



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 401 E Oklahoma Ave 37917

FILE NO.: 5-H-18-HZ

DISTRICT: Old North Knoxville H-1

MEETING DATE: 5/17/2018

APPLICANT: David Holmes

LEVEL OF WORK: Level II. Construction of dormer and deck additions; installation of porch posts

PROPERTY DESCRIPTION: Queen Anne Cottage (c. 1910)

One-story frame with hipped roof with cross gables. Asbestos shingled wallcovering. Asphalt shingle roof covering and imbricated wood shingles in gable ends. Double-hung one-over-one windows with cottage window on front façade. One-story one-half front porch with replacement metal roof supports. Two interior offset brick chimneys. Brick foundation. Irregular plan. Projecting bay on north elevation. (Contributing)

► **DESCRIPTION OF WORK:**

DORMER: The rear dormer will match the size and construction of the one approved at the sister house to the adjacent north at 405 E Oklahoma. The main houses and rooflines are identical to each other. The gabled dormer will be offset 1 ft from the existing roof peak and will match the pitch of the existing roof. The dormer will include a 28x48 casement window to meet egress requirements, with 2/2 or 1/1 muntins, whichever is most historically appropriate.

REAR DECK: A low rear deck is proposed. The proposed size of the deck is 10' by 20'. The deck will have at most one step at most. Since the height of the deck will be below 30", no railings will be required by the building code. Deck boarding to be 5/4 x 6 treated pine decking.

PORCH: After searching for suitable turned replacement posts, I have found a complete matching set of whole and half posts that match the time period. They are in poor condition and will require many hours to restore, but they can be restored to a good condition. Although they do not match the existing embedded porch post exactly, they are a match for the time period and style that would be appropriate. The turned posts are from 1605 Forest Avenue in Fort Sanders NC-1 which is being renovated, and they are unsuitable for reuse at that property due to their deteriorated condition and incompatibility with current building code railing heights. There are 3 full and 2 half posts. Replacement at 401 E. Oklahoma would require 3 full posts and 1 half post to have all matching posts. The remaining unused half posts would be donated to the Knox Heritage Salvage Shop.

► **APPLICABLE DESIGN GUIDELINES:**

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

1. Locate exterior additions at the rear of or on an inconspicuous side of a historic building limiting the size and scale relative to the historic building and using appropriate proportions.

2. Design new additions so that it is clear what is historic and what is new.

3. Additions shall be distinguishable from the historic building, but shall be compatible [in every aspect]. Additions shall be designed so that they can be removed without destroying the form of the historic building.



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4. New additions shall not be visible from the street.
 6. Do not cause a loss of historic character through a new addition.
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COMMENTS:

The porch posts are proposed to be salvaged from a porch that was demolished at 1605 Forest Avenue in the Fort Sanders NC-1.

STAFF FINDINGS:

- 1) The house is a contributing resource in the Old North Knox H-1 Overlay and the National Register Historic District.
- 2) The house to the adjacent north at 401 E. Oklahoma is a "sister" or mirror-image house to the subject house.
- 3) A dormer as proposed was found to be appropriate by the HZC for 401 E. Oklahoma; therefore, staff believes the same type of dormer is appropriate for the subject house at 405 E. Oklahoma.
- 4) The window proposed for the dormer will have a double-hung appearance and is appropriate as either a 1/1 window or 2/2 muntined window.
- 5) The proposed rear deck is to have a very low profile since it will be less than 30 inches above the ground with only one step and will not require a railing or balustrade; therefore, it will not detract from the rear features of the house.
- 6) The proposed TYPE of turned wooden porch posts are an appropriate replacement for the existing non-original scrolled metal posts. Although they do not match exactly, the design is similar enough to be compatible with that of the existing engaged post.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the rear window dormer and the rear deck. The proposed porch posts are approved only if replacement posts have been previously approved by the HZC for 1605 Forest Avenue in the Fort Sanders NC-1. Then the formerly existing posts from 1605 Forest may be re-used at 401 E. Oklahoma Avenue.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. NAME OF APPLICANT: David Holmes

Address: 212 E Oklahoma Ave

Telephone: 423-231-8290 E-mail address: dholmes24@gmail.com

Relationship to Owner: Owner

2. NAME OF OWNER: See Above

Address: _____

Telephone: _____ E-mail address: _____

3. LOCATION OF PROPERTY:

Address: 401 E Oklahoma Ave Tax ID/Lot/Parcel No: 081LQ024

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

See COA application for complete details.

Level I: repair/replace wood siding, add porch columns/balustrade, Replace non-original windows in porch enclosure with wood window to match original style, replace front and rear door with wood half-lite. Add rear 10'x20' low deck off rear entrance.

