



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 816 Gratz St 37917

FILE NO.: 7-J-18-HZ

DISTRICT: Fourth and Gill H-1

MEETING DATE: 7/19/2018

APPLICANT: Gerry Moll (owner)

LEVEL OF WORK: Level II. Construction of outbuilding

PROPERTY DESCRIPTION: Queen Anne with Craftman influence (c. 1915)

One-and-one-half story frame with aluminum siding wall covering. Hip roof with lower cross gables and hipped roof front dormer. One-over-one double-hung windows. One-story one-half front porch with battered wood columns set on brick piers, sawn wood balustrade, multi-pane attic vent window. Two interior offset brick chimneys. Brick foundation. Rectangular plan.

► **DESCRIPTION OF WORK:**

The proposed 21 x 27 x 18'-4" h auxiliary building is a concrete slab on grade structure with a 2-ft-high brick-bearing foundation wall. The building will be located based on an existing foundation from a previous (removed prior to our ownership) auxiliary building on the property that will follow a 3 ½ -ft foundation set-back from the alley running parallel to Gratz and Luttrell streets on the East side of the proposed building. It will be set back 6 ½ feet from the adjacent property to the south. The structure will be of post and beam construction with 1" x 8"x 8' wood board & 1 ½" batten siding, or 5/16 "X 4' x 8' fiber cement board vertical panels with 1 ½ " wood battens. The gable roof will have a 9/12 pitch with 1'-6" overhangs and will be sheathed in asphalt roof shingles (Owens Corning Duration "Sedona Canyon") and guttering that matches the main house. The reclaimed brick chimney will be 3' x1'-8" x 6'-6"h. The proposed structure's masonry features will be built using a running bond brick pattern utilizing reclaimed historic brick left on the property by the previous owner. The east wall will incorporate three casement windows @ 50" x 18", and the attic gable ends will each be lit with an 18"x37" casement window .Two reclaimed doors from the main house (stored in attic and basement by previous owner) will be utilized, as well as two sliding-track wooden garage doors (2 @ 6.5' x 9') on the West elevation, and one @ 9' x 9') on the North elevation, all constructed with 1" x 8" pine boards with 1" x 4" trim. The building will be finished with 4" corner boards and an 6" or 8" frieze board across the gabled ends. A non-contributing outbuilding will be removed to allow room for the new structure.

► **APPLICABLE DESIGN GUIDELINES:**

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

OUTBUILDINGS

Newer houses in the district might have had garages, with the same roof shapes and wall coverings, or with wall coverings that matched the primary building on the lot. It is acceptable to construct new outbuildings to the rear of lots on Fourth and Gill, with designs that respect the original designs.

Recommendations:

1. Buildings resembling servants' quarters or carriage houses, work buildings, or simple one-story garages are appropriate to be constructed in the Fourth and Gill Historic District. Their size and construction should use materials that correspond to the original primary buildings on the lot.



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COMMENTS:

STAFF FINDINGS:

- 1) The main house is a 1915 contributing structure in the Fourth and Gill Historic Overlay and National Register District.
- 2) The proposed 21x27- sq ft .accessory structure will be located in the rear yard and will not be seen from the Gratz-street right-of-way. A portion of the north and east sides will be slightly visible when looking into the alley from the north from Gill Avenue.
- 3) The size of the garage footprint is less than 30% of the house footprint.
- 4) The materials of wood or fiber cement board board-and-batten, wooden paneled doors, reclaimed brick, and asphalt shingles are appropriate for accessory structures in rear yards in the district.
- 5) The custom-made wooden sliding cross-braced barn doors are also appropriate for this type of structure.
- 6)The side-gabled form of the garage is a typical form for this type of building.
- 7) The existing accessory structure to be demolished is a non-contributing building (of no historic significance).

▶ **STAFF RECOMMENDATION:**

Staff recommends approval of the proposal.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. NAME OF APPLICANT: Gerry Moll

Address: 816 Gratz Street, Knoxville TN 37917

Telephone: (480) 239.0506

E-mail address: gerrymoll@mac.com

Relationship to Owner: Self

2. NAME OF OWNER: Gerry Moll

Address: 816 Gratz Street, Knoxville TN 37917

Telephone: (480) 239-0506

E-mail address: gerrymoll@mac.com

3. LOCATION OF PROPERTY:

Address: 816 Gratz Street, Knoxville TN 37917

Tax ID/Lot/Parcel No: 081MN022

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

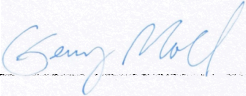
Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

