



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 221 E Oklahoma Ave 37917

FILE NO.: 7-H-18-HZ

DISTRICT: Old North Knoxville H-1

MEETING DATE: 7/19/2018

APPLICANT: Catherine and Garry Shteynberg (owners)

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Queen Anne with Bungalow influences (c. 1905)

One-story frame with wood lap siding. Hip roof with lower cross gables and asphalt shingle roof covering. One story three-quarter front porch with fluted round columns with Ionic capitals. Two interior offset brick chimneys. Brick foundation. Irregular plan. Recessed transom and sidelights at front entry. Projecting bay on south elevation.

► **DESCRIPTION OF WORK:**

Construct one-story, 400-sq ft. rear addition with fixed-glass windows and that will serve as a sunroom/porch. The project will include the demolition of a ~100 square -foot modern-era sunroom which has vinyl-clad patio doors and a metal exterior door. Additionally, existing shed and hipped roofs on an earlier addition on the SW corner of the house will also be removed and an extension the new shed roof will instead cover this area. The new 12/1 pitched shed- roof structure will be sheathed with ribbed metal panels in a dark color. The 9 -foot wall opening will be filled with windows with smooth-finish fiber cement board (FCB) panels above and below, and on the NE elevation, three FCB panels that will match the size of the windows. The windows are proposed to be aluminum-clad. The addition also includes a ~10x14 deck, partially covered by an extension of the shed roof supported by a 6x6 painted wood column. A 3/4-light-glass door will open onto the deck. The surface of the overall support beam of the shed-roof and the foundation apron around the deck will be smooth FCB. The exposed foundation is proposed to be painted CMU.

► **APPLICABLE DESIGN GUIDELINES:**

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

L. ADDITIONS

1. Locate exterior additions at the rear of or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building, and using appropriate proportions.
 2. Design new additions so that it is clear what is historic and what is new.
 3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district. Additions shall be distinguishable from the historic building, but shall be compatible in terms of mass, materials, size, texture, and scale. Additions shall be designed so they can be removed without destroying the form of the historic building.
 6. Do not cause a loss of historic character through a new addition.
-

COMMENTS:



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FILE NO.: 7-H-18-HZ

DISTRICT: Old North Knoxville H-1

STAFF FINDINGS:

- 1) The house is a contributing property within the Old North Knoxville (ONK) H-1 overlay and the National Register District.
- 2) The addition will not be seen from the public right-of-way.
- 3) The footprint of the addition is less than 30% of that of the house.
- 4) The addition will not destroy significant historic features.
- 5) The sunroom to be demolished is not historically significant.
- 6) The addition will be offset ~18 inches from the northeast corner of the main house, and the distinction of the new from the old will be obvious, without detracting from any historic features of the house. The sunroom addition stops approximately 10 feet short of the southwest corner of the original house, and ties into the corner of a non-original bath/laundry room addition. No new walls align flush with any original walls
- 7) The new structure of the addition will resolve the current problem of a "trough" in the existing roof which has allowed water damage in the past.
- 8) The proposed metal-clad windows are appropriate in a modern sunroom structure with significant glass. The proposed windows do not attempt to mimic traditional double-hung windows set into a wood-sided wall. An obviously modern addition can be appropriate in the H-1 overlay as long as it does not detract from or overwhelm historic features, and is of a scale and level of detail that is compatible with and defers to the historic structure.
- 9) Fiber cement board (FCB) siding has been allowed on at least one rear addition within the ONK District, with a smooth finish only -- no faux wood-grain. In this case FCB is not proposed to be utilized as horizontal siding, but on flat panels, and on the overall roof support beam and deck apron. FCB has not been approved in the form of flat panels or beam covering as a precedent in ONK; therefore, an actual sample or clear photo on a specification sheet should be provided for HZC review.
- 10) CMU foundation was utilized on the existing earlier addition, and the intent is to use it also on the addition to tie it in with the existing. Exposed CMU foundation can be approved only if painted and the amount exposed is too little (less than 8 inches) to feasibly allow parging after grading is completed. Otherwise, the foundation would need to be covered in parging or brick in order to be compatible with other foundation materials in the district.

► STAFF RECOMMENDATION:

Approval with the condition that 1) the exposed CMU block foundation wall be smooth-parged as practicable based on the amount of exposure (with the threshold being 8 inches or more); and 2) an actual sample or clear photo on a specification sheet for smooth fiber cement board panels should be provided for review.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. NAME OF APPLICANT: Catherine & Garry Shteynberg

Address: 221 E. Oklahoma Ave. Knoxville, TN 37917

Telephone: 202-341-1488 E-mail address: cshteynberg@gmail.com gshteynberg@gmail.com

Relationship to Owner: we are the owners

2. NAME OF OWNER: Catherine & Garry Shteynberg

Address: 221 E. Oklahoma Ave., Knoxville, TN 37917

Telephone: 202-286-6644 E-mail address: cshteynberg@gmail.com or gshteynberg@gmail.com

3. LOCATION OF PROPERTY:

Address: 221 E. Oklahoma Ave., Knoxville, TN 37917 Tax ID/Lot/Parcel No: 081LS018

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

The owners are working with Open Door Architecture and Infinity Construction to add a rear addition to their home. The project will include the demotion of an ~100 square foot modern sunroom, which currently has vinyl-clad patio doors and a metal exterior door that exits to the yard. The new addition will entail a 400 square foot dining and entertainment room. The addition will have a flat panel metal shed roof (see attached specs), color to closely match adjacent asphalt shingles. Wood windows are specified in the drawings, but we would like to apply for aluminum-clad. The addition also includes a back porch with small deck, and the extension of the shed roof over this porch. This will also solve the current problem of a "trough" in the existing roof over that area (also a modern addition, in this case a utility room), which has caused water damage/leaks in the past.

6. SIGNATURE OF APPLICANT:  Date: 6/25/2018

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or Fax: 865-215-2068. **Incomplete applications will not be accepted.**

FOR STAFF USE ONLY			
Date Received _____	Approved _____	Disapproved _____	Approved As Modified _____
Date Acted On _____			



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0 50 Feet

221 E. Oklahoma Avenue

HZC item

KGIS - 606 Main St - Suite 150 - Knoxville, TN 37902 - www.kgis.org

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221 E. Oklahoma Avenue front view

Demolish existing sunroom

Old roofs over laundry & bathroom to be replaced by new shed roof.



Back yard has slight negative grade to house. Correct with grading and french drains around new sunroom.

Exterior views of existing



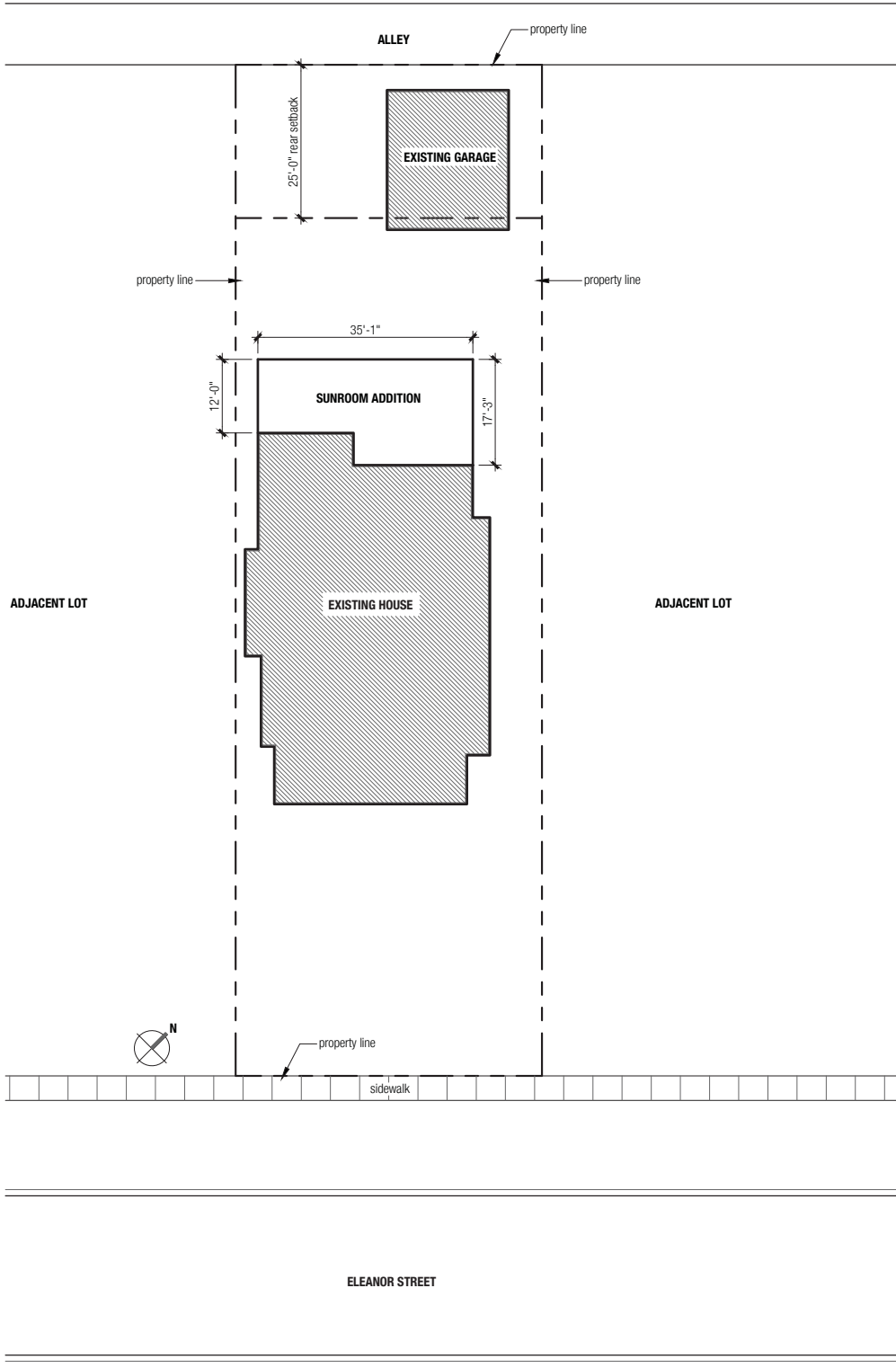
Utilities and equipment to be relocated.

