



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 1416 Forest Ave 37916

FILE NO.: 7-C-18-HZ

DISTRICT: Ft. Sanders NC-1

MEETING DATE: 7/19/2018

APPLICANT: Michael Brady, Inc. (Architect)

LEVEL OF WORK: Level II. Construction of additions

PROPERTY DESCRIPTION: Craftsman (1925)

Two-story frame with brick veneer. Front-facing gable roof with asphalt shingle covering. Three-over-one double-hung windows. Side entrance under second-story enclosed porch. Transom and sidelights at front entry. Brick foundation. Brick buttresses at front steps. Rectangular plan. (Contributing)

▶ **DESCRIPTION OF WORK:**

Rear and side 2-story additions. The rear addition will feature a covered entrance and the side addition will have clerestory windows on the front. The new addition will have a painted brick base to match the color of the existing brick with vinyl trim and accents of vinyl shakes. The roofing material will be asphalt shingles. The returned cornices on the gable ends of the new addition and the rectangular attic vents will match those on the existing building. The 2-story addition will feature a covered entry. The existing entry at the rear elevation will be retained but not utilized. All windows will be 3/1 vinyl windows to match the existing style.

▶ **APPLICABLE DESIGN GUIDELINES:**

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

1. Additions should be made to the rear or side of the building.

3. Transitional space shall be provided between the addition and the existing structure. . . The wall of the new connecting structure should not be continuous with the wall of the existing building.

5. Windows or French doors and balconies shall provide 10% to 20% transparency on the sides of buildings.

9. Expansion to the front [or back] with a bay and/or a porch is acceptable.

COMMENTS:

1) Within the Fort Sanders NC-1 Overlay, only new construction (including additions), and demolition/relocation are reviewed by the HZC. The definition of demolition includes the removal of original architectural features such as porches, windows, and doors.

2) Vinyl is a material that is allowed by the Fort Sanders NC-1 Design Guidelines.

STAFF FINDINGS:

1) The building is a contributing resource within the Fort Sanders NC-1 Overlay and the National Register districts.



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2) The addition will be on the rear (south side) of the building; however, the main structure is located on a corner lot. Therefore, the addition will be visible from Laurel Avenue.

3) The addition is proposed on the elevation (rear or south side) that is the least character-defining, therefore, this side is the most appropriate side on which to add the addition. However, two sets of original window openings will be lost, with the new rear door opening eliminating an original opening for a set of twin windows. The new door could be moved east in order to retain this original window opening instead of infilling it with brick. The existing rear door opening on this elevation is not original.

4) The wall of the new connecting structure is proposed to be continuous (or to align) with the east wall of the existing building; however, the design guidelines recommend an offset so that the addition is more distinct from the original building.

5) Two-story additions are more impactful than one-story additions to historic structures, therefore, the scale of the wall elevations should be broken down by providing detail and architectural features. In this case, windows would be an appropriate feature to accomplish this. Blank walls are not appropriate or typical in the NC-1 overlay.

6) The gabled roof, at a pitch to match the existing roof, and with returned cornices, is a compatible roof form.

7) The proposal to remove all but two of the original openings on the east side will harm the historic character of the building. This side is highly visible when travelling west on Forest. The door opening and the angle-braced overhang on the east side also appear to be original.

► **STAFF RECOMMENDATION:**

Staff recommends approval with the following conditions that: 1) the east and west sides of the addition feature faux windows or some other type of embellishment that the applicant may propose; 2) the original window/door openings on the east side are to be retained or treated in a manner in which at least the appearance, if not the function, is retained; 3) the proposed rear door on the south elevation be moved east in order to retain the original twin-window opening to the west of it; and 4) the addition be offset from the southeast corner by at least one foot.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. **NAME OF APPLICANT:** Michael Brady Inc.

Address: 299 N. Weisgarber Road, Knoxville, TN 37919

Telephone: (865) 584-0999 E-mail address: valerien@mbiarch.com

Relationship to Owner: Architect

2. **NAME OF OWNER:** John Texada (Radius Partners, LLC) c/o Conversion Properties

Address: 520 Summit Hill Drive

Telephone: (865) 248-1331 E-mail address: sharrell@conversionprop.com

3. **LOCATION OF PROPERTY:**

Address: 1416 Forest Avenue , Knoxville, TN Tax ID/Lot/Parcel No: Map 94/Parcel No. 22/Ward 10
37916

