



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 405 E Oklahoma Ave 37917

FILE NO.: 7-G-18-HZ

DISTRICT: Old North Knoxville H-1

MEETING DATE: 7/19/2018

APPLICANT: James B. Stewart Brick-by-Brick, LLC (contractor)

LEVEL OF WORK: Level II. Construction of outbuilding

PROPERTY DESCRIPTION: Queen Anne (c. 1910)

One-story frame with weatherboard wallcovering. Hip roof with cross front gable with sawn wood attic vent. Double-hung two-over-two windows and a cottage-style window on the front projecting gable. One-story three-quarter front porch with turned wood columns and 2x2 square balustrade (may have originally featured sawnwork). Two interior offset brick chimneys. Brick foundation. Irregular plan. (Contributing)

► **DESCRIPTION OF WORK:**

Construction of a 22x24 wood framed, front-gabled carport. Roof to have 5/12 roof pitch and 2-foot overhangs. Enclosed and sheathed in wood siding on the side fronting the alley. Constructed with Craftsman details to include exposed rafter tails on each side, three eave brackets and center kingposts on each gabled end, and vertical slat vent on front gable. Single overhead garage aluminum garage door to appear as two sets of carriage house doors with appropriate hardware and paneled divisions, but no windows. Built on a slab and set back 25 feet from the alley. Side setbacks to be ~10 feet and 8'-7" (see submitted drawings).

► **APPLICABLE DESIGN GUIDELINES:**

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

M. OUTBUILDINGS

1. The design of outbuildings such as garages shall acknowledge and suggest the function of original outbuildings that would have been located in the neighborhood.
 2. The design of features like garage doors that face the street shall mimic carriage house doors from an era consistent with the primary building on the lot.
 3. Garages shall be located to the rear of the primary building on the lot.
 4. Materials used in constructing outbuildings or accessory buildings may only use materials and design characteristics selected from the following list: wood lap siding with a four inch lap or board and batten; a 12/12 roof pitch; overhanging eaves; exposed rafter tails; wood windows; masonry but not exposed concrete block or split-face block; garage doors appearing to be carriage doors or plank doors with x-bracing or perimeter reinforcing timbers.
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COMMENTS:

STAFF FINDINGS:



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- 1) The house is a contributing structure within the Old North Knoxville H-1 overlay and the National Register district.
- 2) Garages were often not built for Queen Anne-era houses until the 1920, which was during the Craftsman period, so the proposed styling and details appropriately indicates a stylistic evolution that occurred in the neighborhood.
- 3) Although carports are a structure that appeared later than these districts, the open sides of the carport are less obtrusive and impactful than the subject and surrounding properties.
- 4) The front of the carport will appear as a garage from the alley, and will not be visible from the street right-of-way.
- 5) The proposed 6x6 wood posts and siding, along with the asphalt shingled roof are appropriate materials for the district. Steel garage doors designed to appear as carriage house doors have a precedent for approval in similar situations in the district.
- 6) The ~10- and ~9 -foot setbacks are appropriate for the site.

► **STAFF RECOMMENDATION:**

Approval with the submittal of a final specification sheet on the overhead garage door with side-opening appearance for staff approval.

Certificate (File) No: _____

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. **APPLICANT NAME:** Brick by Brick LLC
Address: 1645 Rising View LN
Telephone: 865 679 1955 E-mail address: BBBKnoxville@gmail.com
Relationship to Owner: Contractor

2. **OWNER NAME:** Kurt Weiss
Address: 405 east oklahoma
Telephone: 865 - 712 - 2222 E-mail address: KKweiss@1-actconsulting.com

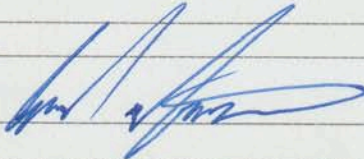
3. **LOCATION OF PROPERTY:**
Address: 405 east oklahoma Tax ID/Lot/Parcel No: 082L Q 023 group: Q

4. LEVEL OF WORK (circle Level)

- Level I Routine repair; replacement of deteriorated materials in-kind; removal of artificial siding; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure or a late addition; renewal of COA
- Level II Major replacement of materials or architectural elements; construction of an addition or outbuilding
- Level III Construction of a new primary building; subdivision of individually designated property
- Level IV Demolition or relocation of a contributing structure

5. **DESCRIPTION OF WORK:** (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

Building a carport on back of property. Mandible Slab, Wood straches, shingle roof, 2 car garage door, sidewalk

6. **SIGNATURE OF APPLICANT:**  Date: 7-2

Incomplete applications cannot be accepted.