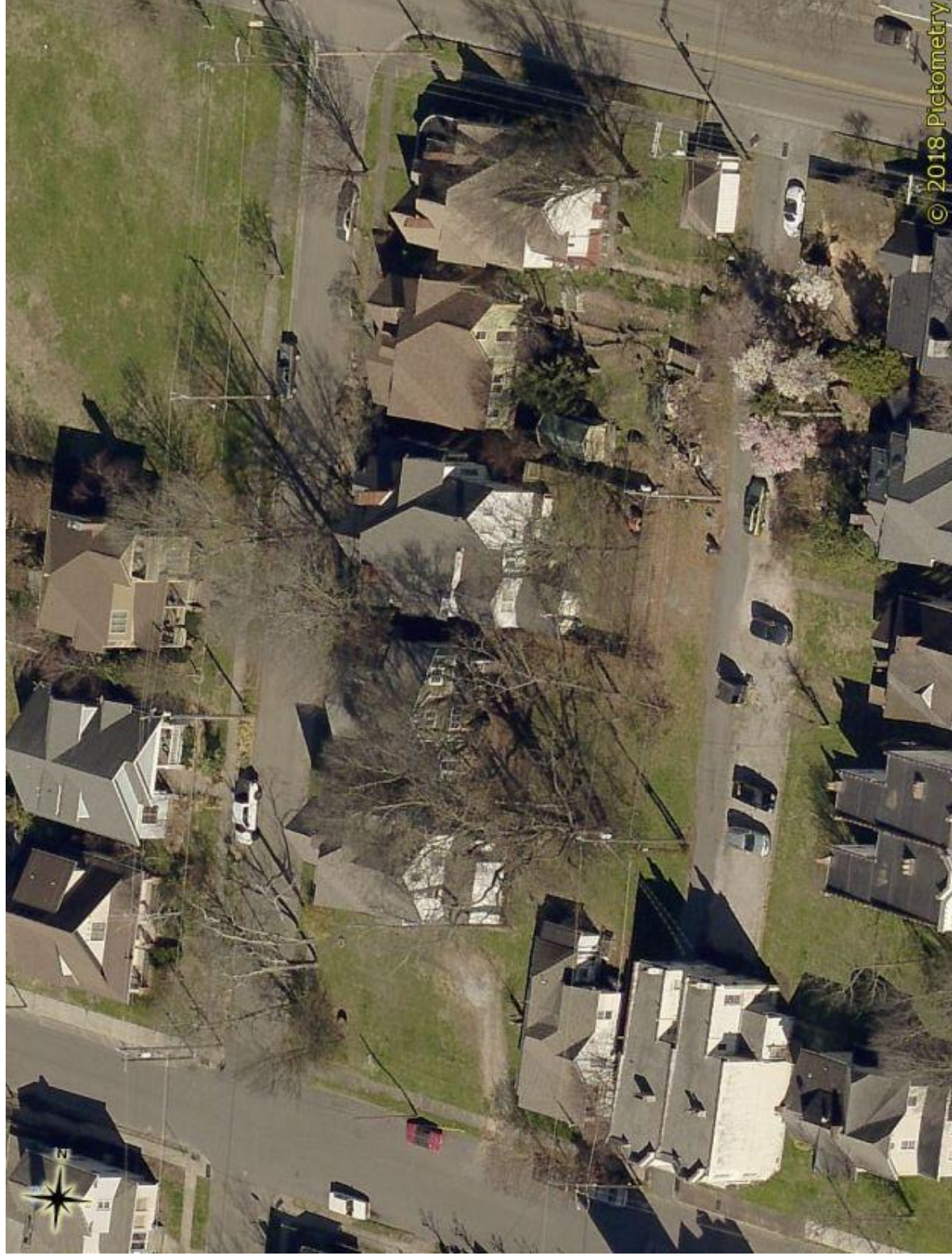
Garage/Workshop at 816 Gratz: The proposed 21 x 27 ft auxiliary building is a concrete slab on grade structure with a 2-ft-high brick-bearing foundation wall. The building will be built in reference to an existing foundation from a previous (removed prior to our ownership) auxiliary building on the property that will follow a 3 ½ -ft foundation set-back from the alley between Gratz and Luttrell street on the Eastside of the building. It will be set back 6 ½ feet from the adjacent property to the south. It is post and beam construction with 1" x 8"x 8' wood board & 1 ½" batten siding, or 5/16 "X 48" x 96" Hardie Board vertical siding (smooth) with 1 ½ "wood battens, painted the same color as the main house. The open gable roof is a 9/12 pitch and feature asphalt roof shingles (Owens Corning Duration "Sedona Canyon") and guttering that matches the main house. The brick chimney is scaled to be proportionally contextual with the house and neighborhood. The proposed structure's masonry features will be built using a running bond brick pattern, and use reclaimed historic brick left on the property by the previous owner. The structure will use five casement windows (3 @ 50" x 18", 2 @ 18" x 37"), two reclaimed doors from the main house (stored in attic and basement by previous owner), and three sliding track garage doors (2 @ 6.5' x 9') West elevation, and (1 @ 9' x 9') North elevation, constructed with 1" x 8" pine boards with 1" x 4" trim.