SHTEYNBERG RESIDENCE

SUNROOM

the historic Old North Knoxville neighborhood

Knoxville, Tennessee



client:
Catherine & Garriy Shteynberg
221 E. Oklahoma Avenue
Knoxville, TN 37917

architect:
open door
architecture
800 Luttrell Street
Knoxville, Tennessee 37917
www.opendoorarchitecture.com

project contact:
Sara Martin : 865.603.4756
Sean Martin : 865.386.8909
Jessalyn Friske: 865.888.0323

17002

h09 site plan

1/16" = 1'-0"

date:	April 9, 2018
drawing purpose:	pricing
revisions:	

SHTEYNBERG RESIDENCE

SUNROOM

the historic Old North
Knoxville neighborhood
Knoxville, Tennessee

client:
Catherine & Gary Steynberg
221 E. Oakmont Avenue
Knoxville, TN 37917

architect:

open door
ARCHITECTURE
810 Laurel Street
Knoxville, Tennessee 37917
www.opendoorarchitecture.com

project contact:

Sam Murin - 865.602.4756
smurin@opendoorarch.com
Jessica Fisher - 865.888.0323

17002

DATE:

April 9, 2018

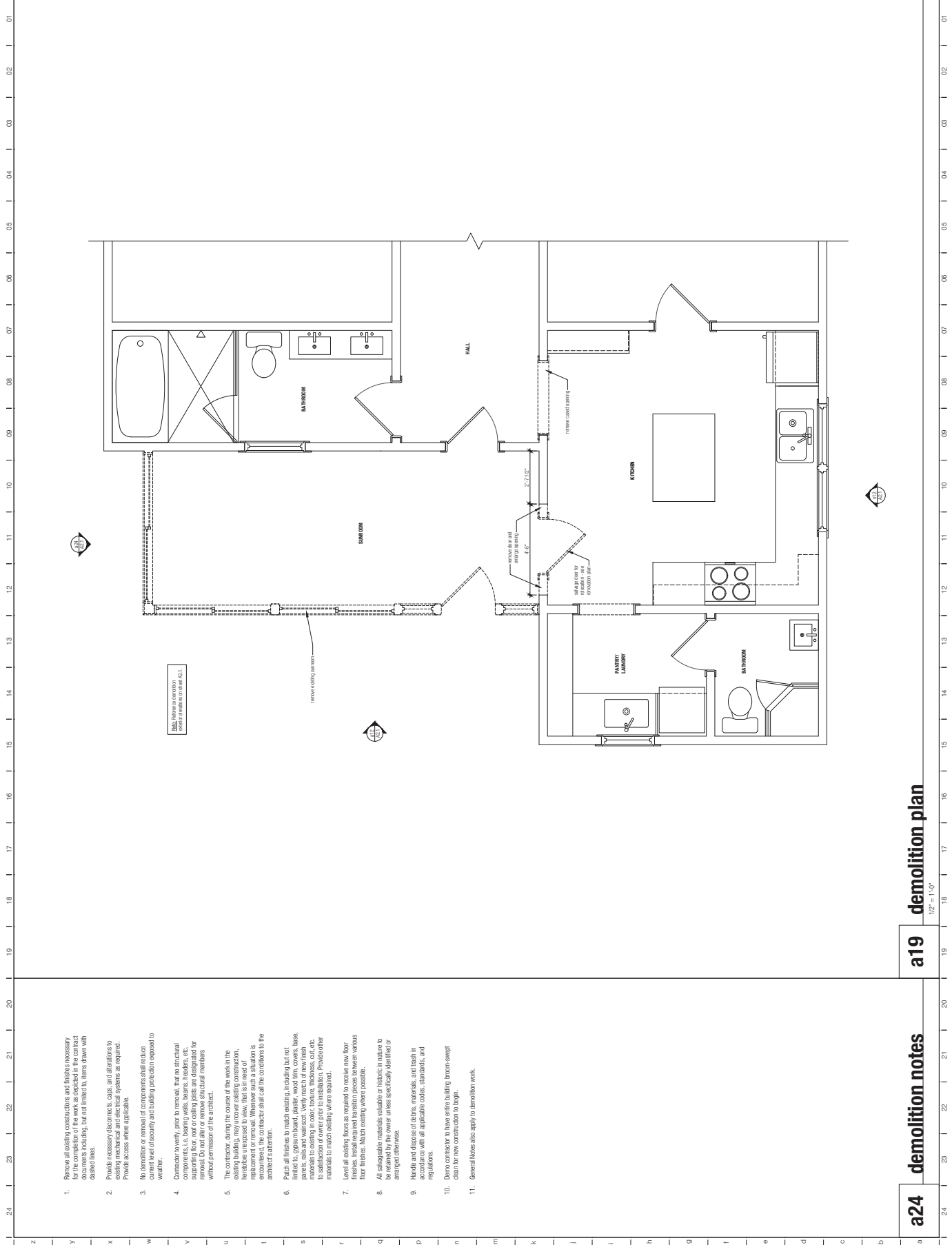
DRAWING PURPOSE:

DEMOLITION

REVISIONS:

a1.1

demolition plan and notes



1. Remove all existing construction and finishes necessary for completion of the work as depicted in the contract documents including, but not limited to, items shown with dashed lines.
2. Provide necessary disconnects, caps, and alterations to existing systems as required. Provide access where applicable.
3. No demolition or removal of components shall reduce overall level of security and building protection exposed to weather.
4. Contractor to verify, prior to removal, that no structural components, i.e. bearing walls, beams, trusses, etc., are to be removed. Obtain necessary permits for removal. Do not alter or remove structural members without permission of the architect.
5. The contractor, during the course of the work in the design build, shall coordinate existing construction, hereinafter unexpressed by view, that is in need of replacement or removal. Whenever such a situation is encountered, the contractor shall call the conditions to the architect's attention.
6. Patch all finishes to match existing, including but not limited to, glass, board, plaster, wood trim, covers, base, etc. The contractor shall be responsible for matching materials to existing in color, texture, thickness, cut, etc. to satisfaction of owner prior to installation. Provide other materials to match existing where required.
7. Level all existing floors as required to receive new floor finishes. Install required transition pieces between various floor finishes. Match existing where possible.
8. All salvagable materials, including, but not limited to, shall be retained by the owner unless specifically identified or arranged otherwise.
9. Handle and dispose of debris, materials, and trash in accordance with all applicable codes, standards, and regulations.
10. Demo contractor to leave entire building "broom-swept" clean for new construction to begin.
11. General Notes also apply to demolition work.

a24 demolition notes

a19 demolition plan

1/2" = 1'-0"

1. Work shall be conducted by the contractor in accordance with all applicable building codes having jurisdiction as of the date the permit is issued for this project. The contractor shall report any discrepancies between codes and contract documents to the architect prior to work.

2. Contractor shall file all applications, pay for all necessary permits, and secure certificates of occupancy for the project.

3. The contractor shall carefully examine all contract documents. The contractor shall coordinate the work with all trades, including but not limited to structural, electrical, mechanical, plumbing, civil, and geotechnical drawings and specifications. Any discrepancy shall be brought to the attention of the architect prior to proceeding with the work.

4. Work that deviates from the contract documents is the sole responsibility of the contractor and shall be corrected as required at no additional expense to the owner.

5. Contractor work to prevent interruption to building operations shall be performed in advance. Make Work shall be in advance to acquire approval for services interruption.

6. Contractor shall keep the job free of debris and make final clean-up of the project site. The contractor shall be responsible for removal of all construction materials from project site and shall provide dumpsters as required.

7. Contractor shall field verify all conditions and dimensions shown on drawings and specifications. If any discrepancies are encountered during construction, the contractor shall notify the architect for clarification prior to proceeding with the work.

8. Contractor shall not scale any drawing in the contract documents. Given dimensions shall always take precedence. Contractor shall contact architect to obtain additional dimensions as needed.

9. Dimensions are from face of stud, centerline of structural steel, and face of CMU/block/concrete unless noted otherwise.

10. Unless otherwise noted, locate floor joints 4" from inside corners.

11. Contractor shall be responsible for the protection of all existing conditions and shall remain responsible for the protection of all remain intact while performing the specified work.

12. The design adequacy and safety of erection bracing, walls, and other components shall be verified by the contractor. Walls with open rafters, cables, etc. and are laterally supported by same shall be braced until all construction is completed.

13. All penetrations by ductwork, piping, or other openings, provide appropriate load-carrying lintels or headers installed over the openings.

14. Contractor shall provide and coordinate the location of solid wood blocking when walls are required to provide for secure installation of all wall-mounted cabinets, mantels, and built-in shelves. Blocking in exterior walls to be fire-treated.

15. Provide wood blocking and utilities necessary for items not in contract (N.I.C.). Coordinate with owner for exact locations of owner-furnished items.

16. Firestop all openings and penetrations around pipes, conduits, and floors with approved, non-combustible materials.

17. Erod gypsum board on both sides of walls and partitions up to structure above to provide fire stop.

18. Contractor to provide owner with color and material samples for approval of all finishes prior to installation.

a24 general notes

a20 plan key

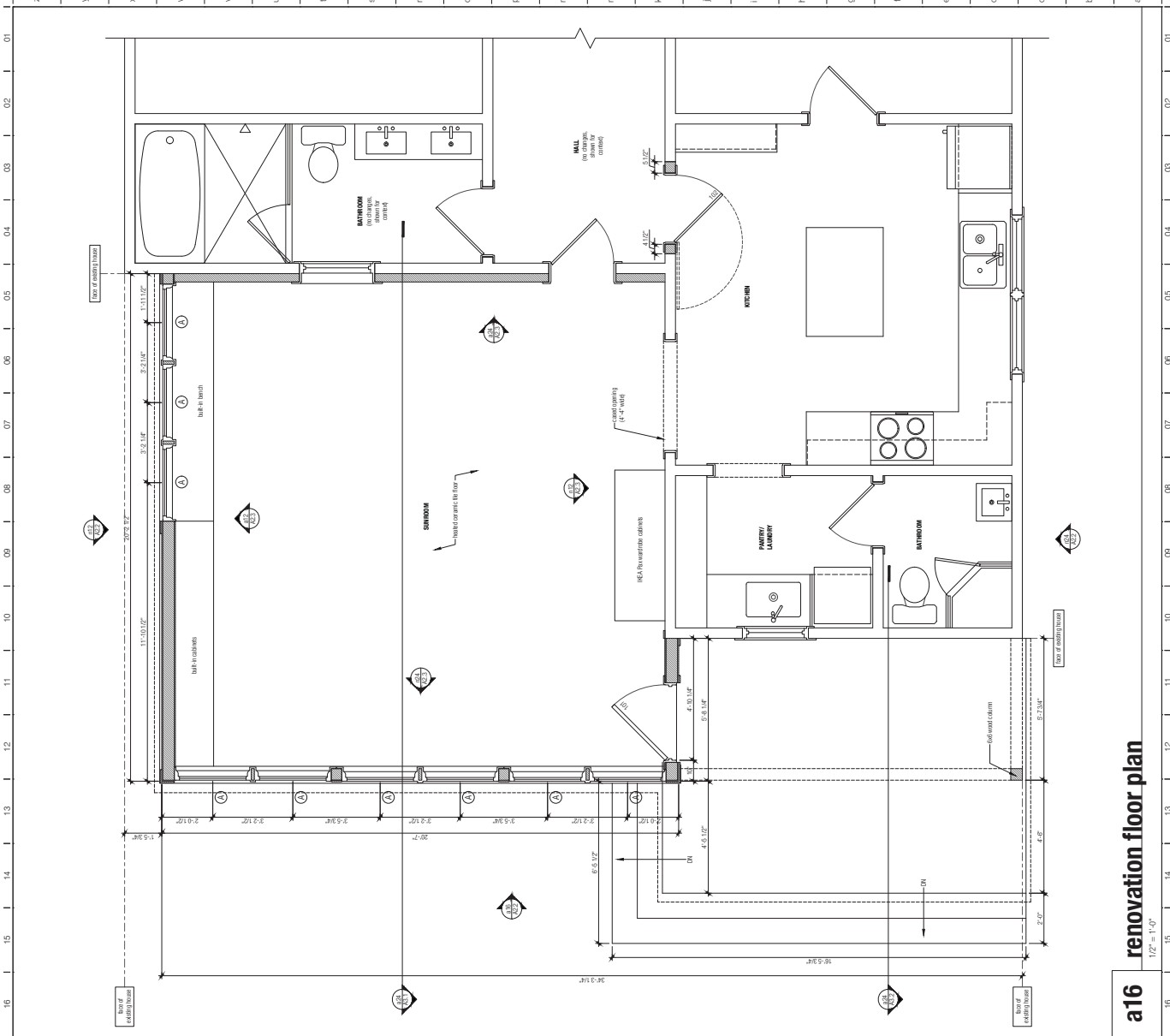
PLAN KEY	
	INCLUDE AN EXISTING WALL
	INCLUDE A NEW WALL OR COLUMN

NOTES:
 1. All work shall conform to the 1/2" UPWARD UNLESS OTHERWISE NOTED.