4. **LEVEL OF WORK** (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

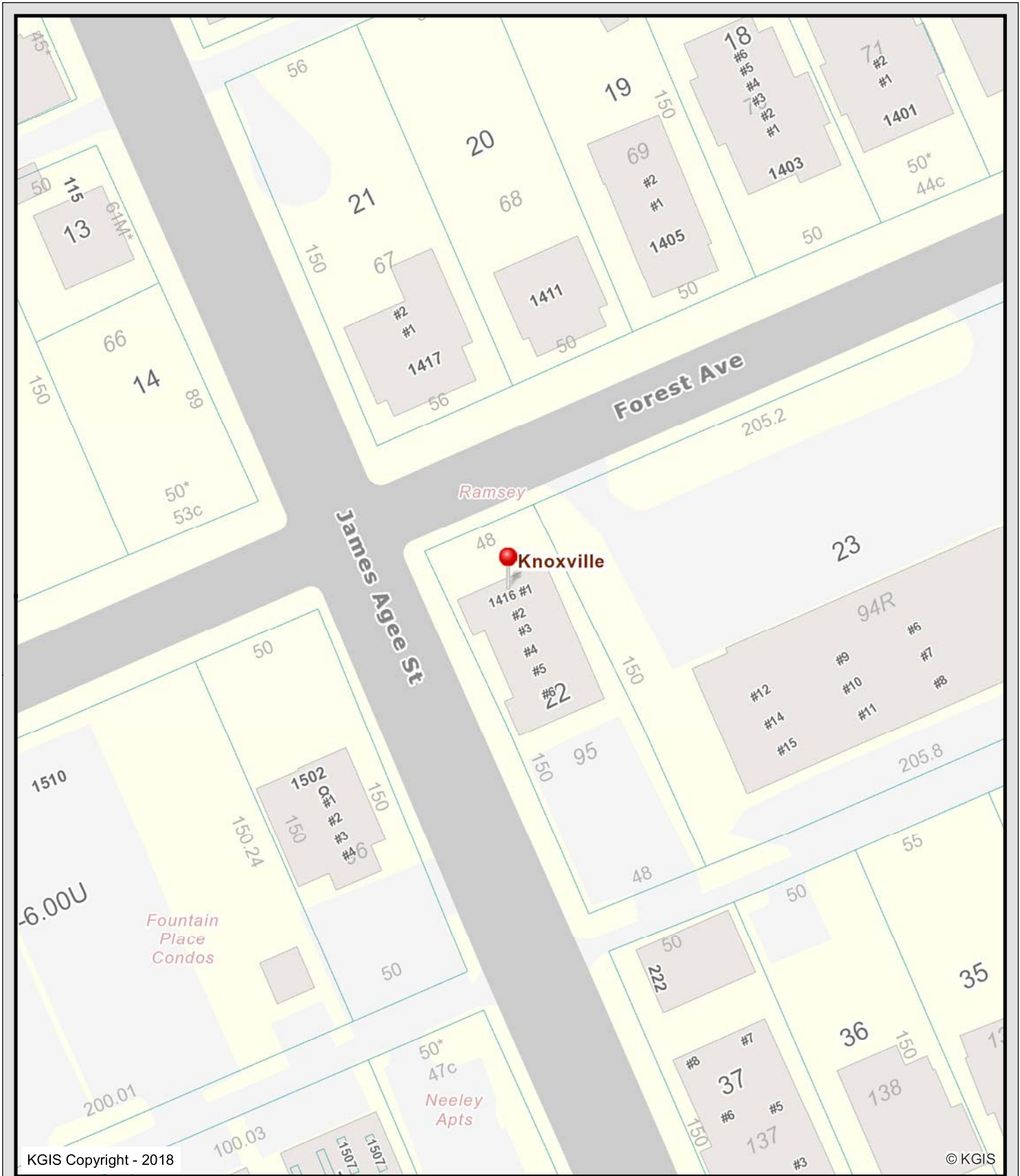
5. **DESCRIPTION OF WORK:** (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

The existing painted brick facade will be repainted from the existing red to a light gray color. All windows will be replaced with new 3/1 vinyl windows to match the existing style. The new addition will have a painted brick base to match the color of the existing brick with accents of vinyl siding in a cedar shake style and trim. There are cornice returns on the gable ends of the new addition roof with rectangular attic vents to match existing. The asphalt shingle roofing and pre-finished metal gutter and downspouts will be replaced. A new 2-story addition provides more rentable interior square footage and features a new covered entry. The entry at the rear elevation has not been rebuilt since there is no longer entry access and due to the low visibility from the street. The existing 2-story building has interior structural interiors that require repairs. The interior finish out will be completely upgraded for new residential apartment units.

6. **SIGNATURE OF APPLICANT:** Valerie D. Nipper Date: 6/28/18

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or **Fax:** 865-215-2068. **Incomplete applications will not be accepted.**

FOR STAFF USE ONLY			
Date Received _____	Approved _____	Disapproved _____	Approved As Modified _____
Date Acted On _____			



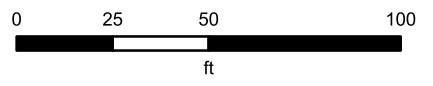
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1416 Forest Avenue

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Knoxville - Knox County - KUB Geographic Information System



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AREAS & CALCULATIONS	
TOTAL SITE AREA	
2.15 ACRES	92,944 SF
8,992.9 SF	81
TOTAL AREA	
USABLE COVER SPACE	REQUIRED MAX 30%
1,630 SF	1,630 SF
SETBACK REQUIREMENTS	
25' FRONT	
12' SIDE	
25' REAR	

PROPERTY INFORMATION	
OWNER	RADISE PARTNERS TWO, LLC
NAME	8111
ADDRESS	250 W. SUMMIT HILL DR KNOXVILLE, TN 37902
PROPERTY DATA	
ADDRESS	1416 FOREST AVE KNOXVILLE, TN 37916
APR	06/20/22
PARCEL ID	06-1-0022
ZONING	R-100-C-1
VERTICAL DATUM	NAVD 88

299 N. WEISGARBER RD.
KNOXVILLE, TENNESSEE
PHONE: 865.984.9999
FAX: 865.984.9999
WWW: www.michaelbradyinc.com
MICHAEL BRADY INC.
an Equal Opportunity/Affirmative Action Employer

