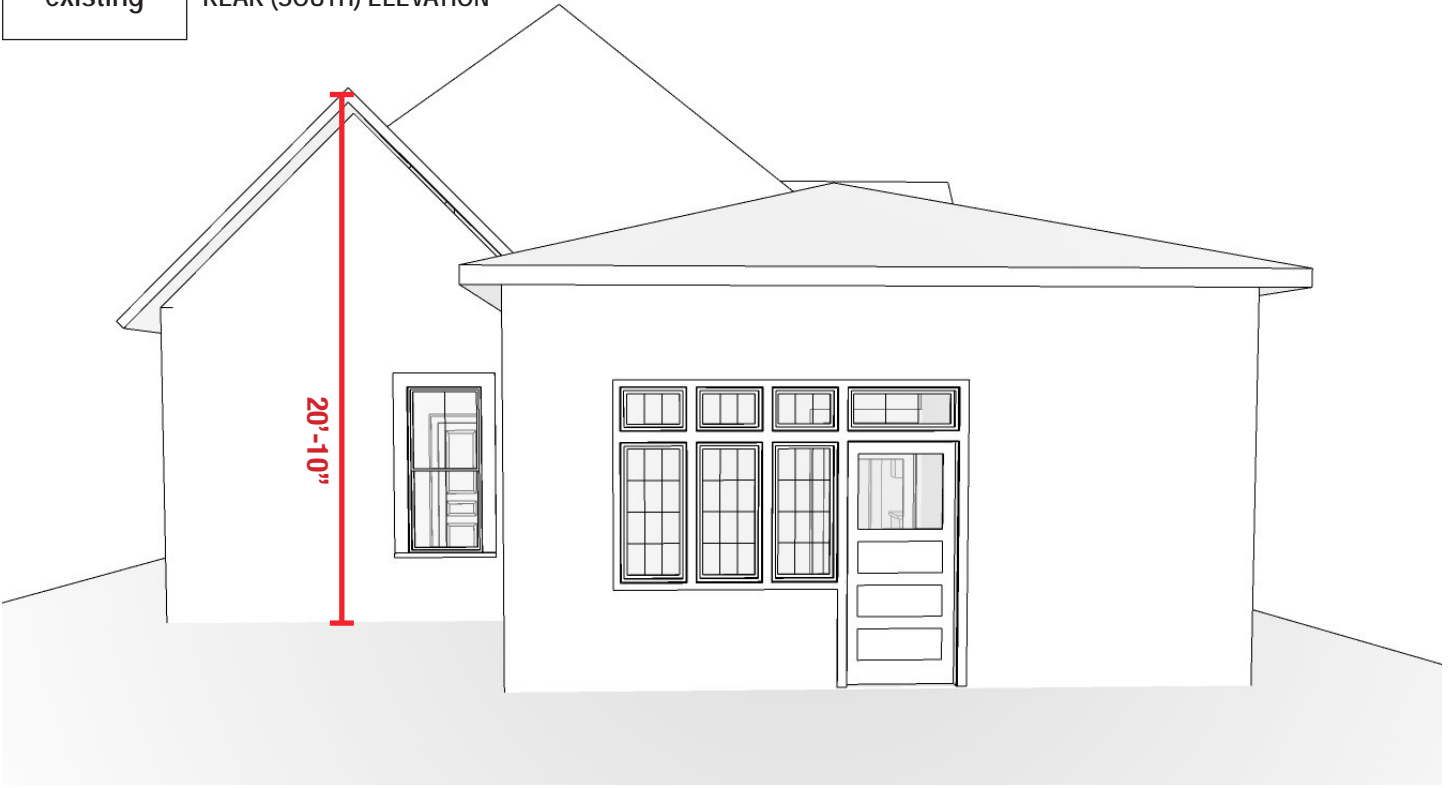
Clear opening (egress) information does not take into consideration the addition of a Rolscreen (or any other accessory) to the product. You should consult your local building code to ensure products with Rolscreens meet egress requirements.

Not to scale.

Traditional grille patterns shown. Refer to Grille Types section for additional patterns and profiles.