n20 symbols legend

	NORTH ARROW
	SPOT ELEVATION TAG
	BREAK MARK
	STRUCTURAL GRID AND IDENTIFICATION #
	SLOPE INDICATOR
	ELEVATION TAG
	SECTION TAG
	DETAIL CALL-OUT



a16 renovation floor plan

1/2" = 1'-0"

SHTEYNERG RESIDENCE

SUNROOM

the historic Old North Knoxville neighborhood
Knoxville, Tennessee

client:
Catherine & Gary Steynberg
221 E. Oakmont Avenue
Knoxville, TN 37917

architect:
open door
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Knoxville, Tennessee 37917
www.opendoorarchitecture.com

project contact:
Sara Martin - 865.602.4756
Alexandra - 865.602.4756
Jessica Parker - 865.880.0323

17002

DATE:	April 9, 2018
DRAWING PURPOSE:	PERMIT
REVISIONS:	

a1.2

renovation floor plan, general notes, and symbols legend

**SHTEYNERG
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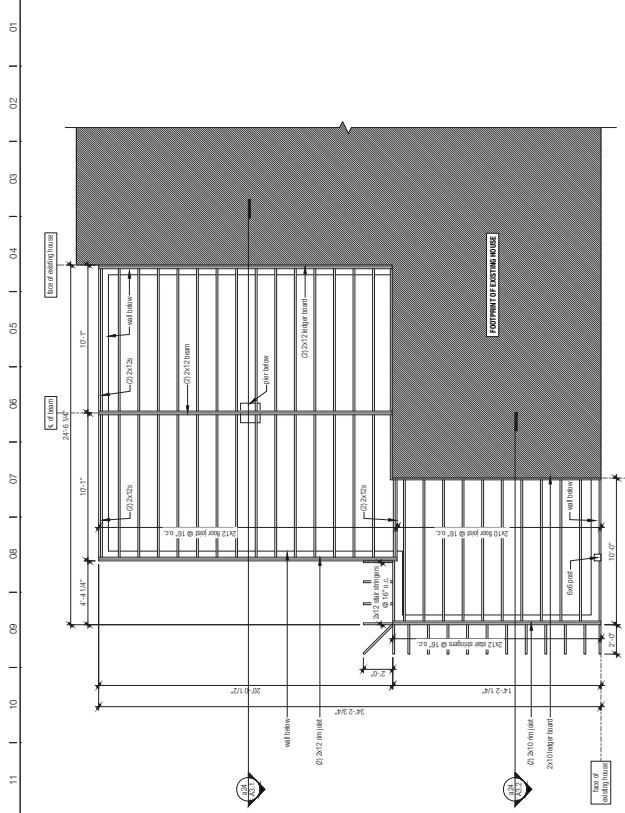
17002

DATE:
April 9, 2018

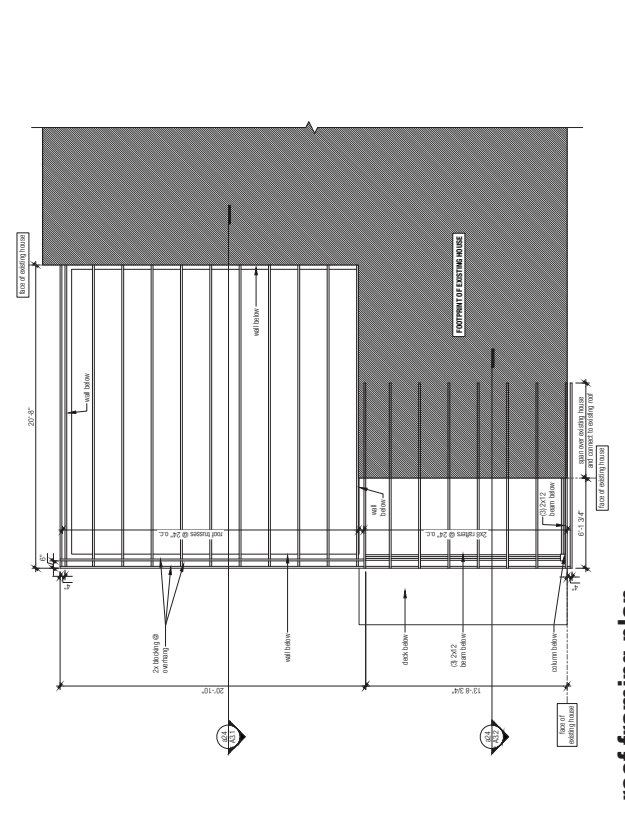
DRAWING PURPOSE:
PERMIT

REVISIONS:

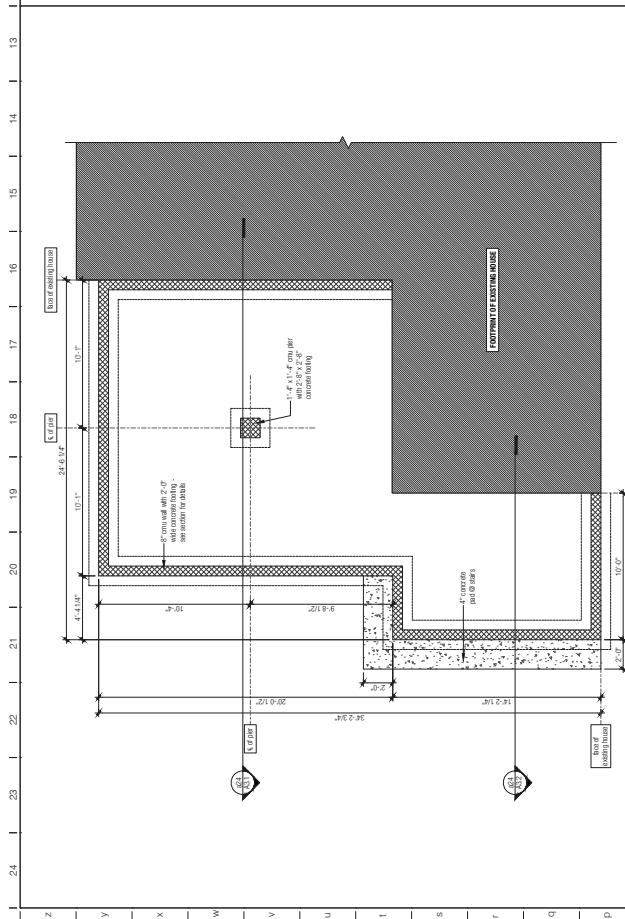
a1.3
foundation and framing plans



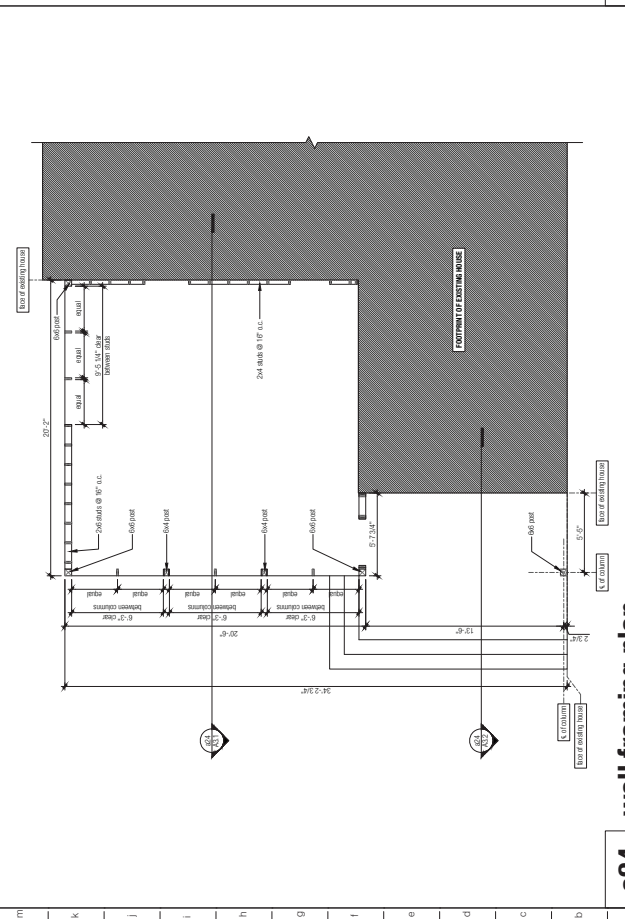
n12 floor framing plan
1/4" = 1'-0"



a12 roof framing plan
1/4" = 1'-0"



n24 foundation plan
1/4" = 1'-0"



a24 wall framing plan
1/4" = 1'-0"

SHTEYNERG RESIDENCE

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architect:
open door
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project contact:
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Catherine Steyberg - 865.602.4756
Jessica Peltzer - 865.888.0323