NOT FOR CONSTRUCTION

1416 FOREST AVENUE APTMENTS
KNOXVILLE, TN 37916

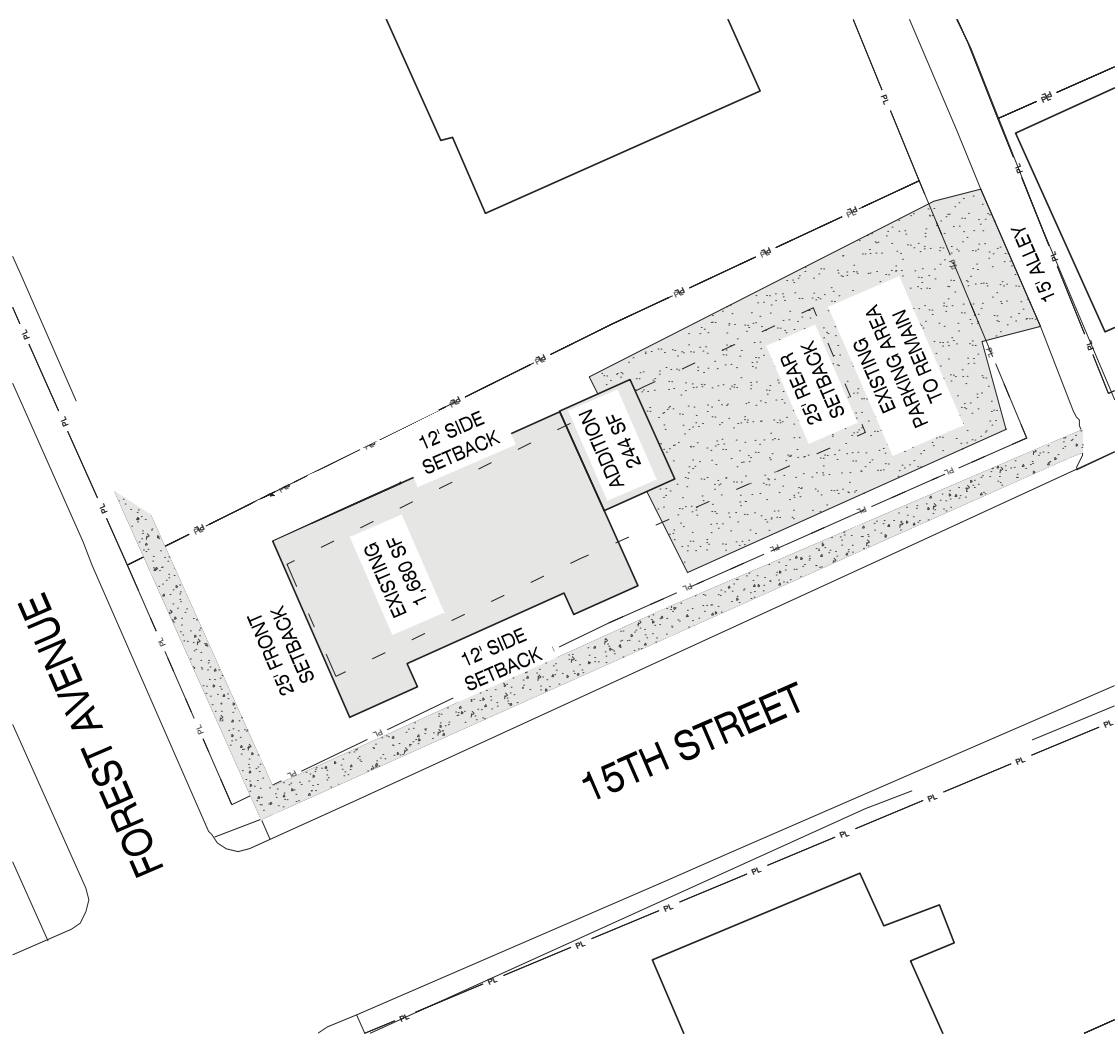
A NEW DEVELOPMENT FOR:

THE DRAWING IS INTENDED:
 FOR PERMITTING ONLY
 FOR CONSTRUCTION
 FOR DESIGN DEVELOPMENT
 FOR CONSTRUCTION DOCUMENTS

Drawing Title:
SITE LAYOUT PLAN

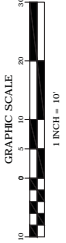
Date: 06/04/2018
 Designed By: T.G.G.
 Drawn By: T.G.G.
 Reviewed By: T.G.G.
 Comm. No.: 180416
 Revisions:

Sheet:
 No. of 1
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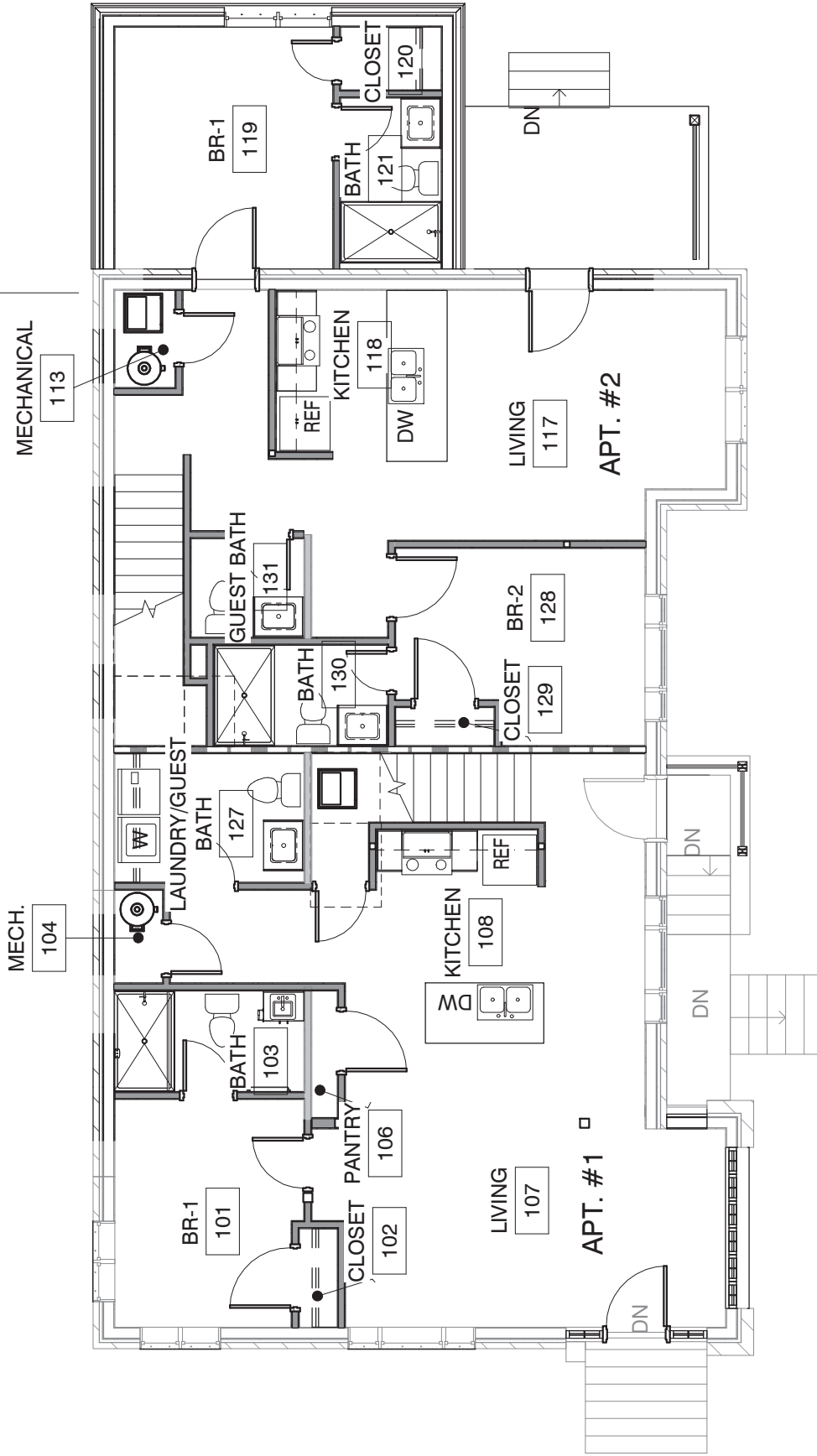


SITE LAYOUT PLAN
 SCALE: 1" = 10'-0"