Mail application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902; or Fax: (865) 215-2068; or E-mail to Kaye.Graybeal@knoxmpc.org
Phone: (865) 215-3795

FOR STAFF USE ONLY			
Date Received _____	Approved _____	Disapproved _____	Approved As Modified _____
Date Acted On _____			

The Weiss Residence Carport

7/2/2018

General Project Description

We will be working in the backyard of the home. The project will include a two car carport with a garage door and mini side wall. A monolithic slab will need to be poured that will also include the footers.

Carport Additions

- A-Frame roof to match existing
- Siding to match existing home
- GAF roofing shingles to match existing home
- Gutters to match existing home.
- White 2 car garage door.
- Paint to match existing home.

NOTES:

2. BUILDER MUST CHECK, VERIFY AND APPROVE ALL DIMENSIONS, LENGTHS, AND FRAMING CONDITIONS BEFORE STARTING CONSTRUCTION AND FOUNDATION WORK.

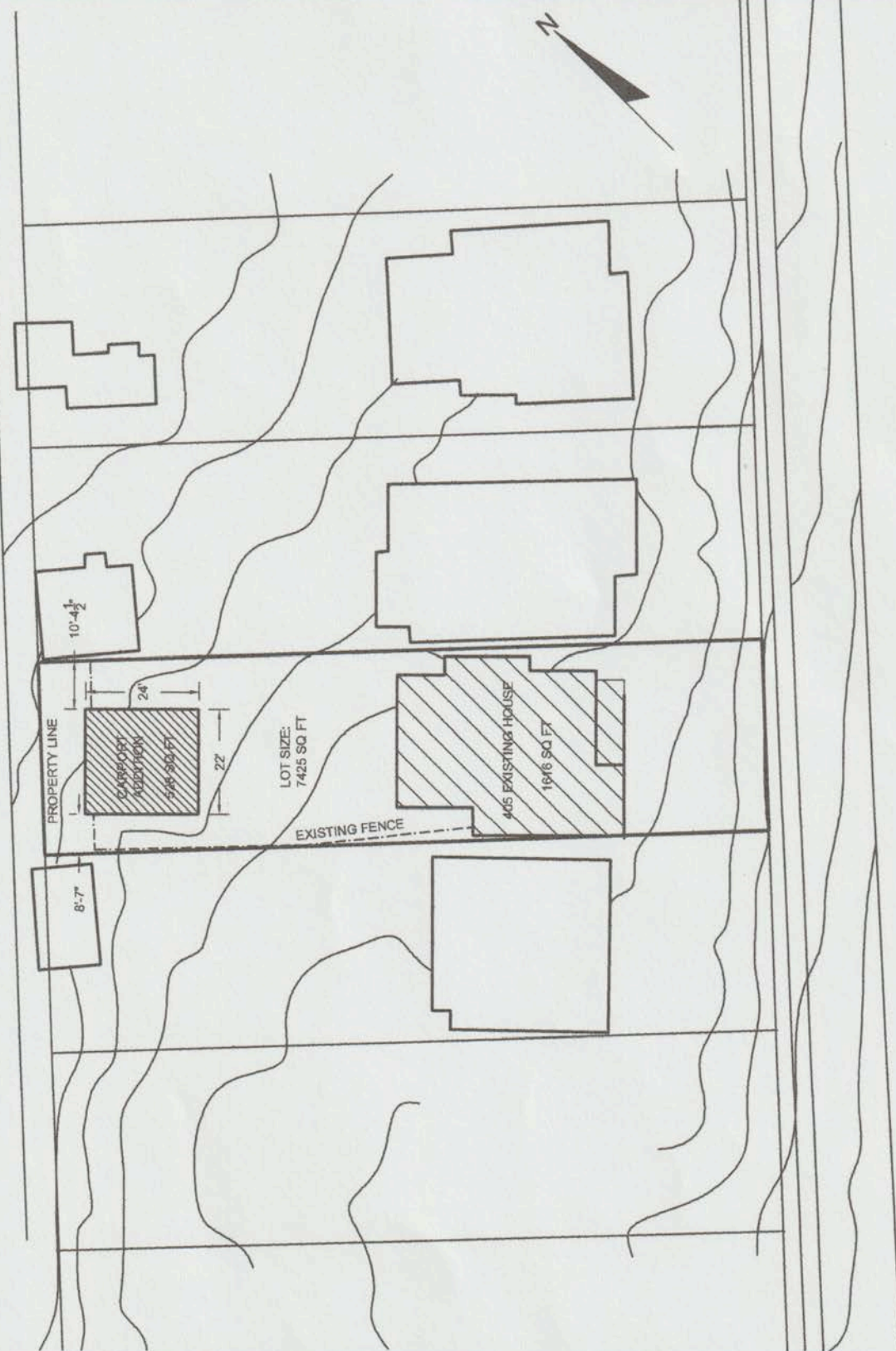
CONSTRUCTION NOTES

NO.	DESCRIPTION	BY	DATE
1	DESCRIPTION	BY	DATE
2	DESCRIPTION	BY	DATE
3	DESCRIPTION	BY	DATE
4	DESCRIPTION	BY	DATE

BUILDER:

CLIENT:

SITE:	405 EAST OKLAHOMA
TITLE:	SITE PLAN
SCALE:	DATE: 6-18-18
REV:	1" = 32'



LOT COVERAGE INFO
 LOT AREA: 7425 SQ FT
 MAX BUILDING COVERAGE: 30% OR 2227.5 SQ FT
 ACTUAL BUILDING COVERAGE: 2144 (28.8%)