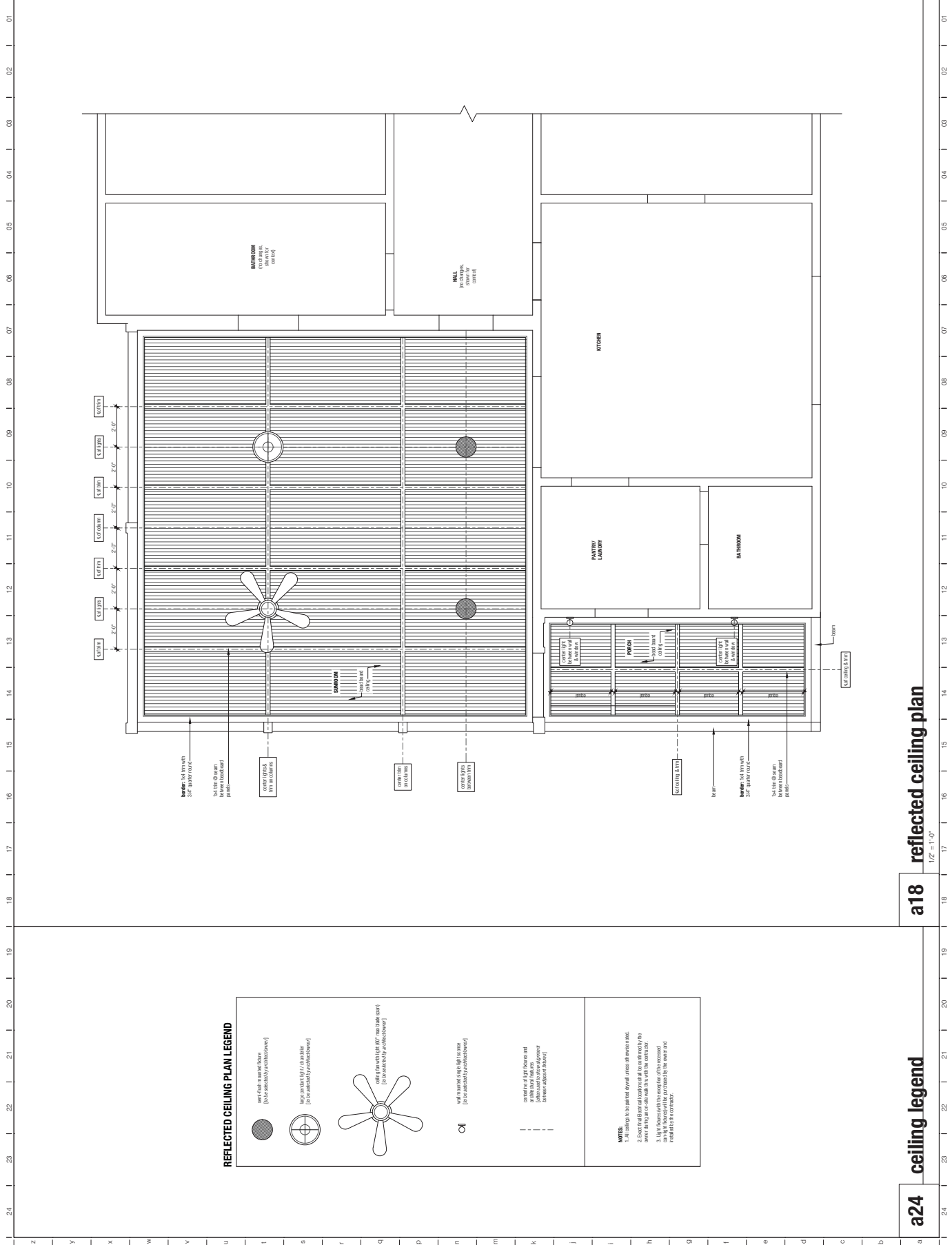
17002

DATE:
April 9, 2018

DRAWING PURPOSE:
PICTORY

REVISIONS:

a1.4
reflected ceiling plan and ceiling
legend



REFLECTED CEILING PLAN LEGEND

- wall-mounted light fixture
[to be selected by architect/client]
- recessed light fixture
[to be selected by architect/client]
- ceiling fan with light fixture
[to be selected by architect/client]
- wall-mounted light fixture
[to be selected by architect/client]
- perimeter of light fixture and
[to be used by contractor
to determine fixture location]

NOTES:

1. All lighting to be installed shall be in the sunroom.
2. Except for electrical conduits, all lighting fixtures shall be reflected in the sunroom drawing as shown with the contractor.
3. Light fixtures with the exception of the recessed ceiling light fixture shall be purchased by the owner and installed by the contractor.

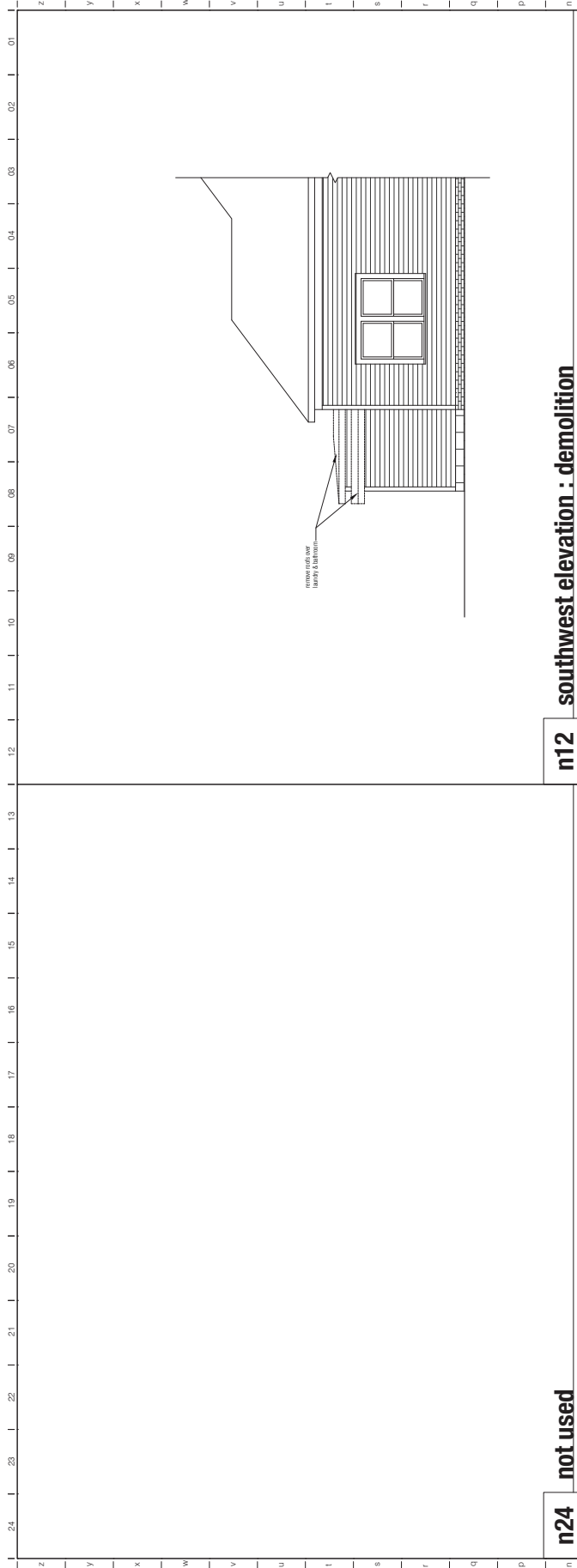
a18 reflected ceiling plan

a24 ceiling legend

n24 not used

n12 southwest elevation : demolition

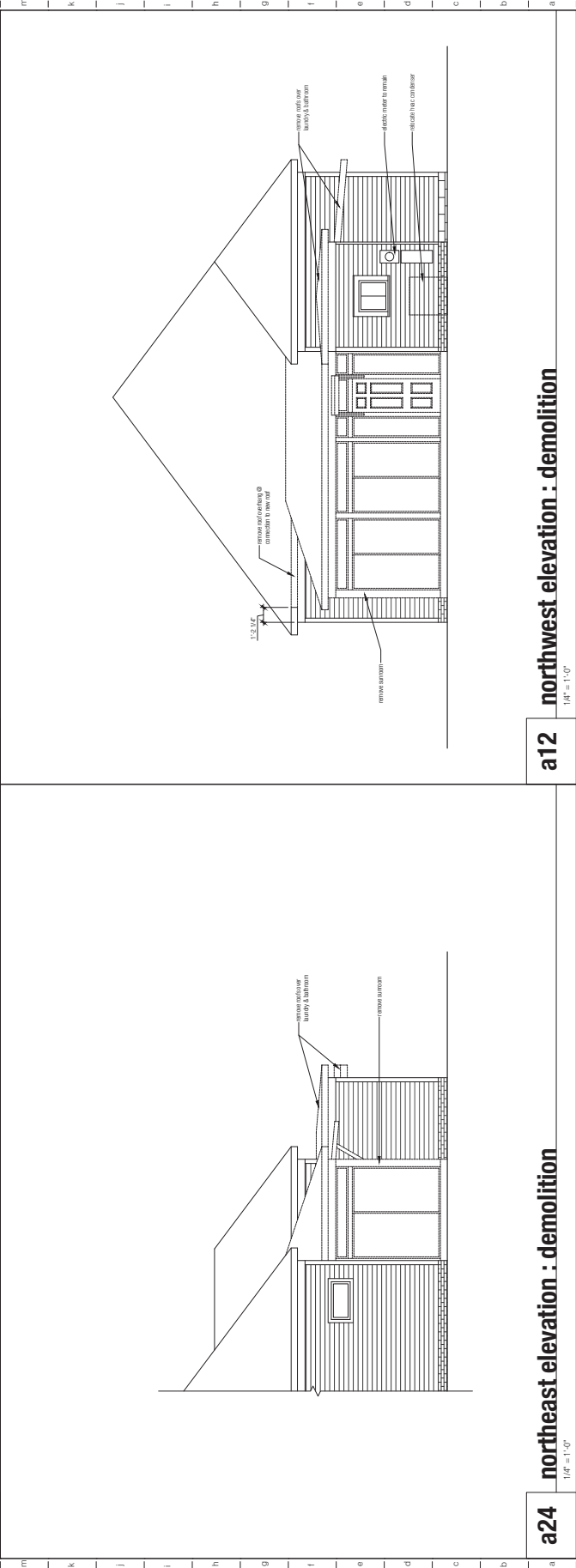
1/4" = 1'-0"



n24 not used

n12 southwest elevation : demolition

1/4" = 1'-0"