811
 Know what's below.
 Call before you dig.
 In Tennessee call 811 or 1-800-551-1111



EXISTING
NEW ADDITION



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

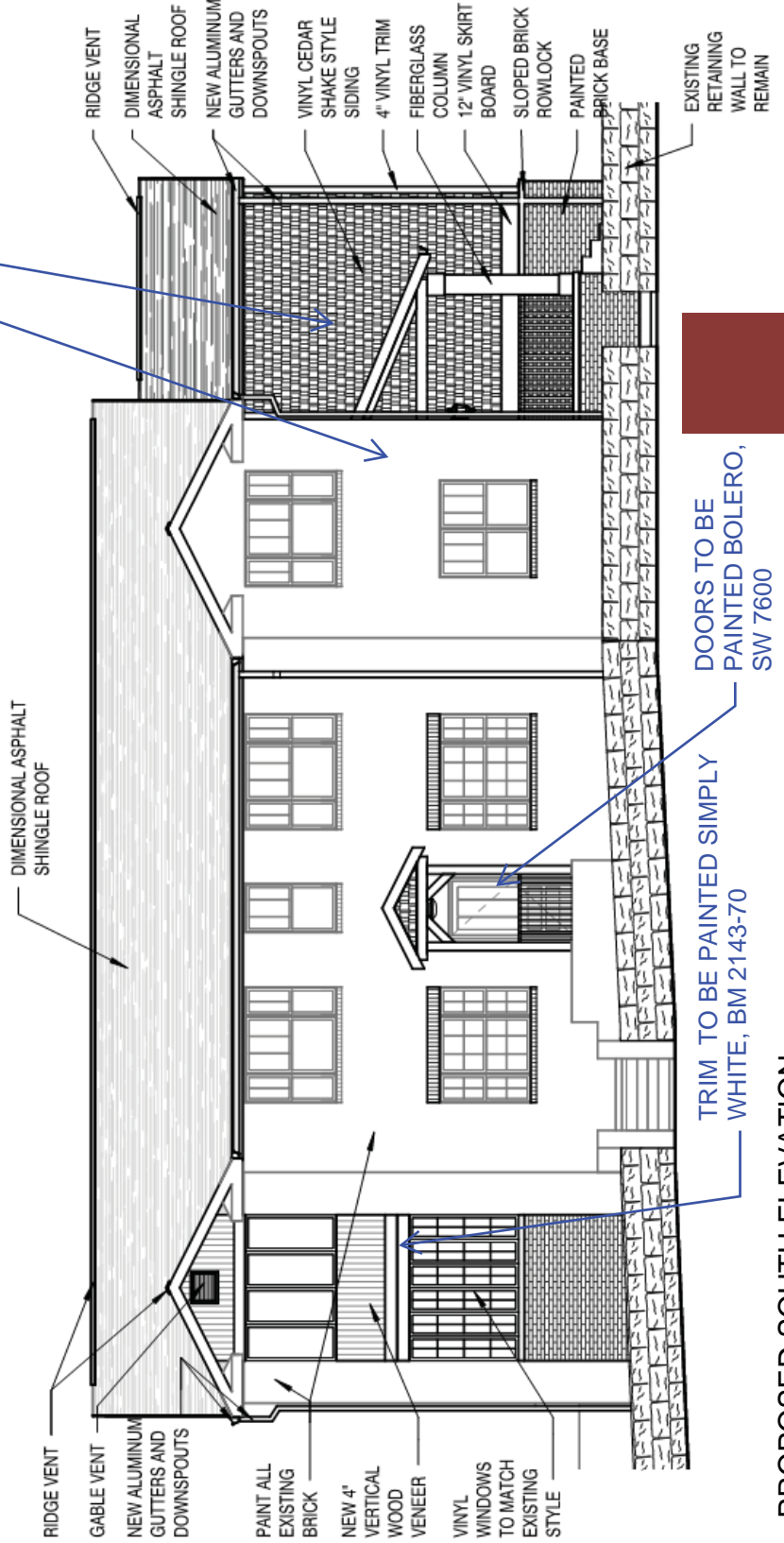


EXISTING PHOTO