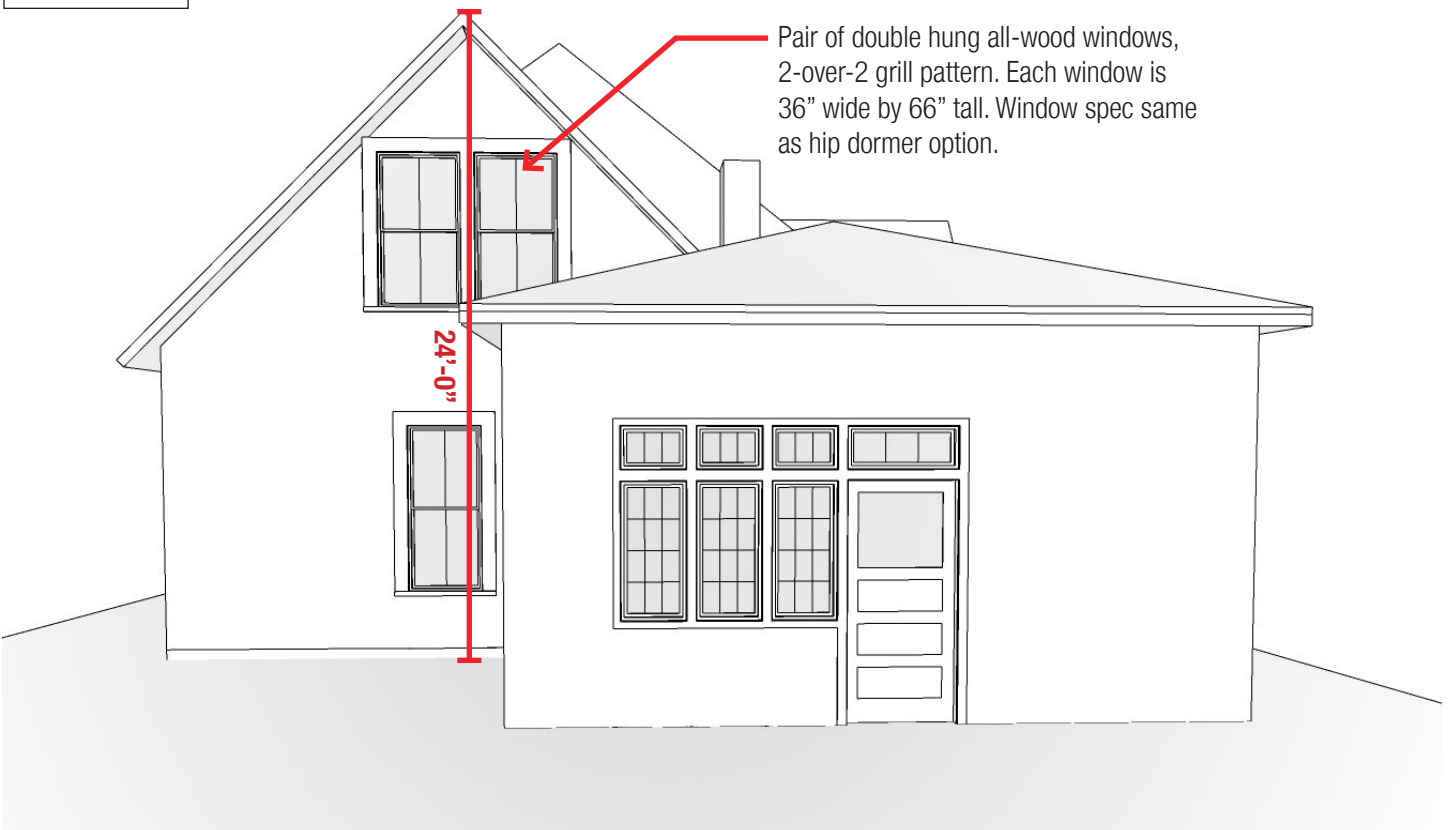
existing

REAR (SOUTH) ELEVATION



proposed

ENLARGED GABLE OPTION





146 Leonard Place – current rear view from directly behind the house