



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 1403 Armstrong Ave 37917
DISTRICT: Old North Knoxville H-1

FILE NO.: 1-D-18-HZ

MEETING DATE: 1/18/2018
APPLICANT: Tricia Stuth Curb Architecture (Architect)
LEVEL OF WORK: Level III. Construction of new primary building

PROPERTY DESCRIPTION: vacant lot (~49.17 wide by ~320 long)

► **DESCRIPTION OF WORK:**

The proposed building footprint is 24' wide and 64' long, including front and rear porches. A proposed in ground pool at the rear of the house is surrounded by fencing, planting, and gates. An opening in the existing stone retaining wall on Armstrong Avenue and a new staircase will provide access from the sidewalk and on-street parking. Vehicular access is from Fremont Place with on-grade parking for two cars.

The 1 ½ story, wood framed house is sited within 11- and 13-foot side setbacks. Stylistically, the house alludes the shingle-style. The primary roof pitch is 9:12 and the front porch roof pitch is 5 ½ :12. The exterior ridge elevation of the primary roof is +540' (+24' 6" above the main floor) and the main floor and front porch elevations are +514 (approx. 4' above grade in front grade in the front yard.) The material palette reflects the use of prefinished metal roofing (profile or standing seam), metal gutters and downspouts, painted shingle siding (wood or composite), painted wood trim, and metal-clad wood windows and doors. The front façade of the house features a recessed balcony under a clipped gable main roof. The integral porch on the rear southwest corner is screened-in.

► **APPLICABLE DESIGN GUIDELINES:**

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.
OLD NORTH KNOX GUIDELINES FOR NEW BUILDING CONSTRUCTION

G. SETBACKS AND PLACEMENT ON THE LOT

1. Maintain the historic façade lines of streetscapes by locating the front walls of new buildings in the same plane as those of adjacent buildings. If existing setbacks vary, a new building's setback shall respect those adjacent.
2. Do not violate the existing setback pattern by placing new buildings in front of or behind historic buildings on the street.
4. Side yard setbacks for new buildings shall be consistent with those of existing historic buildings, so gaps are not left in the streetscape.

H. SCALE AND MASSING

1. Relate the size and proportions of new structures to the scale of adjacent buildings.
2. Break up uninteresting box-like forms into smaller varied masses like those found on existing buildings by the use of bays, extended front porches, and roof shapes.
4. New buildings must reinforce the scale of the neighborhood by their height, width and massing.
5. New buildings must be designed with a mix of wall areas with door and window elements in the façade like those found on existing buildings.



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6. Roof shapes must relate to the existing buildings, as must roof coverings.

I. HEIGHT OF FOUNDATION AND STORIES

1. Avoid new construction that varies in height, so that new buildings are equal to the average height of existing buildings.
2. The foundation height of new buildings shall duplicate that of adjacent buildings, or be an average of adjacent building foundation heights.
3. For new buildings with more than one story, beltcourses or other suggestions of divisions between stories that suggest the beginnings of additional stories shall be used.
4. The eave lines of new buildings shall conform to those of adjacent properties.

J. MATERIALS

1. The materials used for new building exteriors shall be consistent with materials already found on buildings on the street.
2. Artificial siding and split face block are not acceptable materials for use on new buildings.

K. FEATURES

1. Design new buildings with a strong sense of a front entry.
2. Use front porches in new designs, and make the size of those porches useable for sitting. New porches shall be at least eight feet deep, shall contain design features such as columns and balustrades that introduce architectural diversity, and shall extend across more than half of the front façade.

HISTORIC BUILDING FORMS

Houses in Old North Knoxville have a shape, or bulk, consistent with their time of construction. They appear larger and taller than new buildings, often with projecting bays or porches not found in newer designs. The window sizes and proportion of the voids or openings of the windows to the solid portions of walls are often different than new construction.

Roofs

Roof forms are complex in many of Old North Knoxville's buildings. Hip roofs with lower gables, multiple or telescoping gables, conical or round turrets, dormers and balconies are often found. The pitch of historic roofs is also fairly steep.