405 EAST OKLAHOMA AVENUE
 PARCEL ID: 081LQ023 GROUP: Q
 LOT AREA: 7425 SQ FT



405 East Oklahoma – Front façade

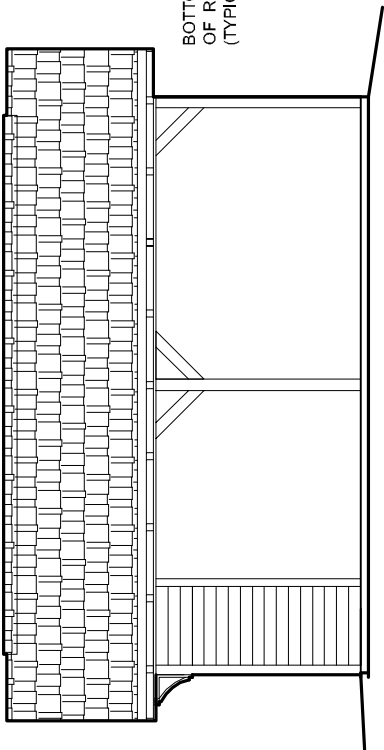


405 East Oklahoma – Rear facade

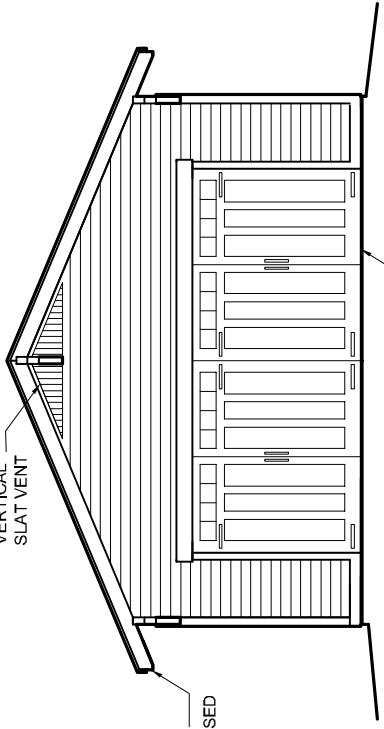


CARPORT ADDITION

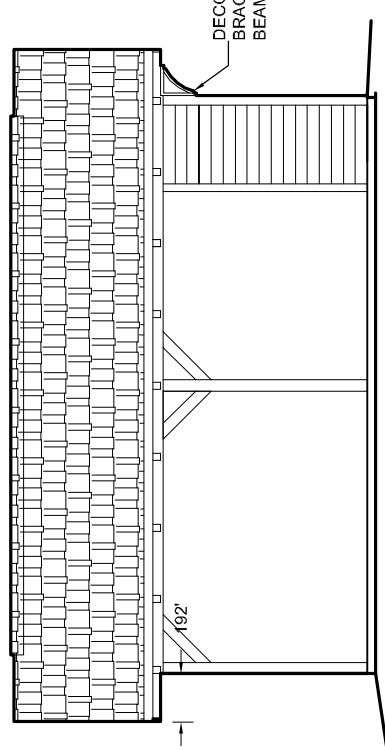
405 EAST OKLAHOMA



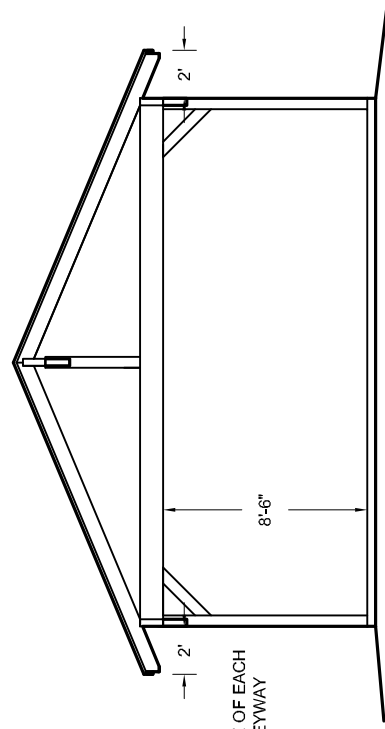
1 SIDE ELEVATION
SCALE: 1/8"=1'



2 ENTRANCE ELEVATION
SCALE: 1/8"=1'



3 REAR ELEVATION
SCALE: 1/8"=1'



4 SIDE ELEVATION
SCALE: 1/8"=1'

NOTES:

1. CONFIRM ALL DETAILS WITH THE FOLLOWING REFERENCES:
 "2012 International Residential Code (CHAPTERS 4,8,9)"
 "American Wood Council's WCD 2 - Tongue and Groove Roof Decking"
 "American Wood Council's WCD 5 - Heavy Timber Construction"
2. BUILDER MUST CHECK, VERIFY AND APPROVE ALL DIMENSIONS, LENGTHS, AND FRAMING CONDITIONS BEFORE STARTING CONSTRUCTION AND FOUNDATION WORK.

CONSTRUCTION NOTES

REV.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	06/18/2018

BUILDER:

CLIENT:

SITE:	405 EAST OKLAHOMA
TITLE:	CARPENT ELEVATIONS
SCALE:	DATE: 6/18/2018
1/8"=1'	REV:

NOTES:

- 1. CONFIRM ALL DETAILS WITH THE FOLLOWING REFERENCES:
 "2012 International Residential Code (CHAPTERS 4, 6, 9)"
 "American Wood Council's WCD 2 - Tongue and Groove Roof Decking"
 "American Wood Council's WCD 5 - Heavy Timber Construction"
- 2. BUILDER MUST CHECK, VERIFY AND APPROVE ALL DIMENSIONS, LENGTHS, AND FRAMING CONDITIONS BEFORE STARTING CONSTRUCTION AND FOUNDATION WORK.