6. SIGNATURE OF APPLICANT: _____  _____ Date: July 9, 2018

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or **Fax: 865-215-2068. Incomplete applications will not be accepted.**

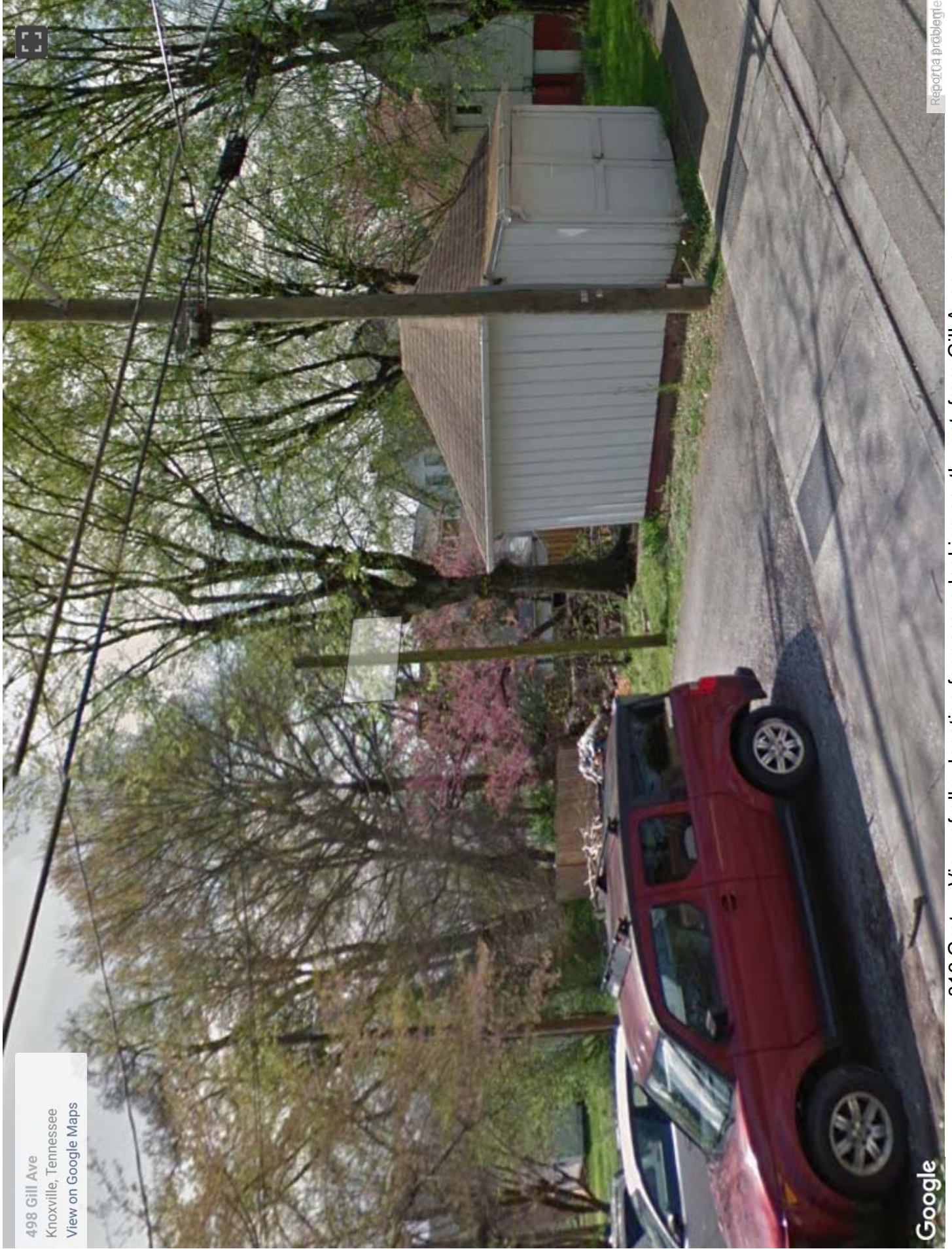
FOR STAFF USE ONLY	
Date Received _____ .	Approved _____ Disapproved _____ Approved As Modified _____ .
Date Acted On _____ .	

Rear view of 816 Gratz (second from right) showing back yard and alley way



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498 Gill Ave
Knoxville, Tennessee
View on Google Maps