Level II: Add window to existing rear porch enclosure, add rear dormer.

6. SIGNATURE OF APPLICANT: *D. Q. A. Holmes* Date: 02/01/18

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or Fax: 865-215-2068. **Incomplete applications will not be accepted.**

FOR STAFF USE ONLY

Date Received _____ . Approved _____ Disapproved _____ Approved As Modified _____ .

Date Acted On _____ .

401 Oklahoma Rear Attic Dormer, Rear deck, Front Porch Posts



Front facade



Rear facade showing proposed roof dormer

A dormer is proposed in the rear of the house. The dormer will match the size and construction of the dormer approved at the sister house next door at 405 E Oklahoma. The gabled dormer will be offset 1 ft from the existing roof peak and will match the pitch of the existing roof. The dormer will include a 28x48 casement window, with 2/2 grills or 1/1 grill, whichever is deemed most historically appropriate.

Previously Approved 405 E Oklahoma Before and After dormer installed:



401 E Oklahoma Before rendering below:

401 E Oklahoma rendering w/ proposed dormer below:



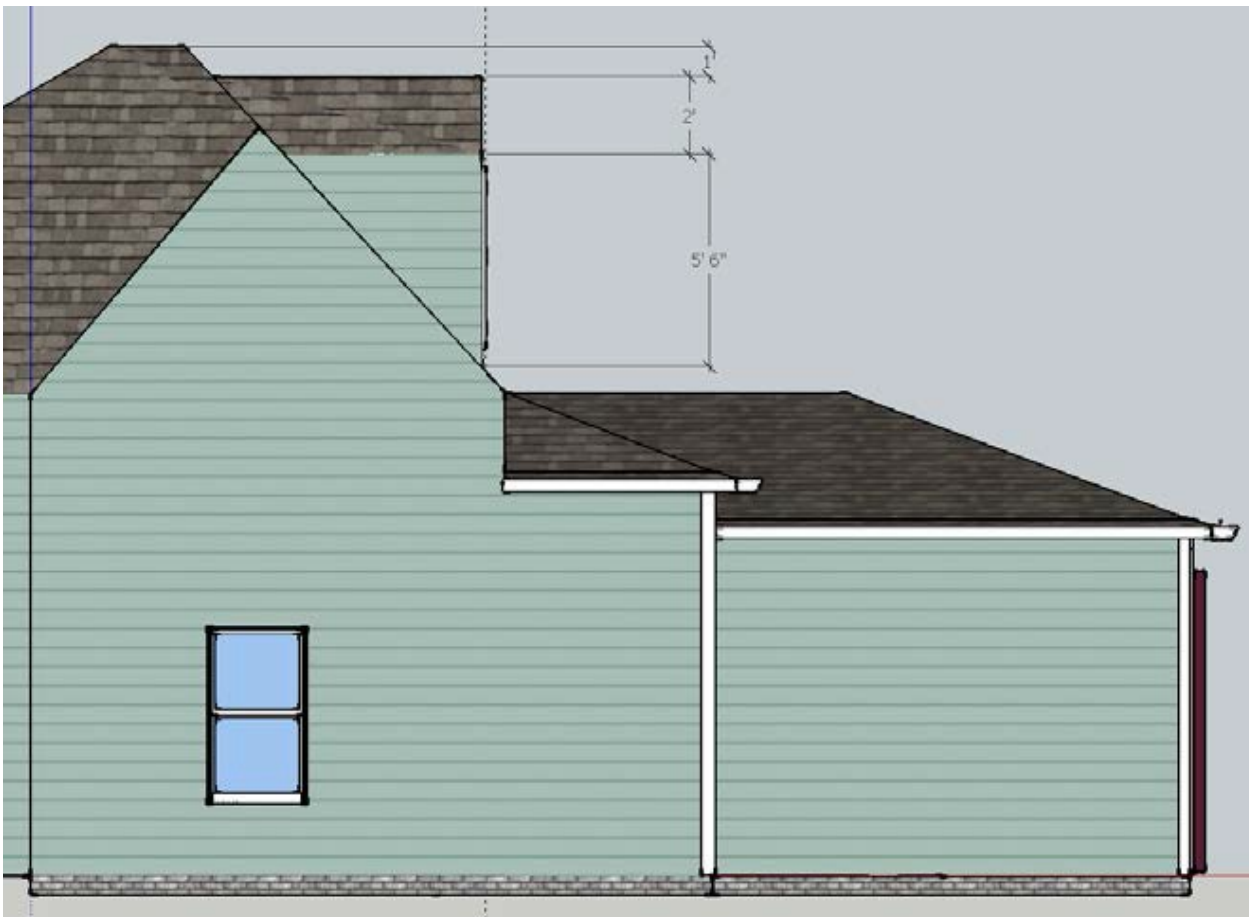
As the previous dormer was approved for the mirror image sister house for the same owner, extensive 3d models and elevations are not recreated for this application. For dimensional reference, the sketches created for the previous application are provided. Note that although the main houses and rooflines are identical, the additions below the roofline are not identical, but are not modified by this COA.