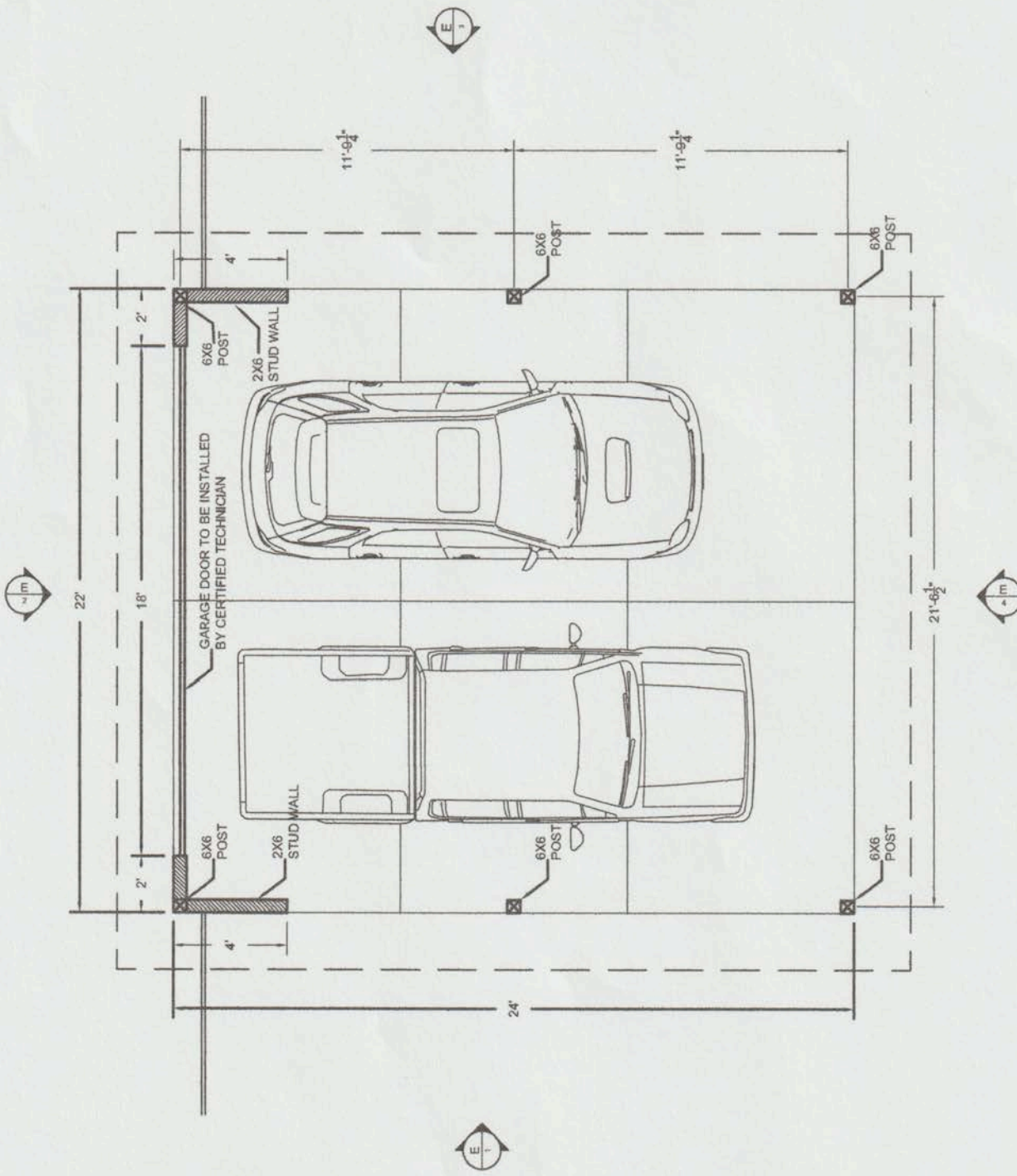
CONSTRUCTION NOTES/NOTES

NO.	DESCRIPTION	DATE	BY
1	DESCRIPTION		
2	DESCRIPTION		
3	DESCRIPTION		

BUILDER:

CLIENT:

SITE: 405 EAST OKLAHOMA
 TITLE: CARPORT FLOOR PLAN
 SCALE: 1/8"=1' DATE: 6/18/2018 REV:



CARPORT FLOOR PLAN
 SCALE: 1/8"=1'

NOTES:

1. CONFIRM ALL DETAILS WITH THE FOLLOWING REFERENCES:
 - "2012 International Residential Code (CHAPTERS 4.8.9)"
 - "American Wood Councils WCD 2 - Tongue and Groove Roof Decking"
 - "American Wood Councils WCD 5 - Heavy Timber Construction"
2. BUILDER MUST CHECK, VERIFY AND APPROVE ALL DIMENSIONS, LENGTHS, AND FRAMING CONDITIONS BEFORE STARTING CONSTRUCTION AND FOUNDATION WORK.

CONSTRUCTION NOTES/NOTES

REV	DESCRIPTION	DATE	BY	CHKD