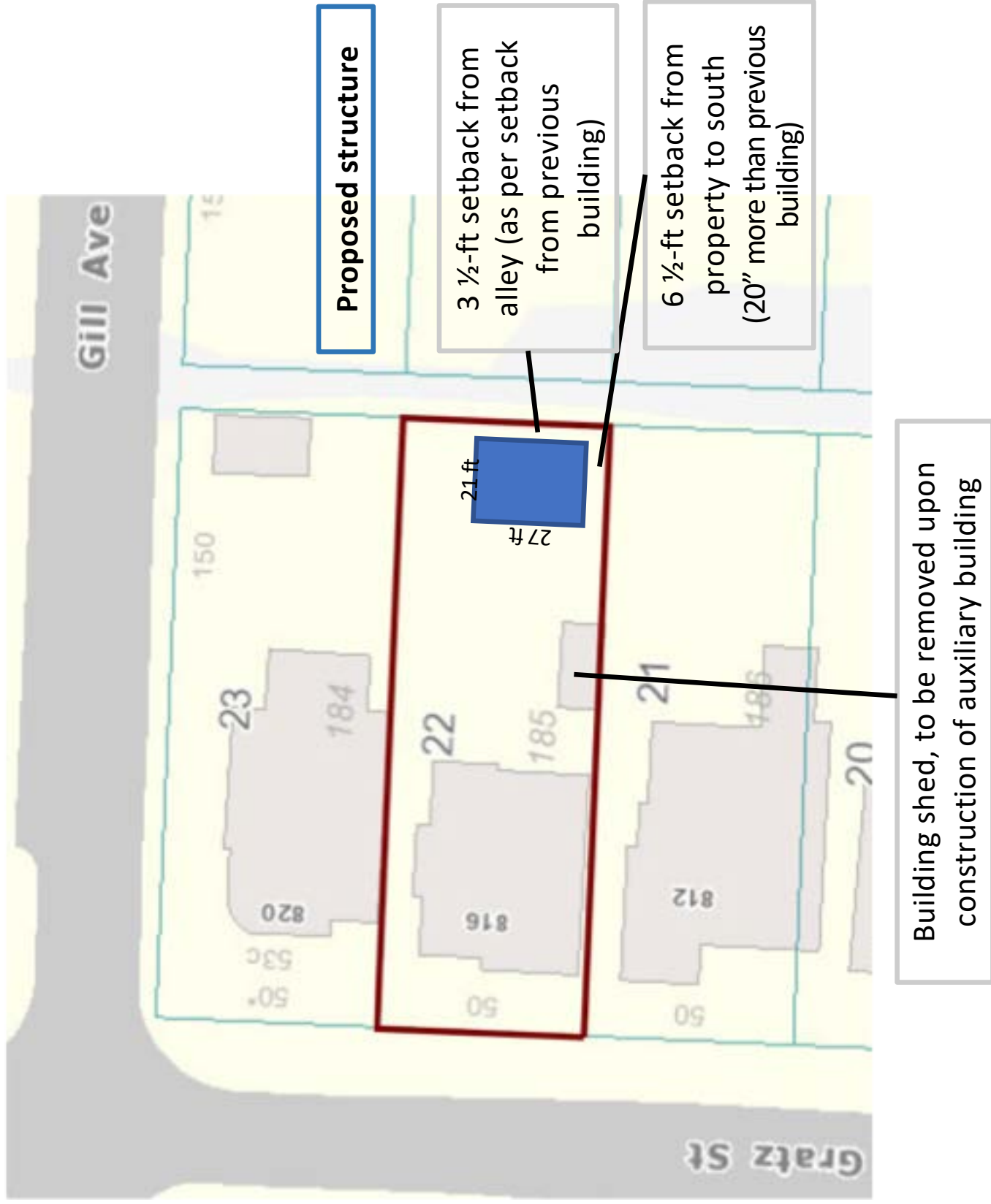


Google

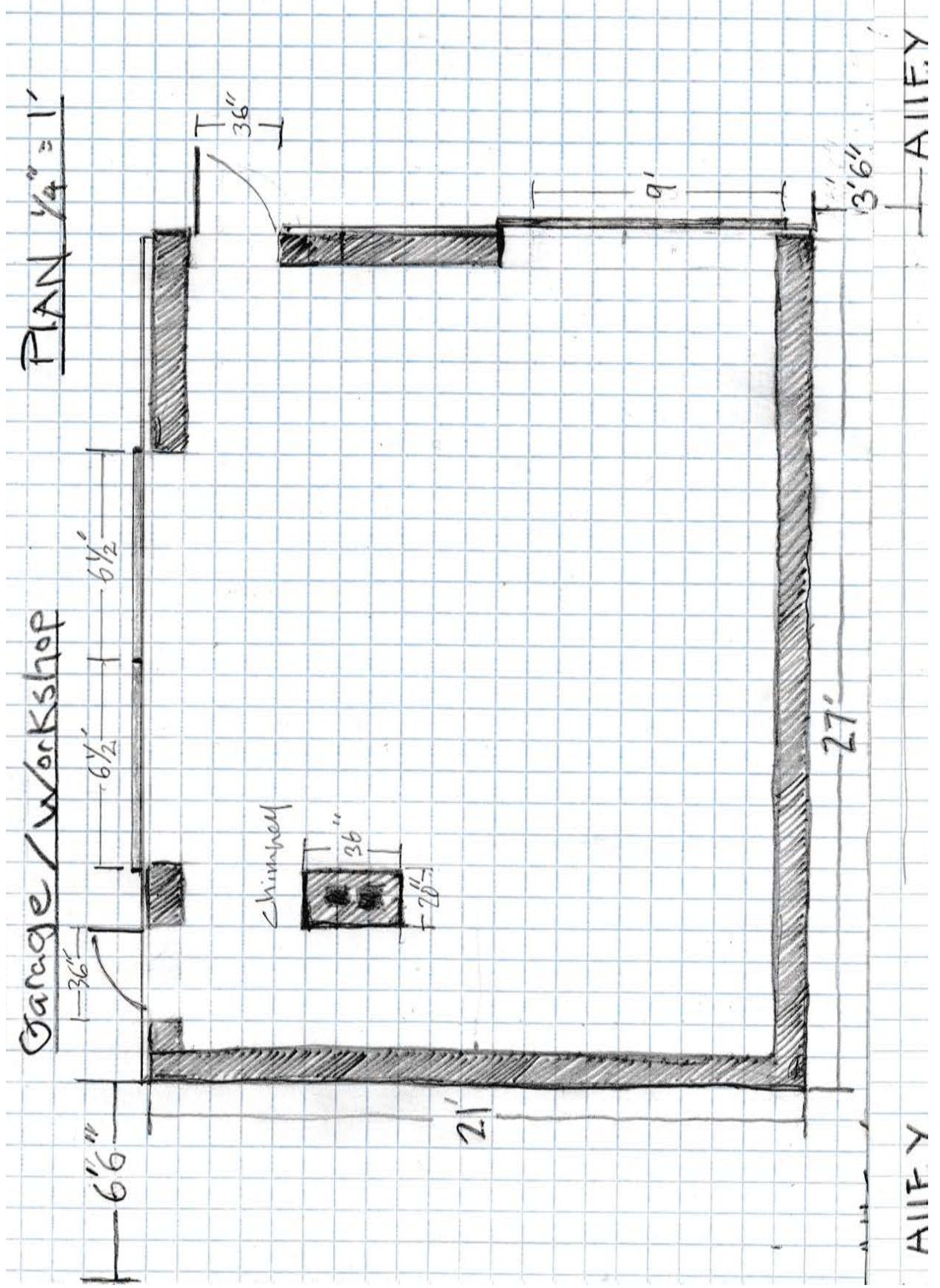
816 Gratz - View of alley location for garage looking southwest from Gill Avenue