Rear View:

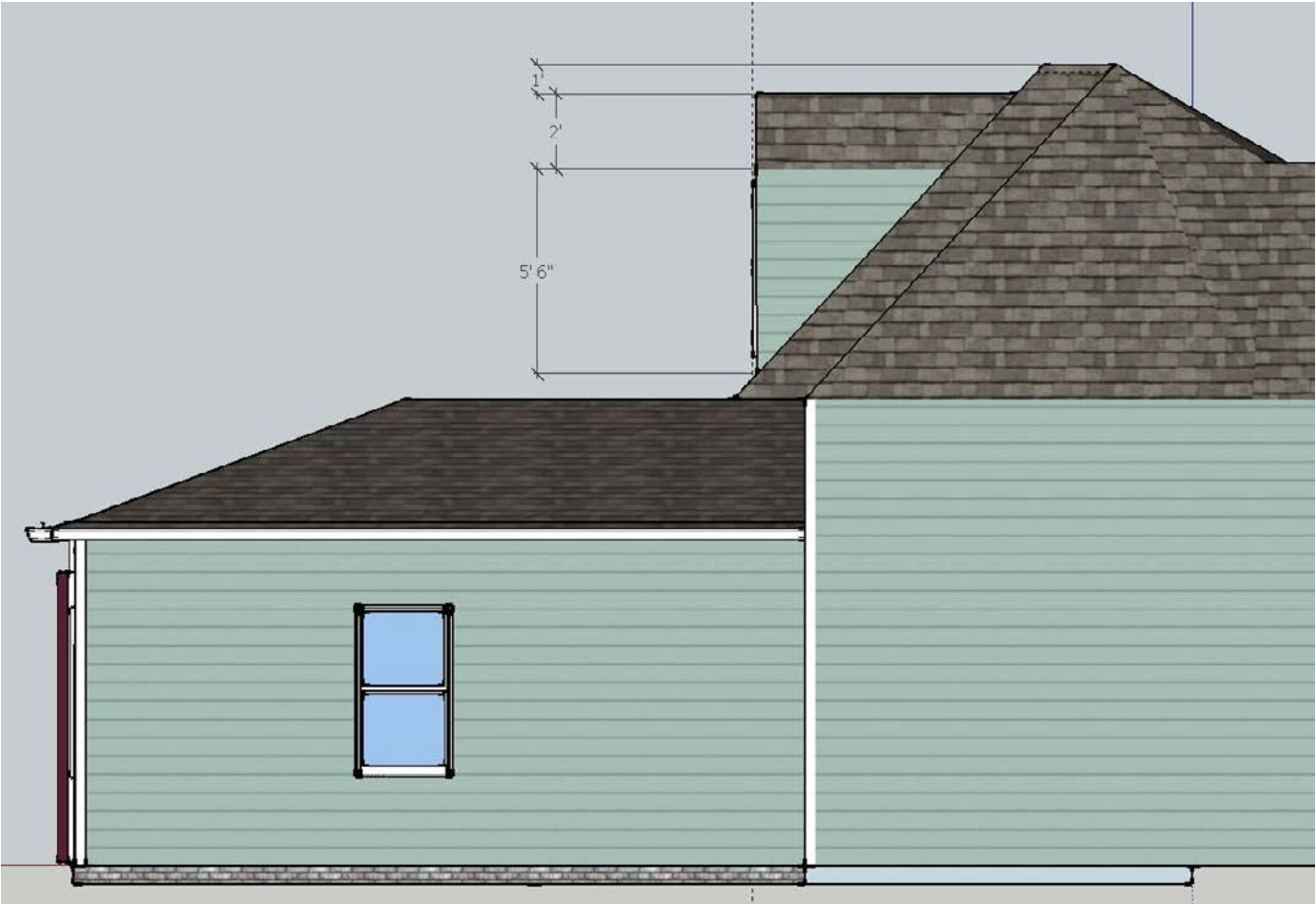


The casement window will be 28" x 48", which will meet egress requirements of width, height, and square footage of opening.