Foundations

Old North Knoxville's historic houses are not built on slab foundations. Basements and raised foundations are common, and the texture of the masonry foundations adds richness to the neighborhood's architecture, while the height and the multi-story designs are also important in preserving the appearance of the neighborhood.

NEW BUILDINGS

New buildings should be contemporary in spirit. Slavish copies of historic buildings confuse the historic value of the existing buildings. New buildings should respond to the present time, the environment, and the use for which they are intended. New buildings constructed in historic areas should be compatible with the existing historic buildings and sensitive to the patterns of the environment where they will be placed. The use of similar materials can help in developing continuity. These principles apply to new homes as well as garages, sheds and other outbuildings.



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COMMENTS:

STAFF FINDINGS:

CONTEXT, SITING, AND BUILDING ENVELOPE

- 1) The deed indicating the current lot configuration has been traced by the applicant to 1919. The 1917 Sanborn Fire Insurance maps indicate that the lot had not been created as of 1917. There is no indication on early maps that there was ever a house on the lot.
- 2) The lot is 49.17 feet wide and ~320 feet long and is an anomaly in this streetscape on the north side of Armstrong because it is more narrow than the others. The narrowness of the lot does not preclude a house from being built on the lot. There are developed lots of this width that make up entire blocks in other areas of the district; however, these blocks exhibit more consistency.
- 3) The proposed 1 ½-story house is designed to be 24 feet wide, 64 feet long, and ~28'-7" tall to the roof peak in the front and 24'-6" in the rear.
- 4) On the north side of Armstrong Avenue in this block, the façade widths of the houses range from ~40 to ~64 feet. The houses are 2 to 2 1/2 stories tall. The typical spacing between the houses on the north side of this block ranges from ~21 feet to ~27 feet.
- 5) On the south side of Armstrong Avenue in this block, the facade widths range from ~37 to ~53 feet. The houses are 1 to 1 1/2 stories tall. The typical spacing between houses on the south side of this block ranges from ~10 to ~15 feet.
- 6) Based on the zoning for the street and 1403 being a lot of record, the side setbacks may be as little as 5 feet on one side and 7 feet on the other, for a total of 12 feet of setback combined. The side setbacks for the house are proposed to be 11 and 13 feet.
- 7) If the width of the proposed house is increased to the available width allowed by the zoning setbacks at 37 feet wide, then the width would be typical of those of the houses directly across the street, to the south.
- 8) Additionally, if the width of the proposed house is increased to the available width allowed by the zoning setbacks at 37 feet, then the spacing between it and the houses adjacent to it would be reduced more than is typical for the north side of the street on that block; however, the spacing would be more typical of that on the south side of the street for that block.
- 9) The proposed roof peak is ~6 feet below that of the house to the south, and ~12 feet below that of the house to the north. If the house were to be made wider, then the height may need to increase to create a historically compatible proportion for the house, and reduce the difference in height relative to that of the houses on either side and within the total streetscape. However, the eaves of the first-level porch generally line up with those of the houses to the adjacent north and the south. The base of the clipped portion of the roof front roof peak aligns with the eave line of the house to the north.



KNOXVILLE HISTORIC ZONING COMMISSION STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION

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10) The guidelines recommend to "break up uninteresting box-like forms into smaller varied masses like those found on existing buildings by the use of bays, extended front porches, and roof shapes. The form of the building is rectilinear without projections or bays on the sides or variations on roof form, except for that of the front porch

STYLE

1) The historic house styles on the street are variable.

2) Modern, stylized designs are encouraged in the district as long as the massing, scale, fenestration, materials and design of the façade are compatible with that existing in the streetscape. Modern designs are not to stand out so as to make a statement that competes with the historic houses in the streetscape.

3) The style of the proposed house alludes to the shingle-style cottage which was popular at the turn-of-the-century. The shingled, integral porch columns and clipped gable draws from the features of the Mann House to the adjacent south and is stylistically compatible with it. The recessed balcony is a typical shingle-style feature.