BRICK TO BE PAINTED REPOSE GRAY, SW 7015

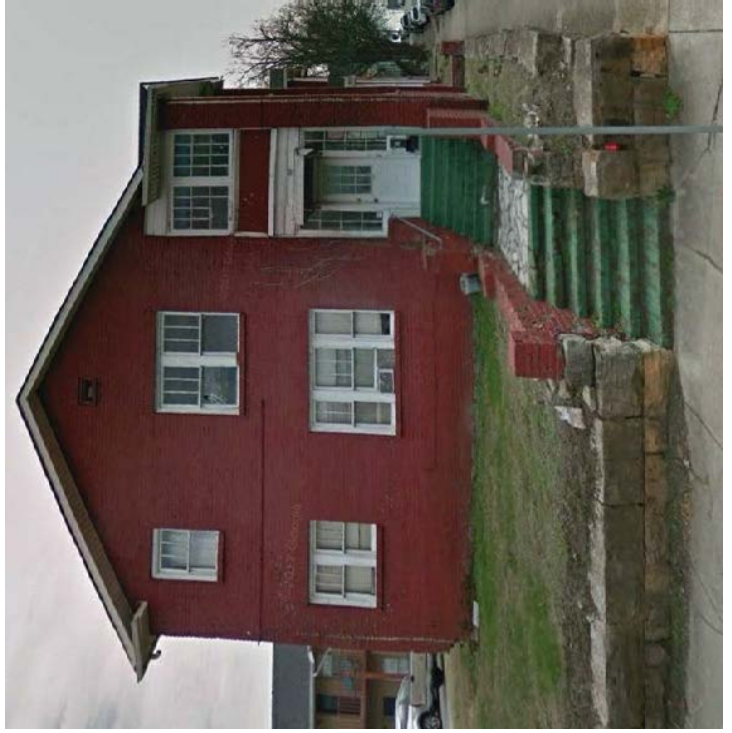
SIDING TO BE PAINTED MINDFUL GRAY, SW 7016



PROPOSED SOUTH ELEVATION



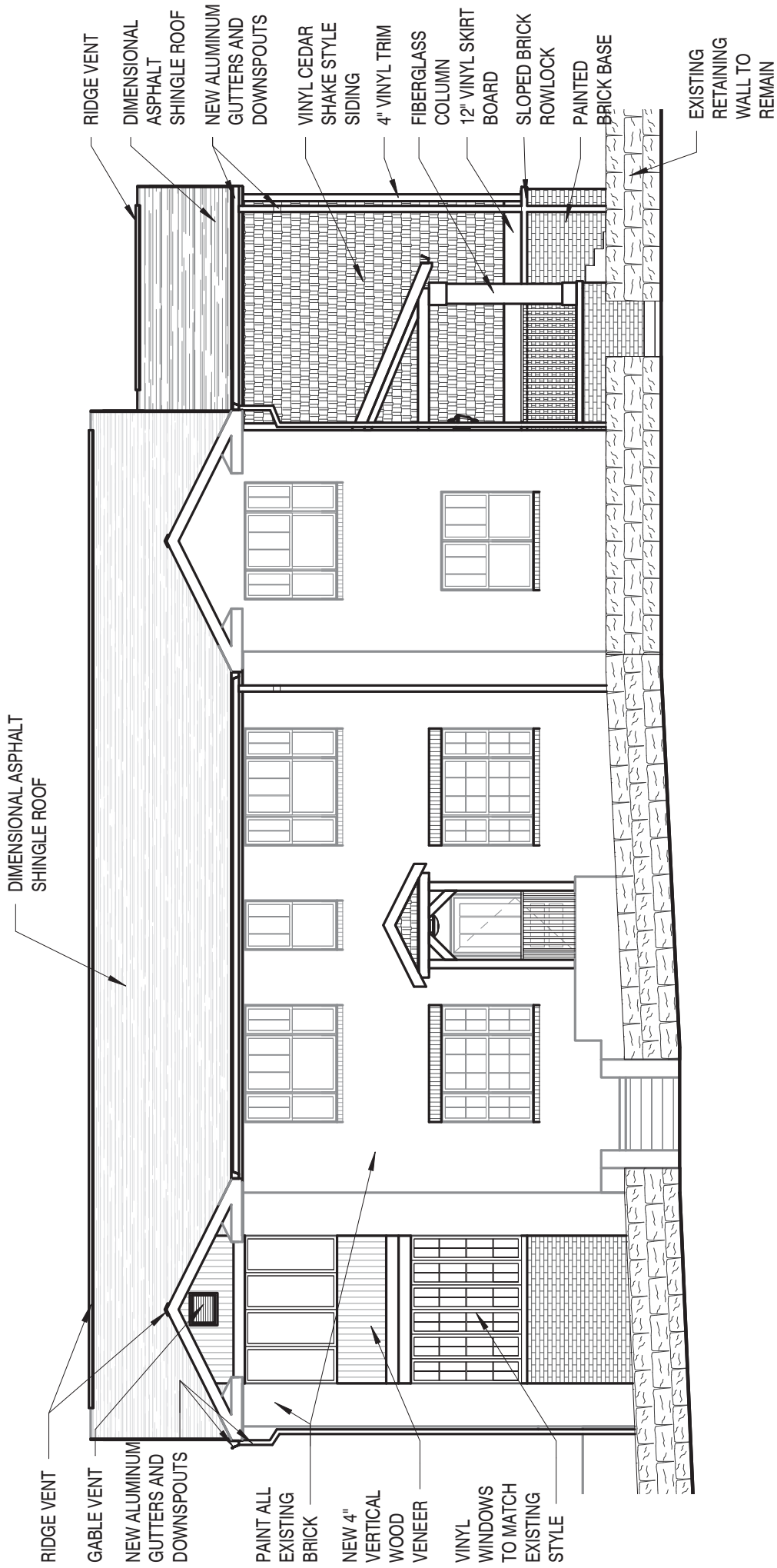
EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION

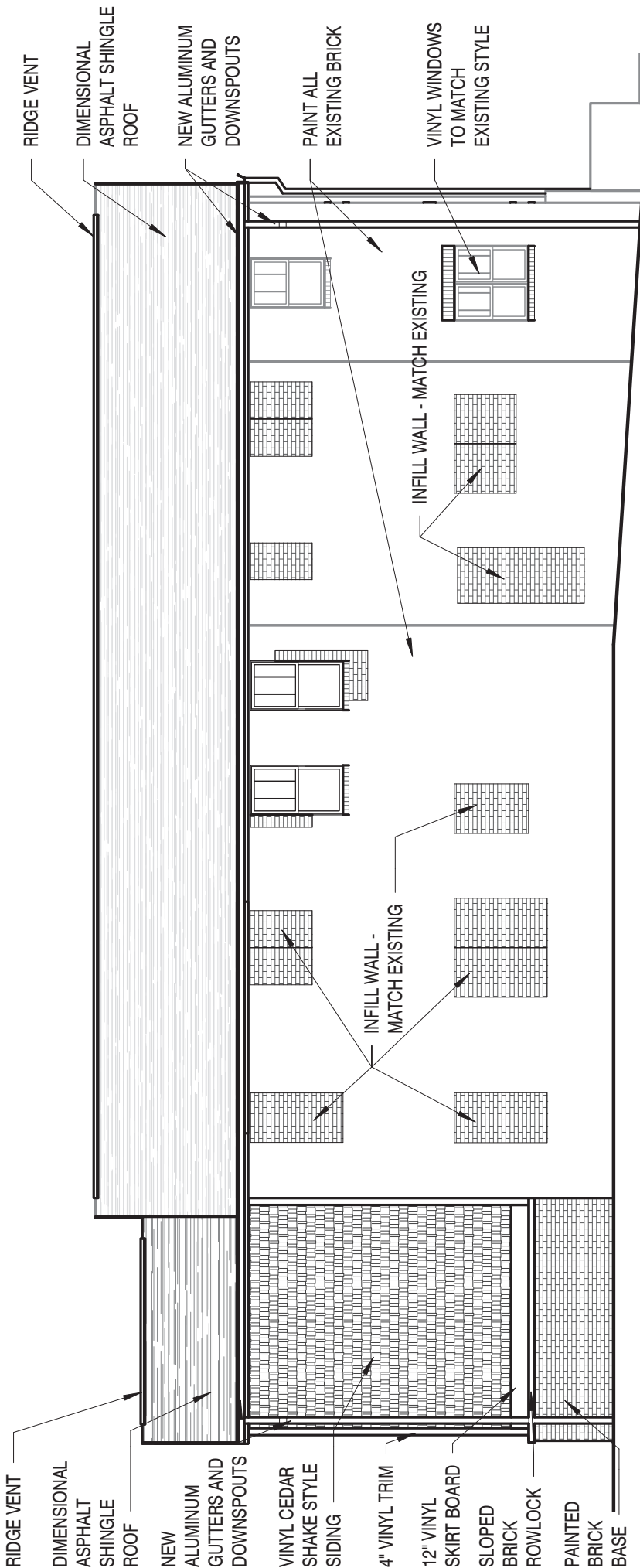


EXISTING SIDE ELEVATION



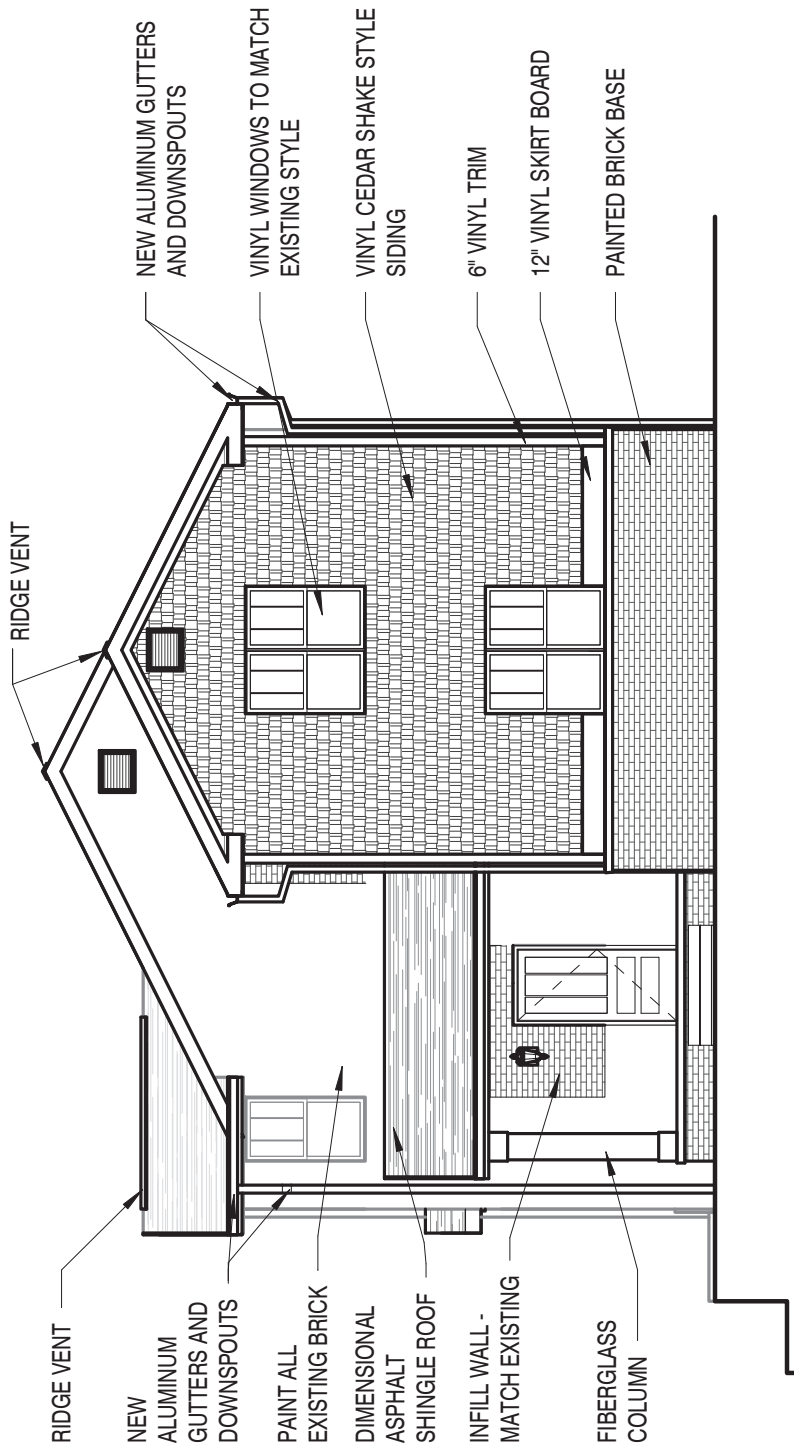
FRONT ELEVATION

SCALE : 1/8" = 1'-0"