a24

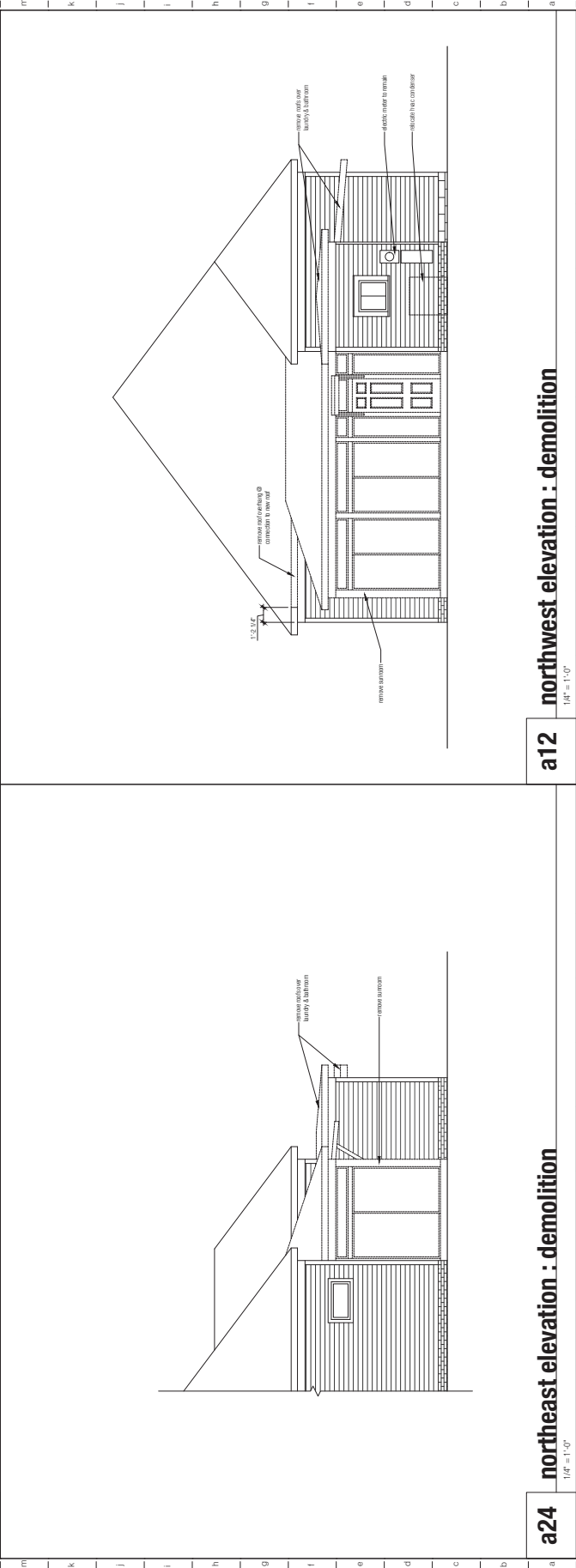
northwest elevation : demolition

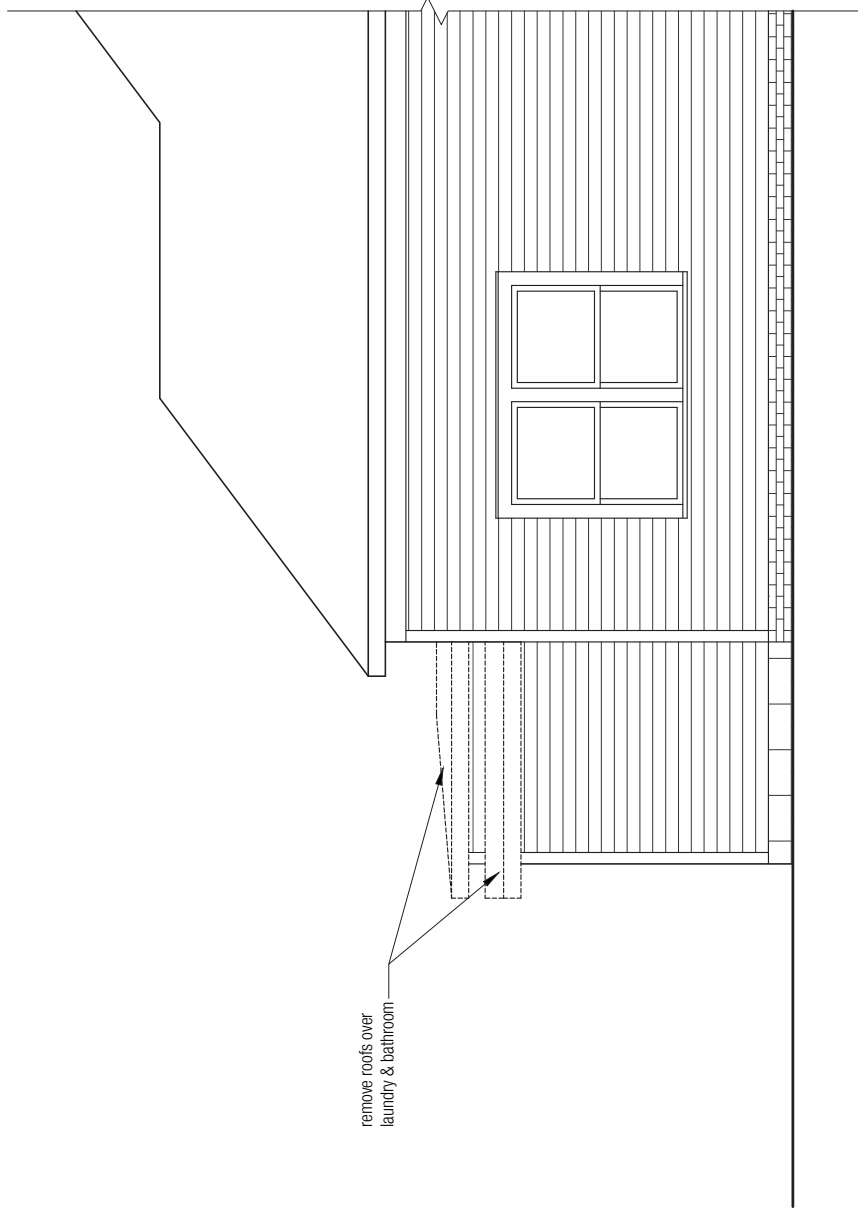
1/4" = 1'-0"

a12

northwest elevation : demolition

1/4" = 1'-0"



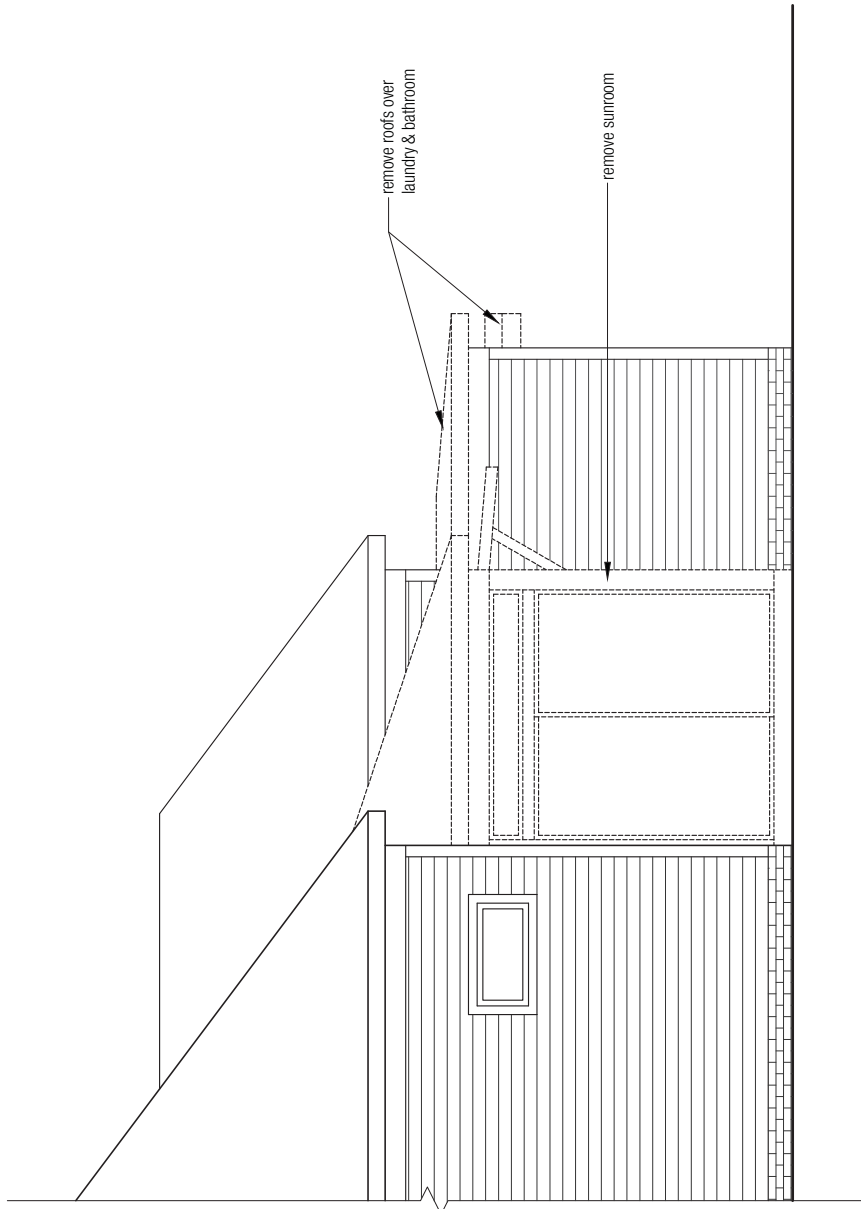


remove roofs over
laundry & bathroom

n12

southwest elevation : demolition

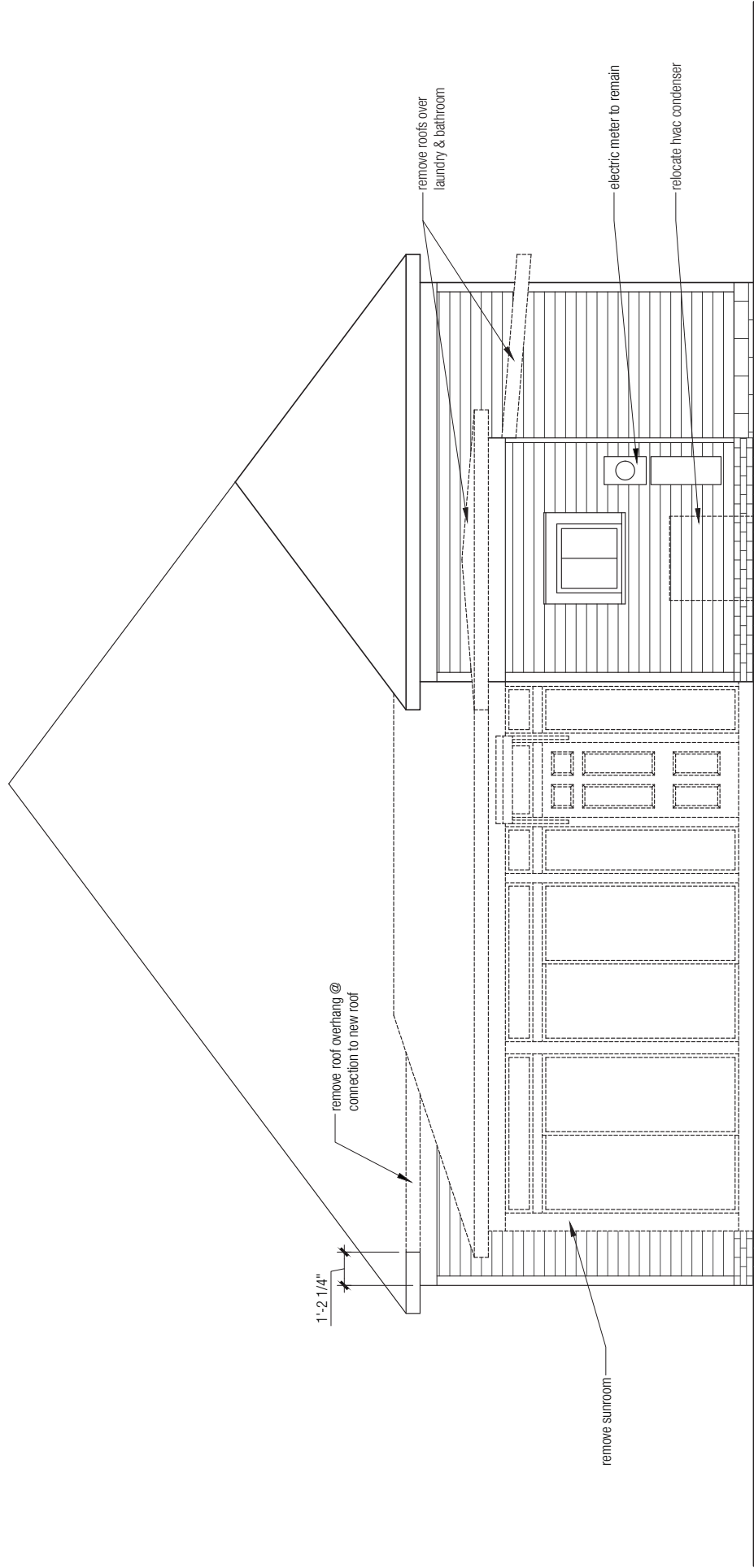
1/4" = 1'-0"



a24

northeast elevation : demolition

1/4" = 1'-0"



a12

northwest elevation : demolition

1/4" = 1'-0"