ROOF AND FOUNDATION

1) The primary roof pitch at 9:12 and the porch hipped roof pitch at 5 ½:12 is compatible with that of other structures in the streetscape.

2) Basements and raised foundations are common in the district, and the texture of the masonry foundations adds richness to the neighborhood's architecture. The foundation of the proposed house is exposed at a maximum of 6 inches which is less than typical in the district.

PORCH

1) The level of the porch floor aligns with those of the adjacent houses, although the porch floor will be only barely visible from the street.

2) The porch is a full-façade porch at 24 feet long and 12 feet deep which is appropriate for the style.

3) Most front porches in the district have wider stairs and entrance openings of 8 to 10 feet between porch supports. The smaller cottage-type houses in the district have more narrow porch openings of 6 to 8 feet, but the proposed stairway at 4 feet is more narrow than existing examples.

4) The front entrance to the proposed house is set off to the northern-most edge of the porch. Front entrances in the district are typically more centralized in the façade. However, there are at least four other houses in the district that have front entrances clearly offset to the side, but none aligning with the outermost edge of the porch.

5) The porch balustrade will be somewhat visible from the street on the north side. Balusters in the district are set into the top and bottom rails. The proposed overlapping balusters have not been approved as replacements on historic houses within the district.



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WINDOWS AND DOORS

- 1) The horizontal windows on the upper facades of the side elevations are out of character with the predominantly vertical orientation of historic windows in the district. Although there are examples of free-form window patterns on the side and back elevations of windows on historic houses within the district, the proposed free-form pattern stands out due to the sparsity of windows and the flatness of the walls.
- 2) The ratio of solids to voids (walls to window ratio) is appropriate on the front façade of the house. However, the side facades of the house are more opaque than those of historic houses, which is out of character with the district.
- 3) The south side entrance into the screened-in porch is a simple framed glass door and is toward the back of the house, so it is sufficiently subservient to the front entrance.

MATERIALS

- 1) The proposed materials of shingle siding, wood trim, and metal roof are compatible with the materials used in the district.
- 2) The proposed block foundation, of which a maximum of 6 inches in height will be visible, is not typical of historic materials.
- 3) Front porches in the district have differing materials above and below the floor level, with masonry piers or foundation typically below - either brick or stucco. The shingle sheathing proposed to cover the porch façade to the ground creates a monolithic, opaque appearance that is out of character for the district.
- 4) The proposed metal windows and doors do not meet the guidelines for new construction which state that the materials used for new building exteriors shall be consistent with historic materials already found on buildings on the street.

► STAFF RECOMMENDATION:

The proposed house is out of compliance with several design guidelines and architectural and dimensional precedents within the streetscape and the district. Staff recommends exploring other options such as those that have been suggested below to create compatibility of the proposed new construction on this lot within the streetscape:

- 1) Utilize the full amount of zoning-enabled width for the house at 37 feet, and increase the height as needed to create historic proportions on the façade.
- 2) Set the house back on the lot to align with the rear-most corner of the house to the adjacent south so that the proposed structure appears as an accessory structure.
- 3) Orient the house so that it faces the street to the west of the lot, Fremont Street, since the proposed house scale is more in keeping with that of the historic houses on this street.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. NAME OF APPLICANT: curb / Tricia Stuth

Address: 101 Gill Ave

Telephone: 865.274.1485 E-mail address: tricia.curb@gmail.com

Relationship to Owner: Architect

2. NAME OF OWNER: Margaret Hambright & Scott Carpenter

Address: 1404 Armstrong Ave

Telephone: 865.556.5252 E-mail address: peg hambright@gmail.com
r.scottcarpenter@gmail.com

3. LOCATION OF PROPERTY:

Address: 1403 Armstrong Ave Tax ID/Lot/Parcel No: 081LE031

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

The proposed project is a new single family residence to be constructed on a vacant lot (.352 acres). The proposed building footprint is 24' wide and 64' long, including front and rear porches. A proposed in ground pool at the rear of the house is surrounded by fencing, planting, and gates. An opening in the existing stone retaining wall on Armstrong Avenue and a new staircase will provide access from the sidewalk and on-street parking. Vehicular access is from Fremont Place with on-grade parking for two cars.