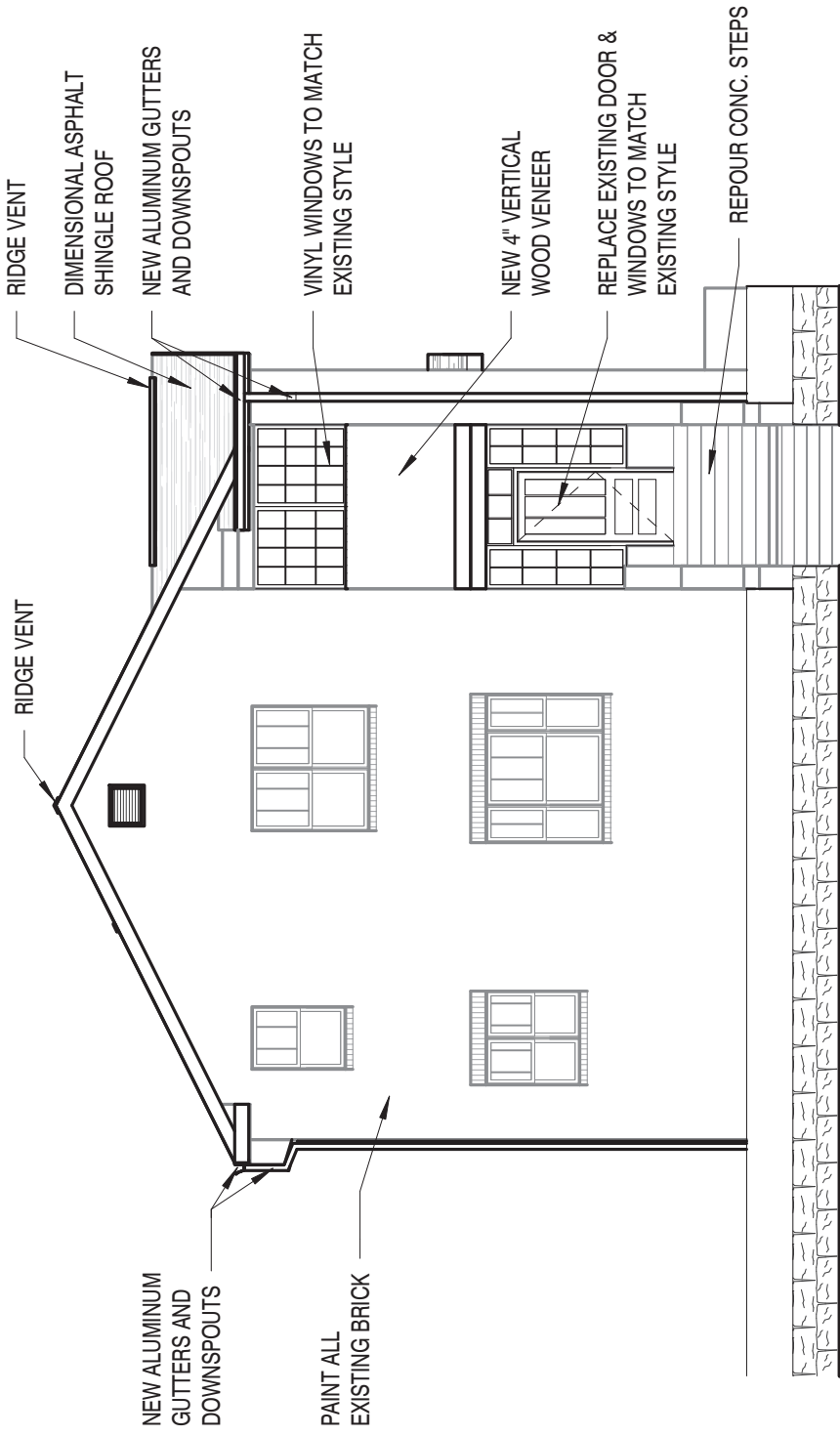
REAR ELEVATION

SCALE : 1/8" = 1'-0"



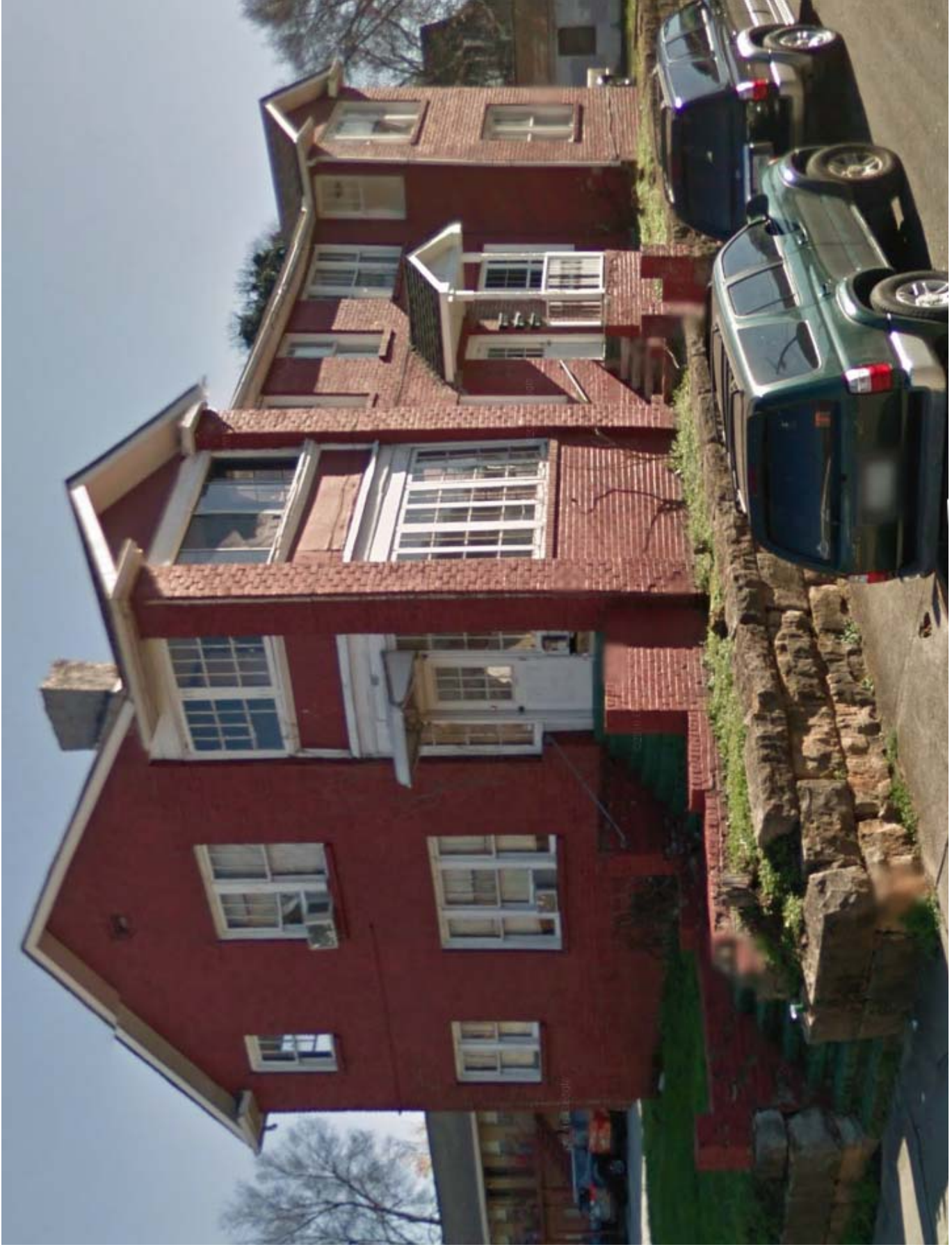
SIDE ELEVATION

SCALE : 1/8" = 1'-0"



SIDE ELEVATION

SCALE : 1/8" = 1'-0"



1416 Forest Avenue -north and west (Laurel Avenue) sides



1416 Forest Avenue - east and north sides