Reporta problegrte

B(a) Dimensioned site plan & building footprint



B(a) Dimensioned site plan & building footprint



B(a) Dimensioned site plan & building footprint:
Foundation from previous building, east property line.

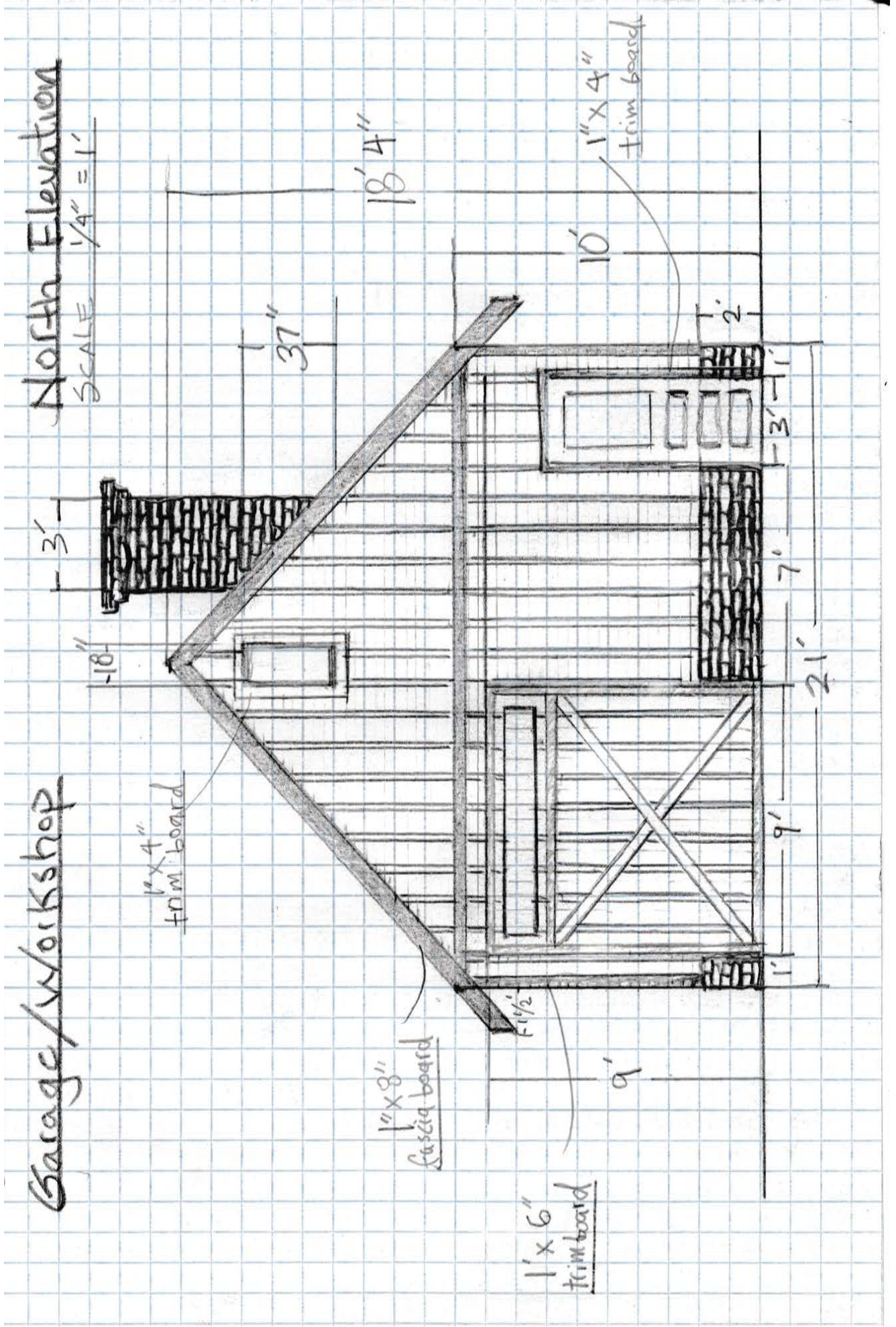


B(a) Dimensioned site plan &
building footprint:

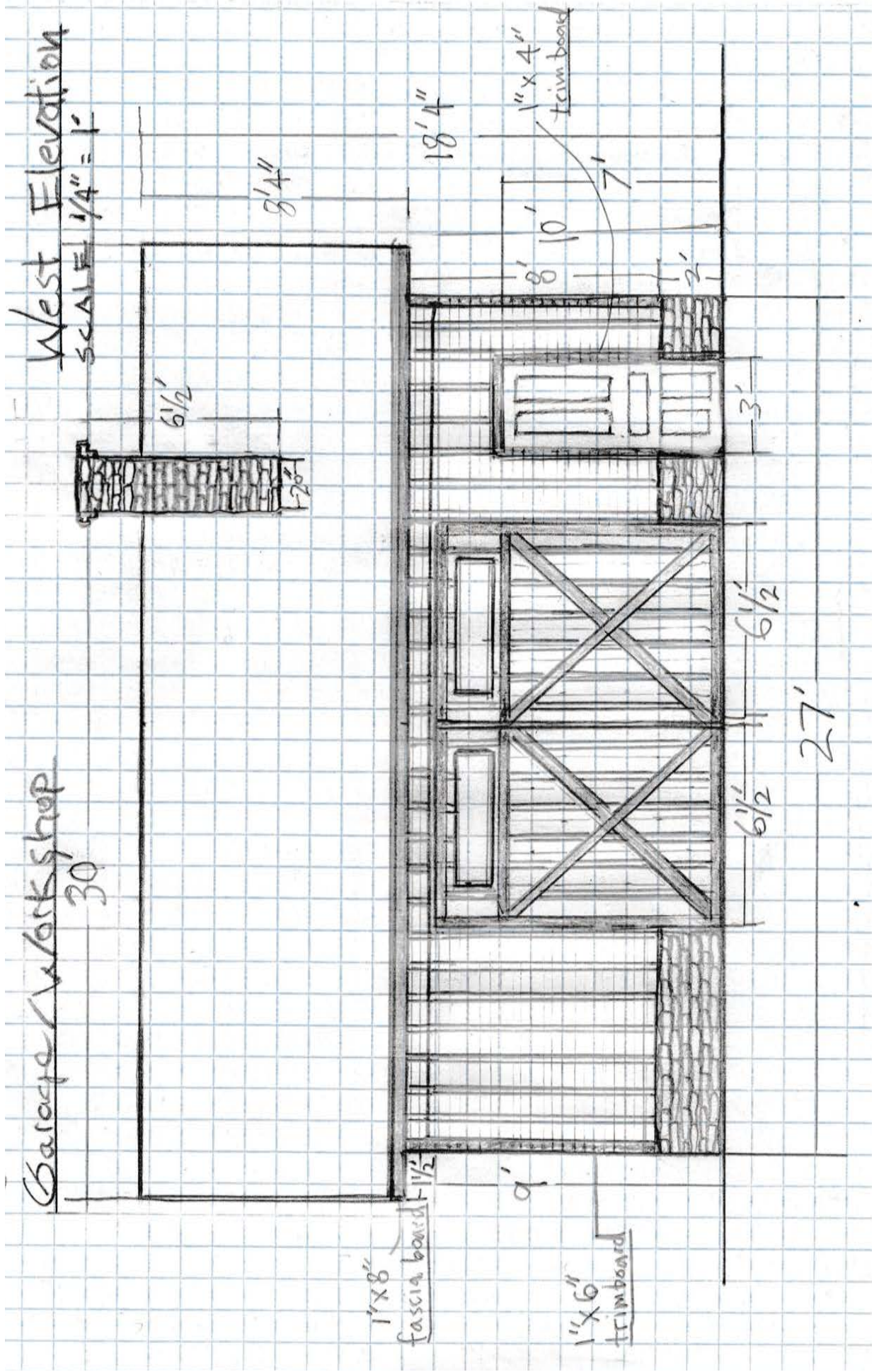
Foundation from previous
building, south property line.