The 1 1/2 story, wood framed, single family residence is sited within the setbacks. The primary roof pitch is 9:12 and the front porch roof pitch is 5 1/2 :12. The exterior ridge elevation of the primary roof is +540' (+24' 6" above the main floor) and the main floor and front porch elevations are +514 (approx. 4' above grade in the front yard.) The material palette reflects the use of prefinished metal roofing (profile or standing seam), metal gutters and downspouts, painted shingle siding (wood or composite), painted wood trim, and metal-clad wood windows and doors.

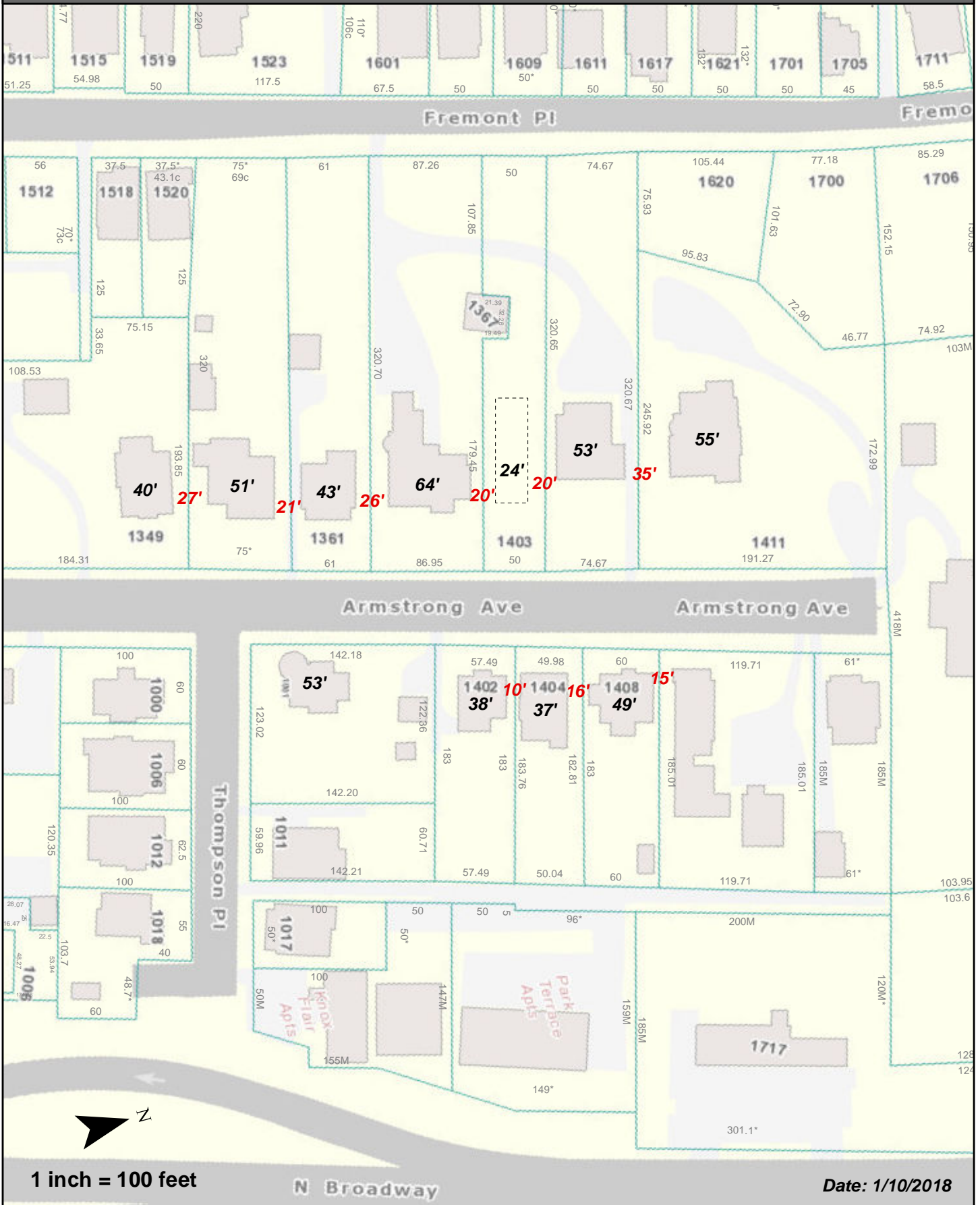
6. SIGNATURE OF APPLICANT:  _____ Date: 01.02.2018