STATUS:

BUILDER:

CLIENT:

SITE:	405 EAST OKLAHOMA
TITLE:	ROOFING PLAN
SCALE:	DATE: 6/24/18
3/16"=1'	REV:

4X12 PERIMETER BEAM

24" OC

2X8 OUTRIGGER BLOCKING

2'-11 1/2"

2'-11 1/2"

6X6 POST BELOW

4X8 RAFTERS @ 35-1/2" OC TYPICAL

4X12 RIDGE BEAM

2 X 8 FASCIA BOARD

6X6 POST BELOW



11'-9 1/4"

6X6 POST BELOW

2'

26'-3"

ANCHOR RAFTERS TO TOP OF BEAMS WITH TIMBER SCREWS 1/4-in x 10-in THROUGH TOP OF RAFTER AND INTO BEAM AT EVERY POINT. HEAVY TIMBER SAMPSON TIES CAN BE USED AS WELL.

3'-11 1/4"

2X6 T&G

5/12 ROOF PITCH

4X12 RIDGE BEAM LOCATED ON ENDS AND CENTER POST

21'-5"

MONOLITHIC SLAB SEE FOOTER PLAN

S CROSS SECTION
2 SCALE: 1/8"=1'

8'-6"

2'



405 Oklahoma – Proposed garage door