**SHTEYNBERG
RESIDENCE**
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Knoxville neighborhood
Knoxville, Tennessee

client: Catherine & Gary Steynberg
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architect: **open door**
ARCHITECTS
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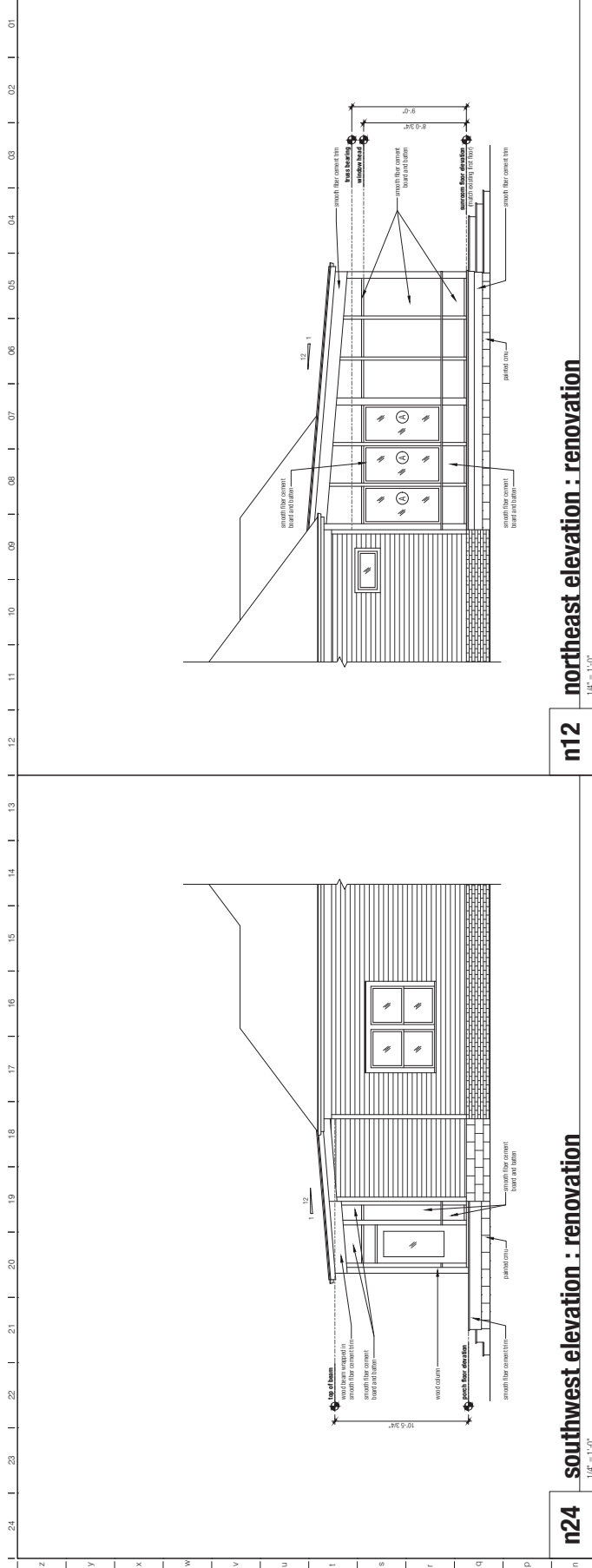
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Sara@opendoorarchitects.com
Jessica Pritchett - 865.888.0323

17002

DATE: April 9, 2018
DRAWING PURPOSE: PERMIT
REVISIONS:

a2.2

renovation exterior elevations and
window/door schedules



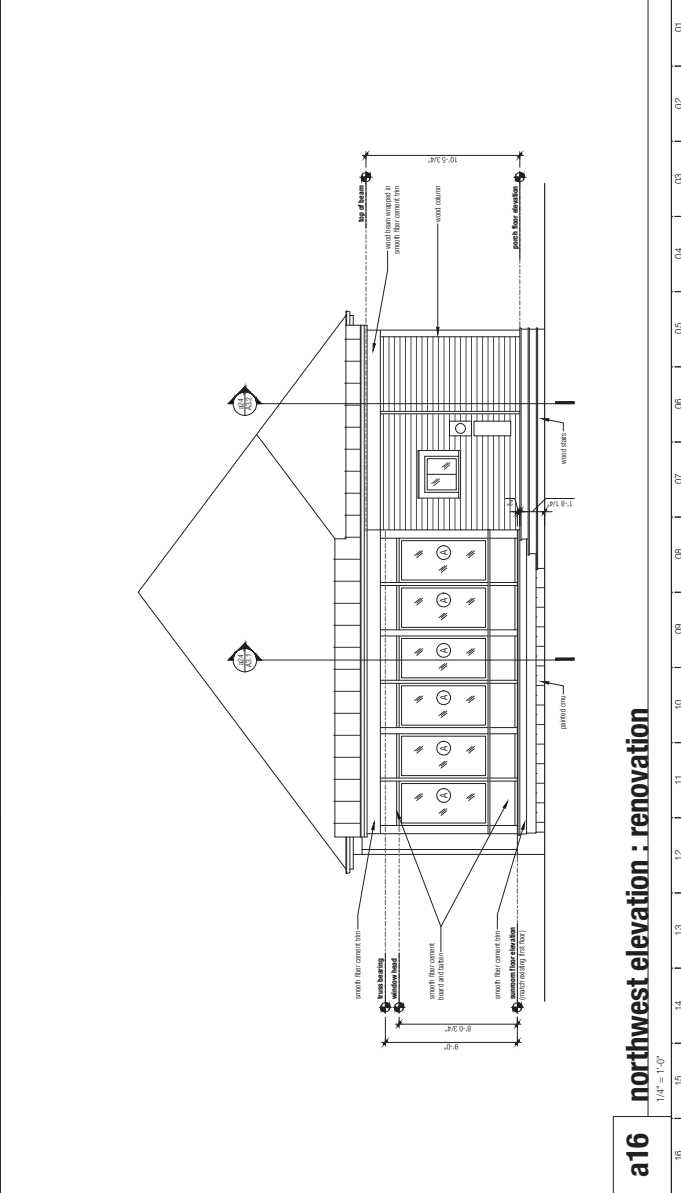
n24 southwest elevation : renovation
1/4" = 1'-0"

WINDOW DISCREMINATOR	MANUFACTURER (AS MANUFACTURED)	TYPE	WIDTH	HEIGHT	HEAD HEIGHT (AS MANUFACTURED)	INSTRUCTIONS
①	J&J Iron wood window	casement	3'-0"	6'-0"	6'-0 3/4"	-

g24 window schedule

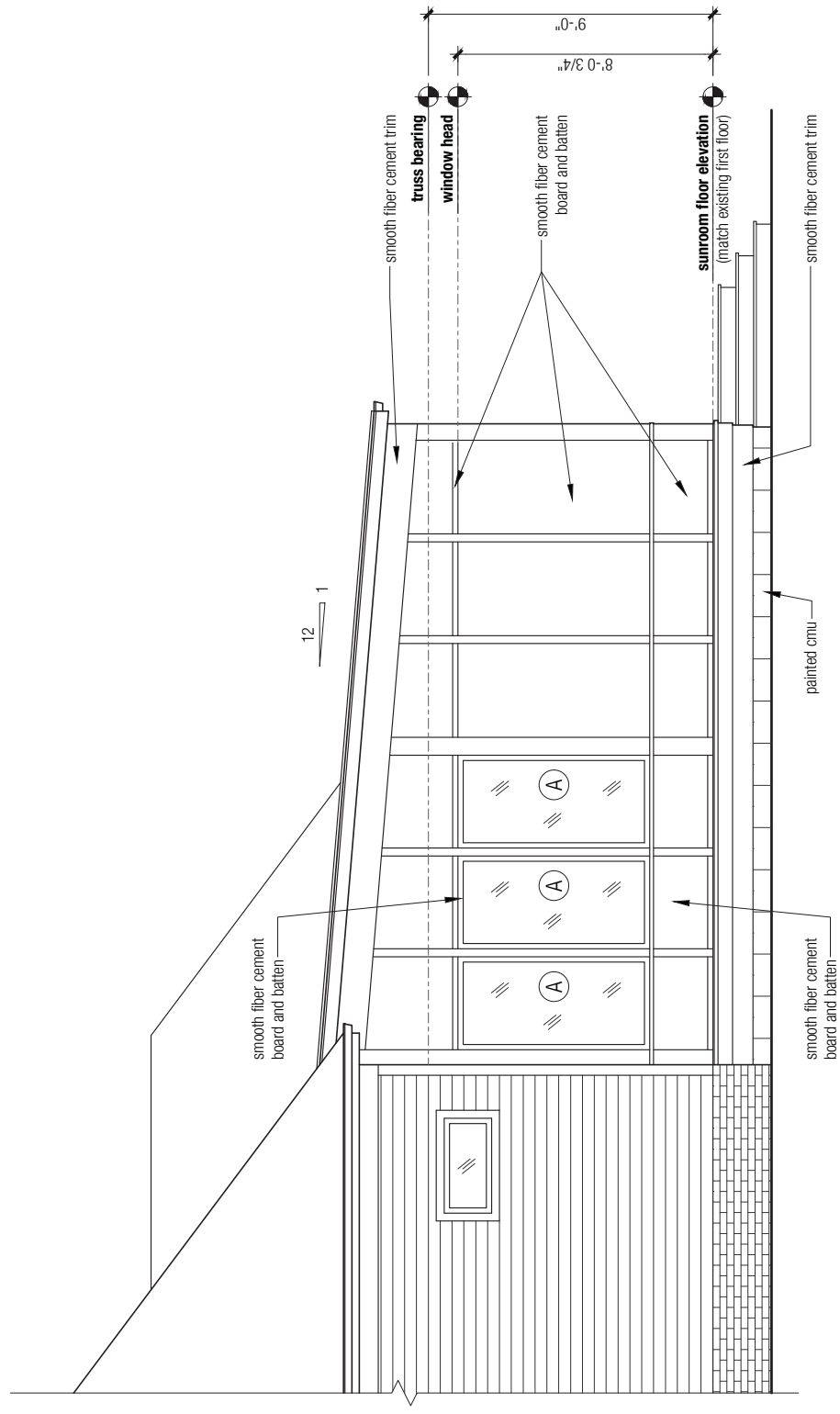
DOOR	DOOR DISCREMINATOR	DESCRIPTION	WIDTH	HEIGHT	LEVELS (AS MANUFACTURED)
102	102	casement wood door to sunroom	3'-0"	7'-0"	1, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124
102	102	door stacked from entrance to sunroom	2'-8"	7'-0"	1, 102

a24 door schedule



n12 northeast elevation : renovation
1/4" = 1'-0"