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or **Fax:** 865-215-2068. **Incomplete applications will not be accepted.**

FOR STAFF USE ONLY			
Date Received _____	Approved _____	Disapproved _____	Approved As Modified _____
Date Acted On _____			

Street Development Pattern

1403 Armstrong Ave - Proposal



1 inch = 100 feet

N Broadway

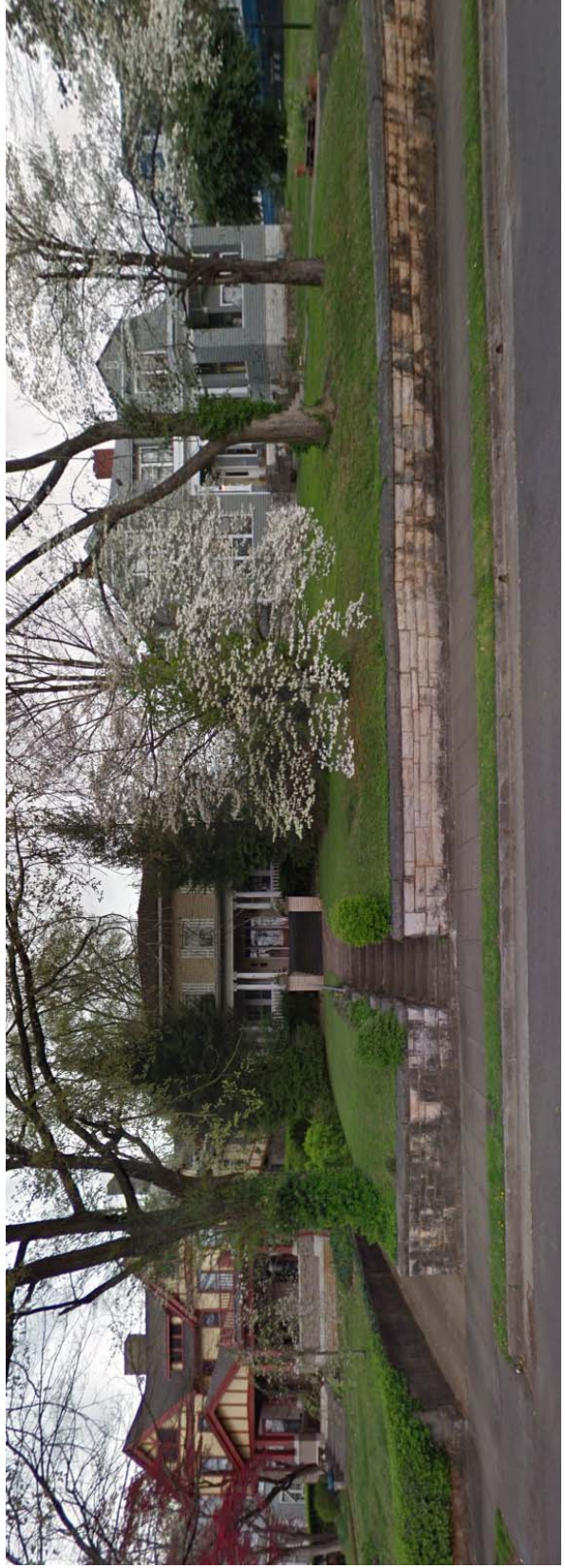
Date: 1/10/2018

1403 Armstrong Ave Bird's-Eye view





Existing streetscape showing 1365, 1403 (subject site), 1405 Armstrong



Existing streetscape showing 1355, 1361, 1365 Armstrong



Streetscape across the street from the subject lot showing 1404 and 1402 Armstrong