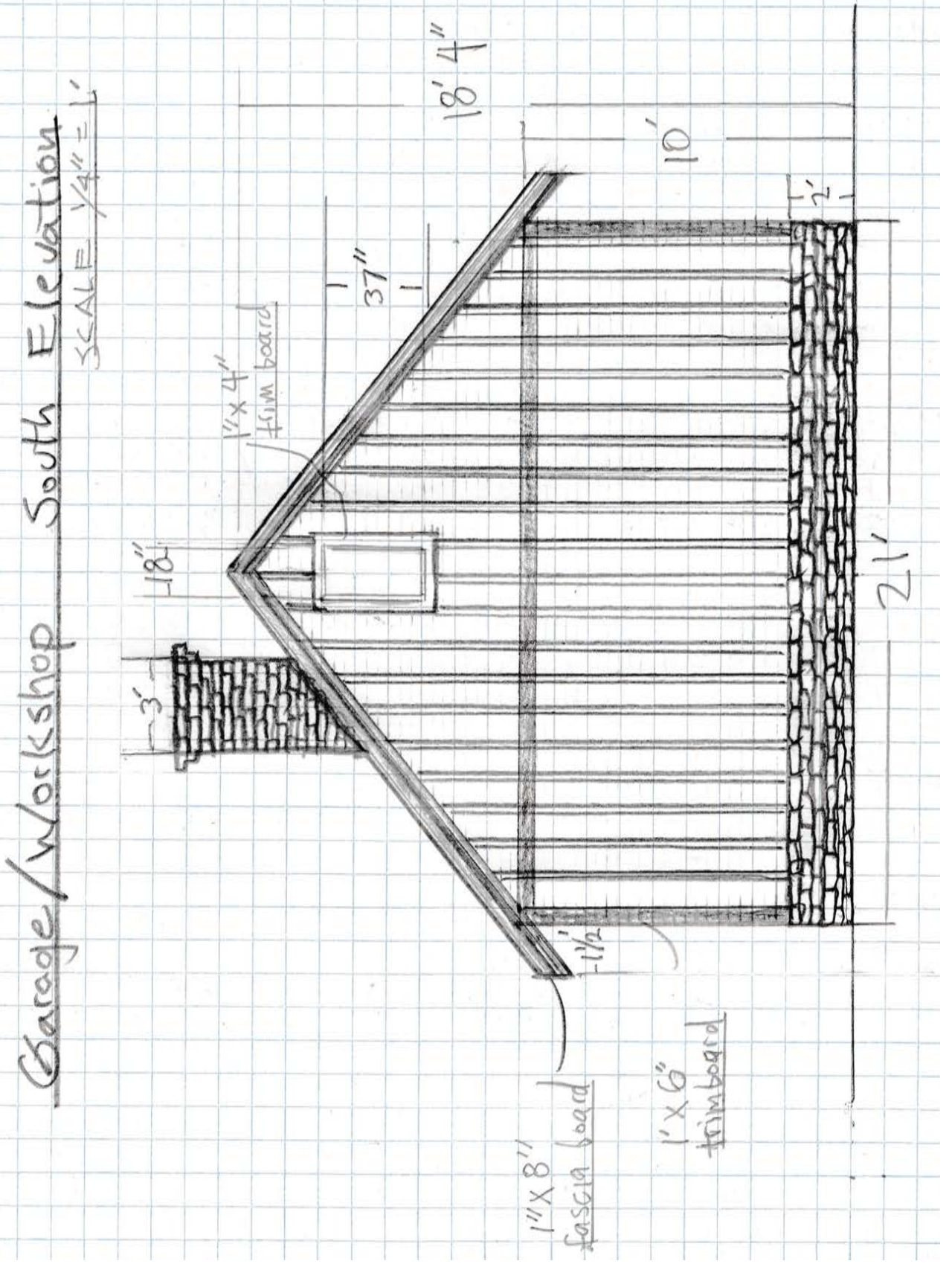
B(b) Dimensioned elevation drawings: North elevation



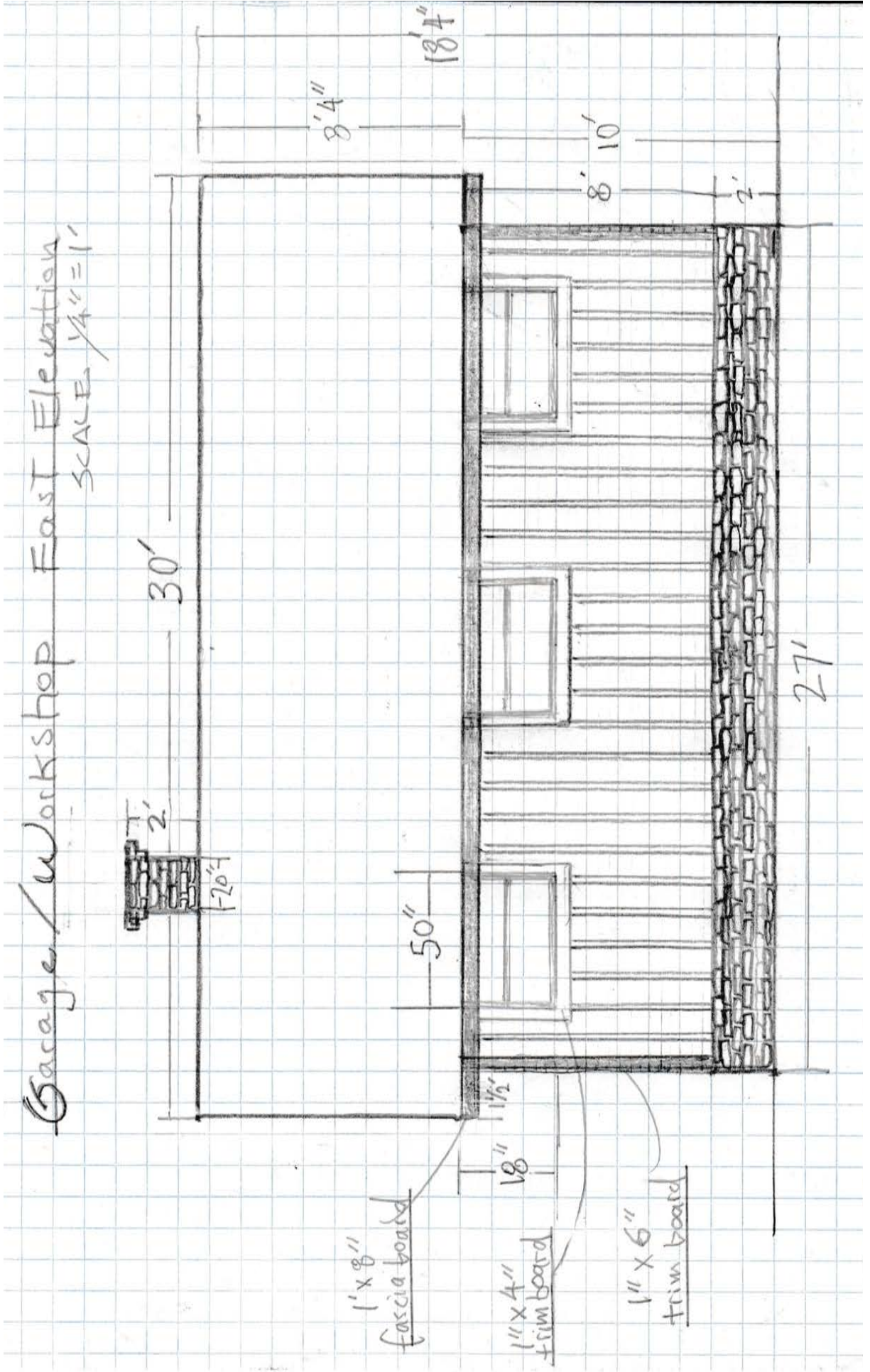
B(b) Dimensioned elevation drawings: West elevation