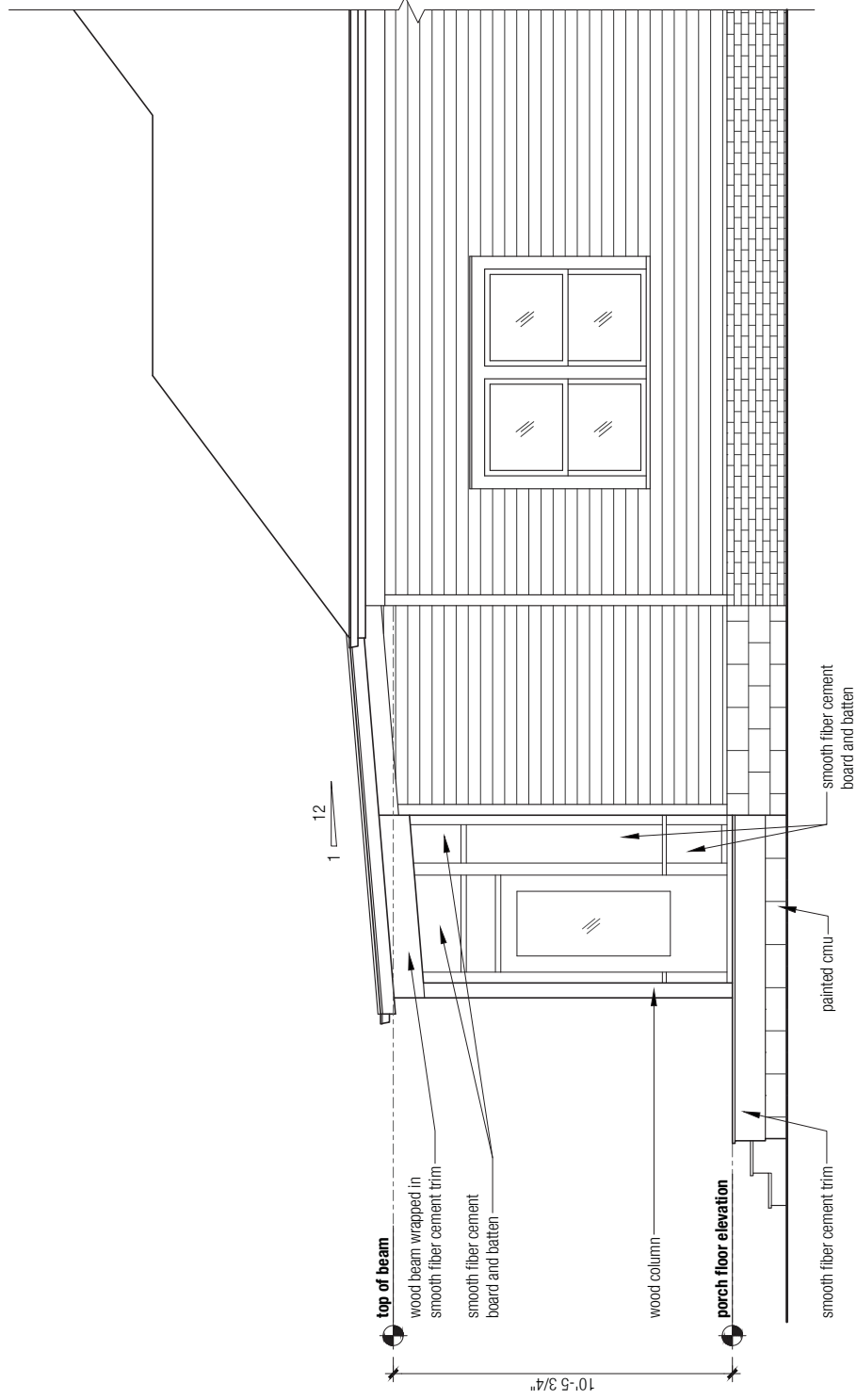
a16 northwest elevation : renovation
1/4" = 1'-0"



n12

northeast elevation : renovation

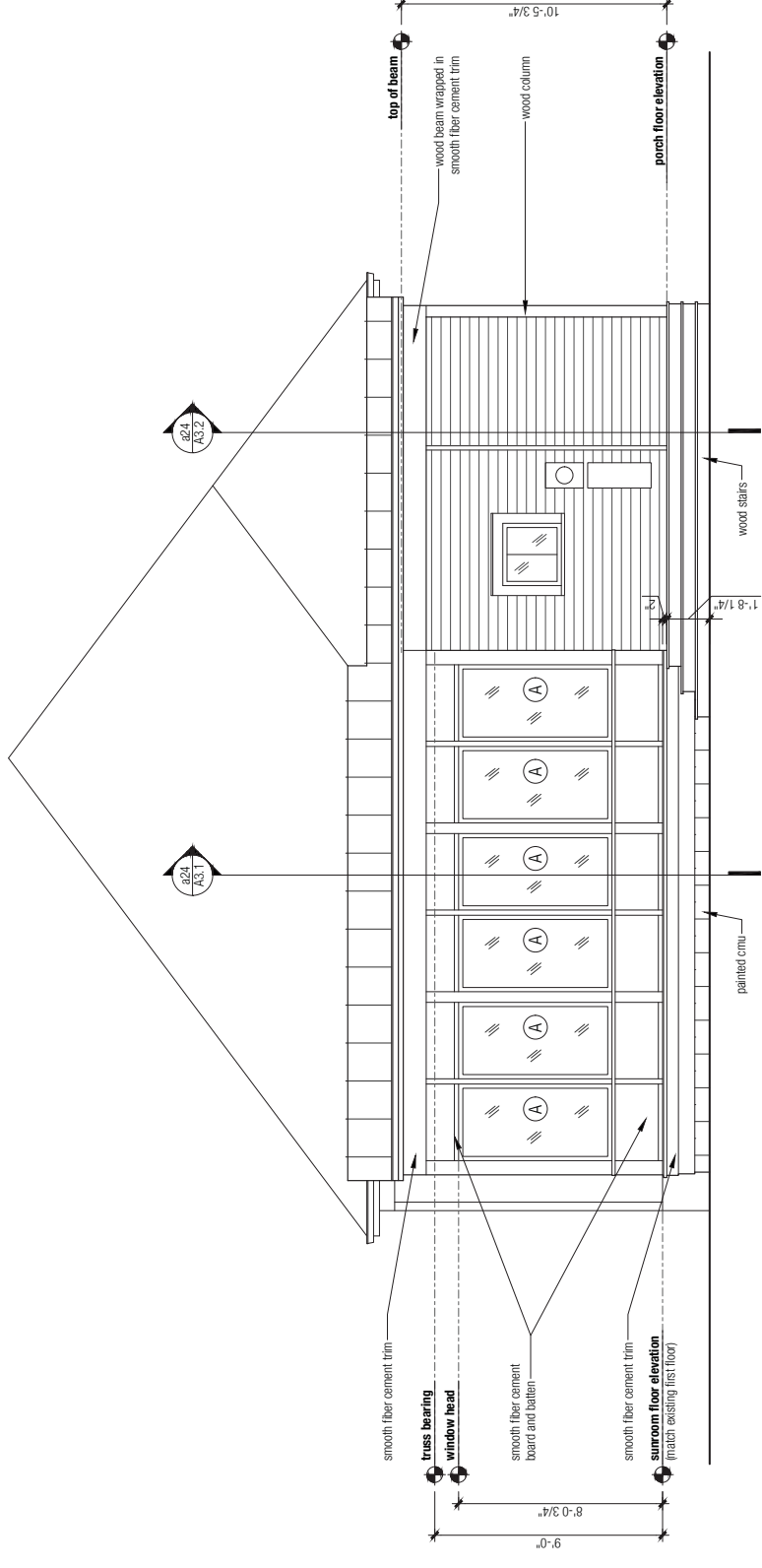
1/4" = 1'-0"



n24 southwest elevation : renovation

1/4" = 1'-0"

n24



a16

northwest elevation : renovation

1/4" = 1'-0"

**SHTEYNBERG
RESIDENCE**
SUNROOM

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Knoxville neighborhood
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client:
Catherine & Gary Shteynberg
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architect:
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17002