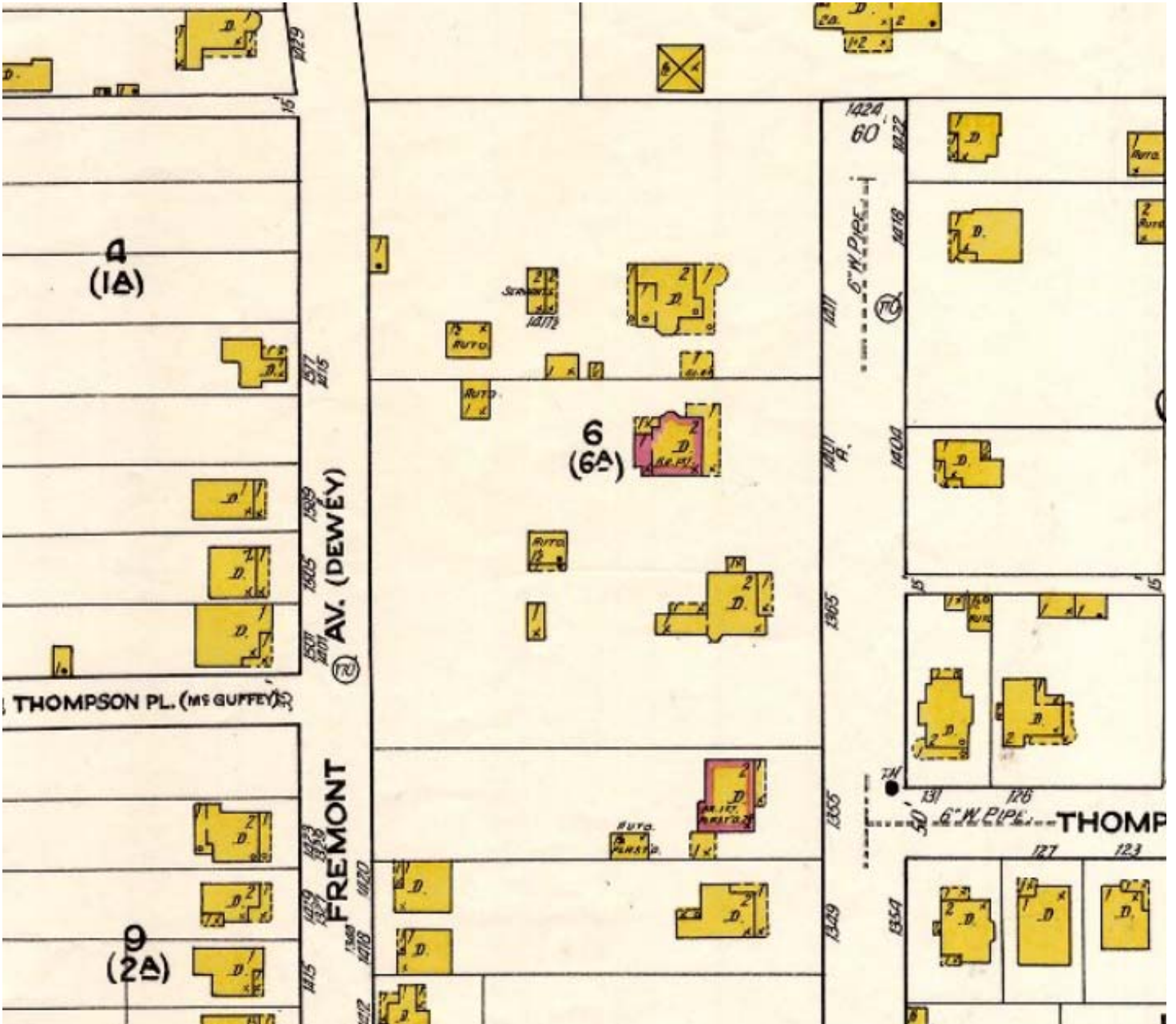
Streetscape across the street from the subject lot showing 1412 Armstrong and accessory apartment