B(b) Dimensioned elevation drawings: South elevation



B(b) Dimensioned elevation drawings: East elevation



B(c) Proposed materials & architectural features:

View of main house features, eastern lot half



B(c) Proposed materials & architectural features:

Back of main house.

View of brick foundation, siding, & house color.

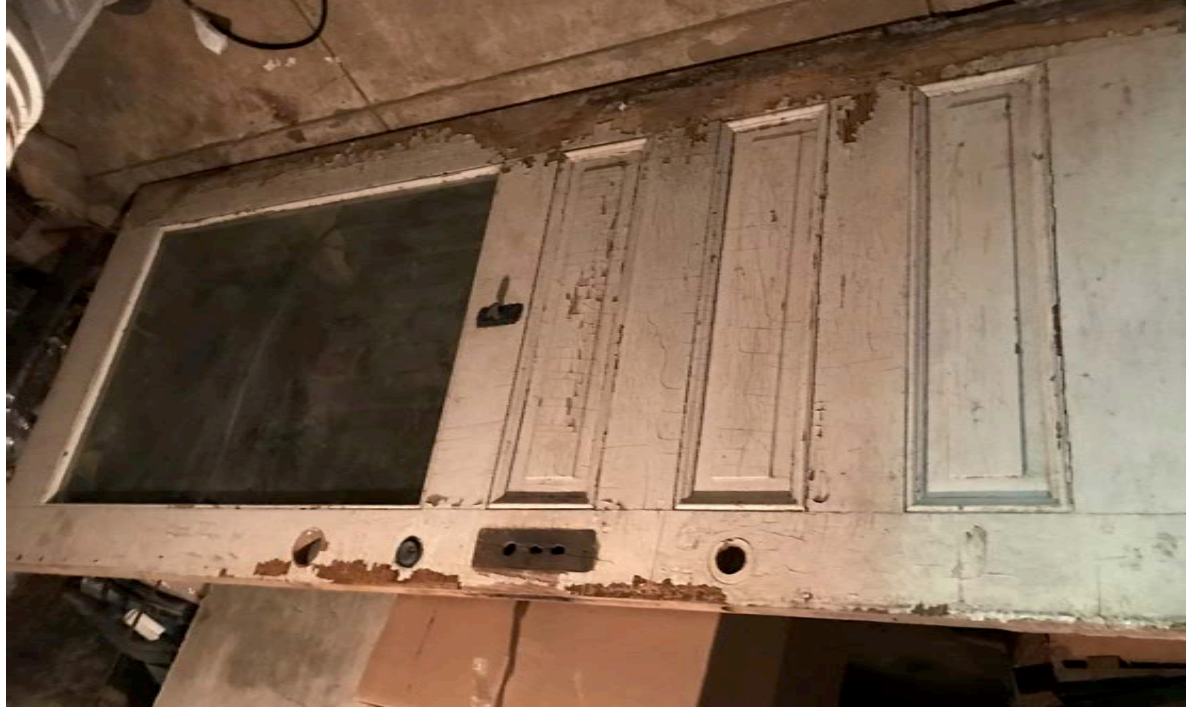


B(c) Proposed materials & architectural features:

Asphalt shingle, sample



B(c) Proposed materials & architectural features: Reclaimed doors.
These doors were stored in attic & basement of mainhouse by the
previous owner.



B(c) Proposed materials & architectural features:

Reclaimed brick, examples.





HardiePanel® Vertical Siding
SMOOTH

THICKNESS: 0.312"

LENGTHS:	108"*	120"	96"
WIDTHS:	48"	48"	48"

*Sizes/exposures not available in ColorPlus® Technology, only primed.



Board and batten-style (1-1/2" battens) available with HardiePanel siding



816 Gratz Street - Noncontributing metal outbuilding to be removed