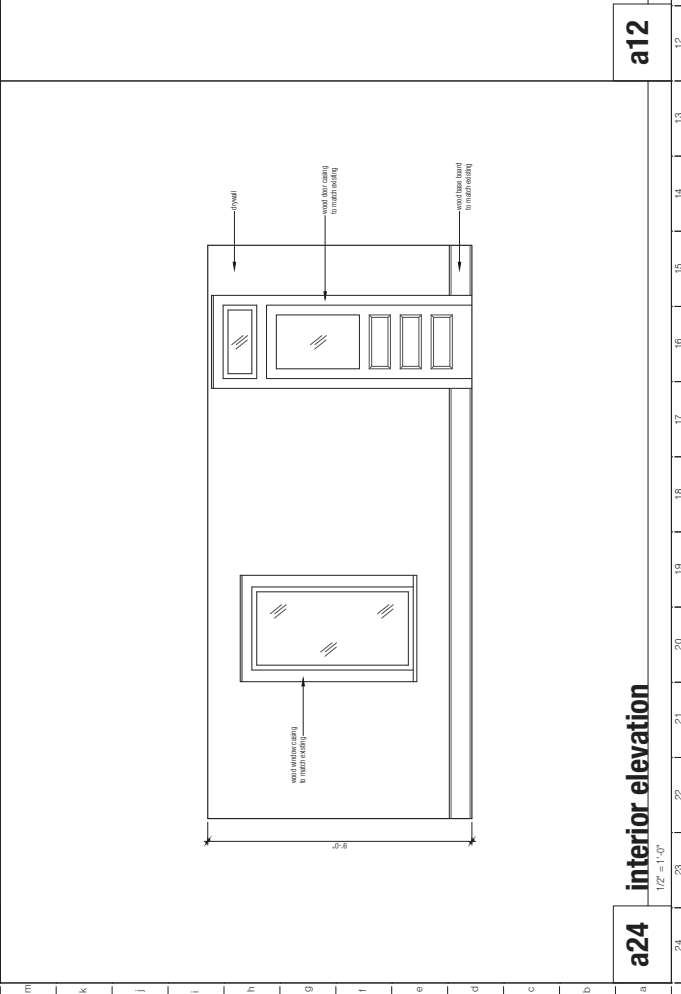
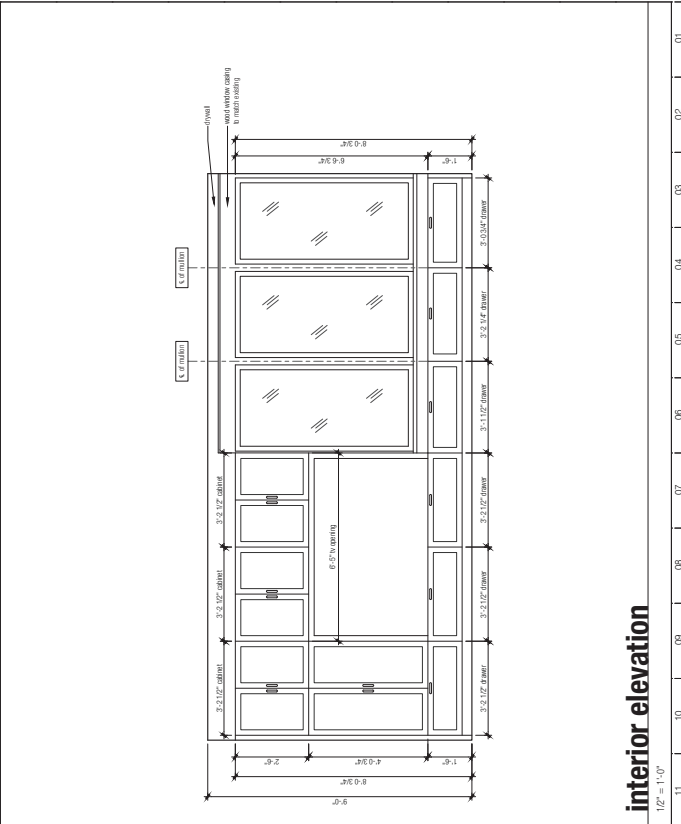
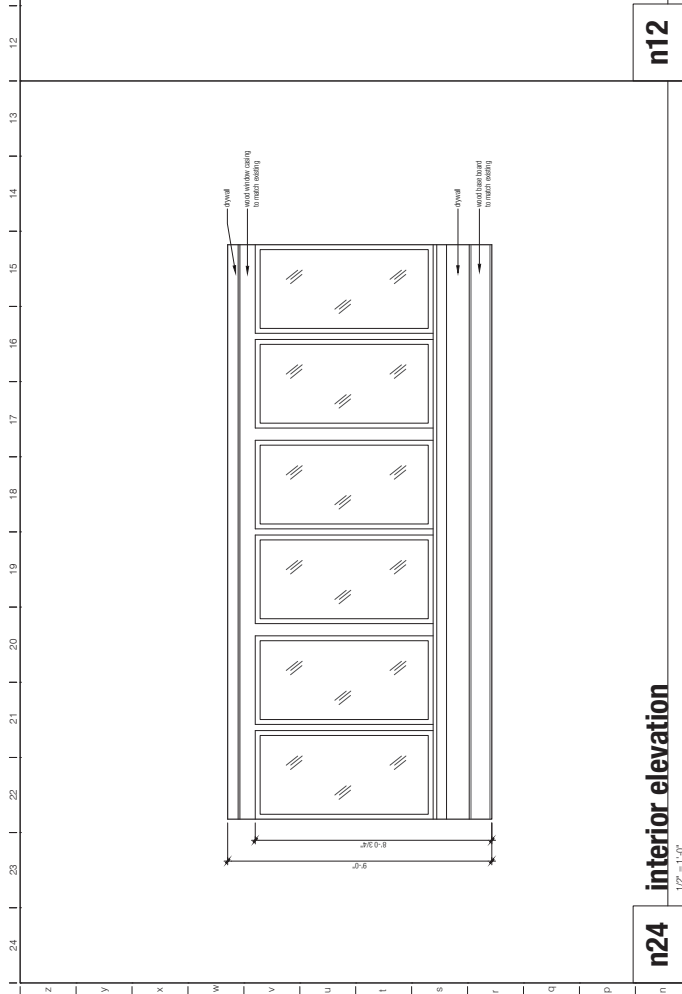
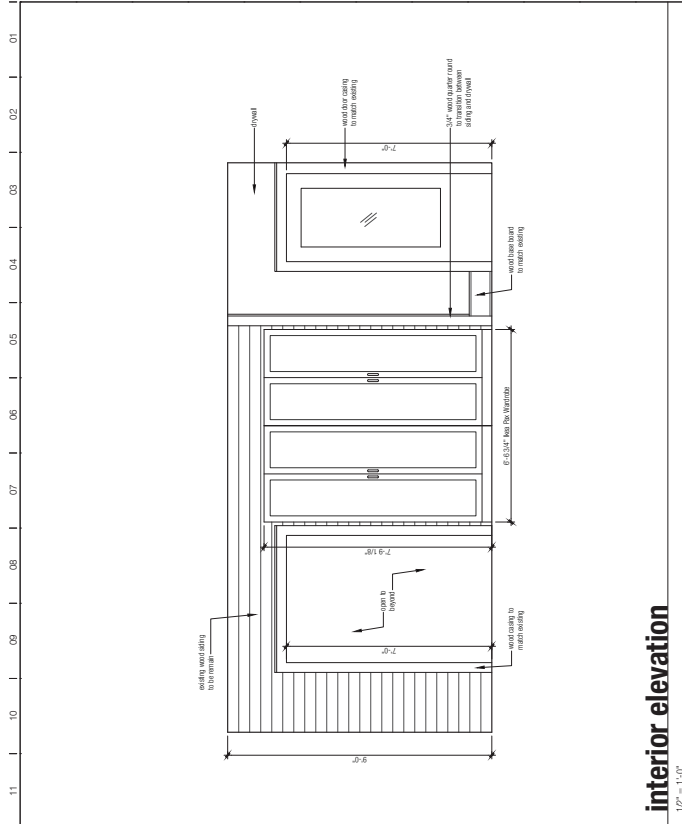
DATE:
April 9, 2018

drawing purpose:
plans

revisions:

a2.3

interior elevations



**SHTEYNBERG
RESIDENCE**
SUNROOM

the historic Old North
Knoxville neighborhood
Knoxville, Tennessee

client:
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221 E. Oakmont Avenue
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architect:
open door
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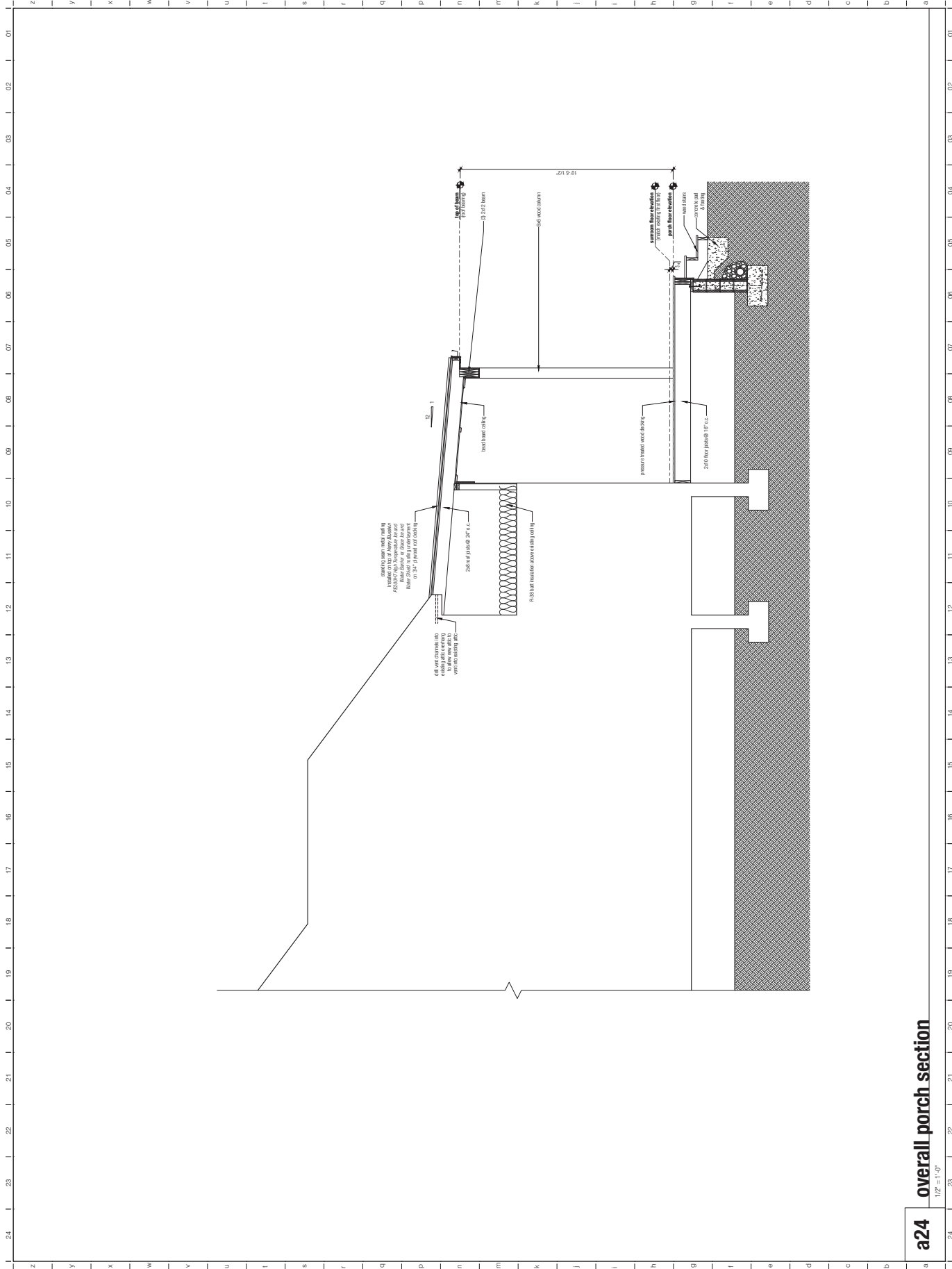
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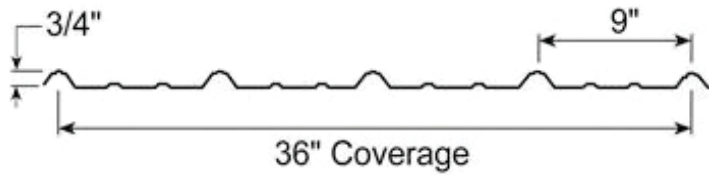
DRAWING PURPOSE:
PICTORIAL

REVISIONS:

a3.2
overall porch section



a24
1/8" = 1'-0"
overall porch section



Panel Details

- * 36" Total Coverage - 3/4" Rib Height
- * 29 & 26 Gauge Available
- * 23 Available Colors in a Valspar Weather XL 40 Year Paint Warranty System
- * Available in G90 and Galvalume
- * Exposed Fasteners
- * Agricultural & Residential Use
- * Anti-Siphon Sidelap Design for Weather Tightness
- * Applies Over Open Framing or Solid Substrates
- * Suggested Minimum Roof Slope 3:12



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Metal Roofs on East Oklahoma Homes Using Non-Standing Seam, Exposed Hardware (e.g. like Tuff-Rib)