View from East:



View from West:



Rear Deck

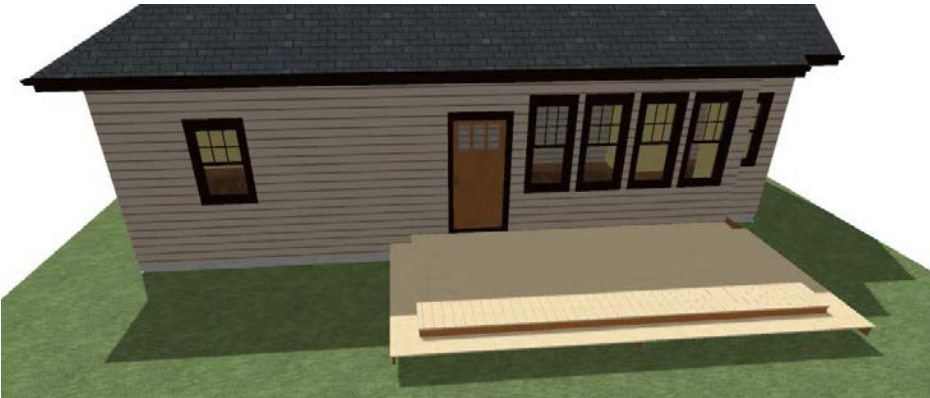
A low rear deck is proposed off the rear entrance. The size of the deck is 10' by 20'.

Depending on the height of the ground after releveling the entire back yard, the deck will either have zero or one steps. As the height of the deck will be below 30", no railings will be required. Deck Planking to be 5/4x6 nominal pressure treated pine decking.

Before



After



(Please ignore incorrect window/door styles in rendered image)

Sample Deck Style



Front Porch Posts Replacement

At the last meeting, the replacement of the front porch posts was approved, with the requirement that HZC approve the post style. After searching for suitable replacement posts, I have found a complete matching set of whole and half posts that match the time period. They are in poor condition and will require many hours to restore, but they can be restored to a good condition.

Although they do not match the existing embedded porch post exactly, they are a match for the time period and style that would be appropriate. The posts are from a house in Fort Sanders that is being renovated, and they are unsuitable for reuse at that property due to their deteriorated condition and incompatibility with current building code railing heights.

Existing embedded post at 401 Oklahoma:



Proposed posts for replacement:



There are 3 Full and 2 Half posts. Replacement at 401 would require 3 full posts and 1 half post to have all matching posts at 401. The remaining/unused half posts would be donated to the Knox Heritage Salvage Shop.

Additional pictures of posts to be repaired and installed:



410 E. Oklahoma Avenue dormer window specification

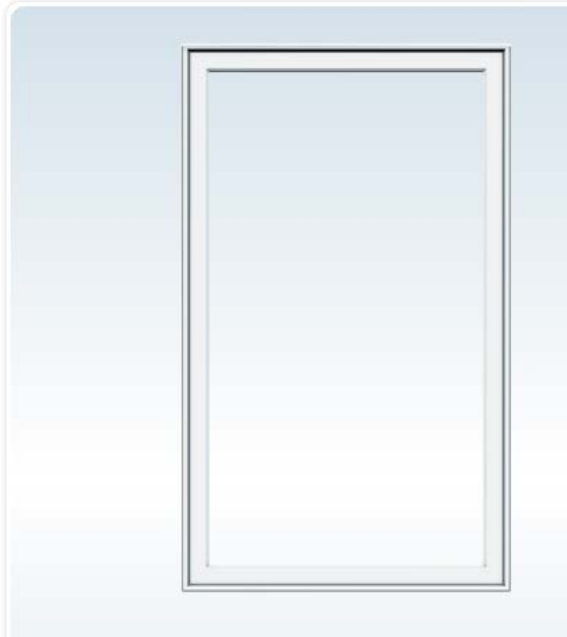


PRODUCTS

PLANNING & PROJECTS

Home » Windows » Casement » W-4500 Wood Casement Window

W-4500 WOOD CASEMENT WINDOW



Designed to appear as either a 1/1 or 2/2 double hung window

FEATURES

- **Color Options:** 21 clad exterior colors, 7 anodized clad exterior colors, 10 wood interior finishes
- **Custom Capabilities:** size, shape, glass, grille design
- **ENERGY STAR® Qualified Options:** yes
- **Glass Options:** energy efficient, protective, textured, tinted, decorative
- **Hardware Options:** Window Opening Control Device (WOCD) option available
- **Maintenance Level:** moderate
- **Project Type:** new construction and replacement
- **Sustainable Solutions:** AuraLast® Wood (pine) with reduced VOCs is standard. Two wood-source certification options are available on AuraLast® Wood: Sustainable Forestry Initiative® (SFI) or Forest Stewardship Council™ (FSC®).
- **Trim Options:** exterior clad and wood trim profiles, interior wood trim profiles
- **Warranty:** 20 year general warranty & lifetime limited warranty against rot and termites
- **Wood Options:** pine exterior and pine, alder, douglas fir interior