Streetscape across the street from the subject lot showing 1412 and 1408 Armstrong



Streetscape across the street from the subject lot showing 1412 and 1408 Armstrong





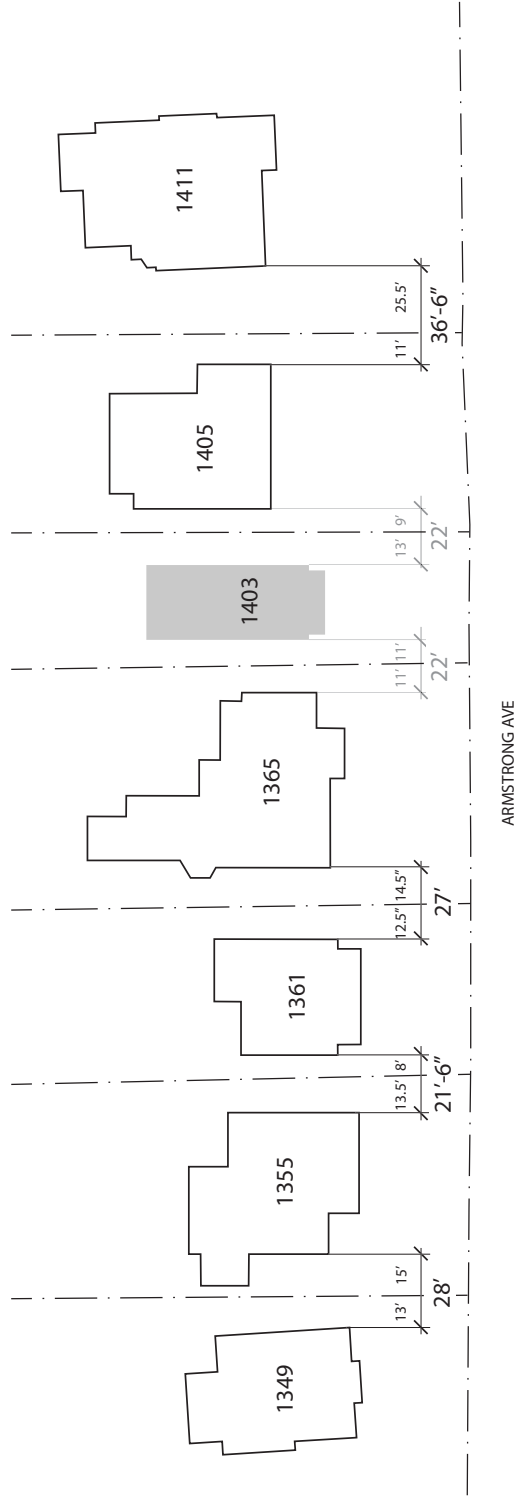
SITE STRATEGY



curb | 101 Gill Avenue Knoxville, Tennessee 37917

CARPENTER HAMBRIGHT RESIDENCE

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1403 Armstrong Ave



AVERAGE SPACING BETWEEN EXISTING HOUSES: 28'-3"
NOT INCLUDING PROPOSED RESIDENCE SPACING

SETBACKS AND PLACEMENT ON THE LOT



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ARMSTRONG AVENUE STREET ELEVATION



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1365 ARMSTRONG AVE STRATEGIES

top left: main house cladding extends to balustrades of porch
bottom left: secondary details create visual interest with depth, volume wrapped in shingle in lieu of applied decoration and detailing
right: shingle-clad column supports at porch relate to adjacent walls, cladding, and trim

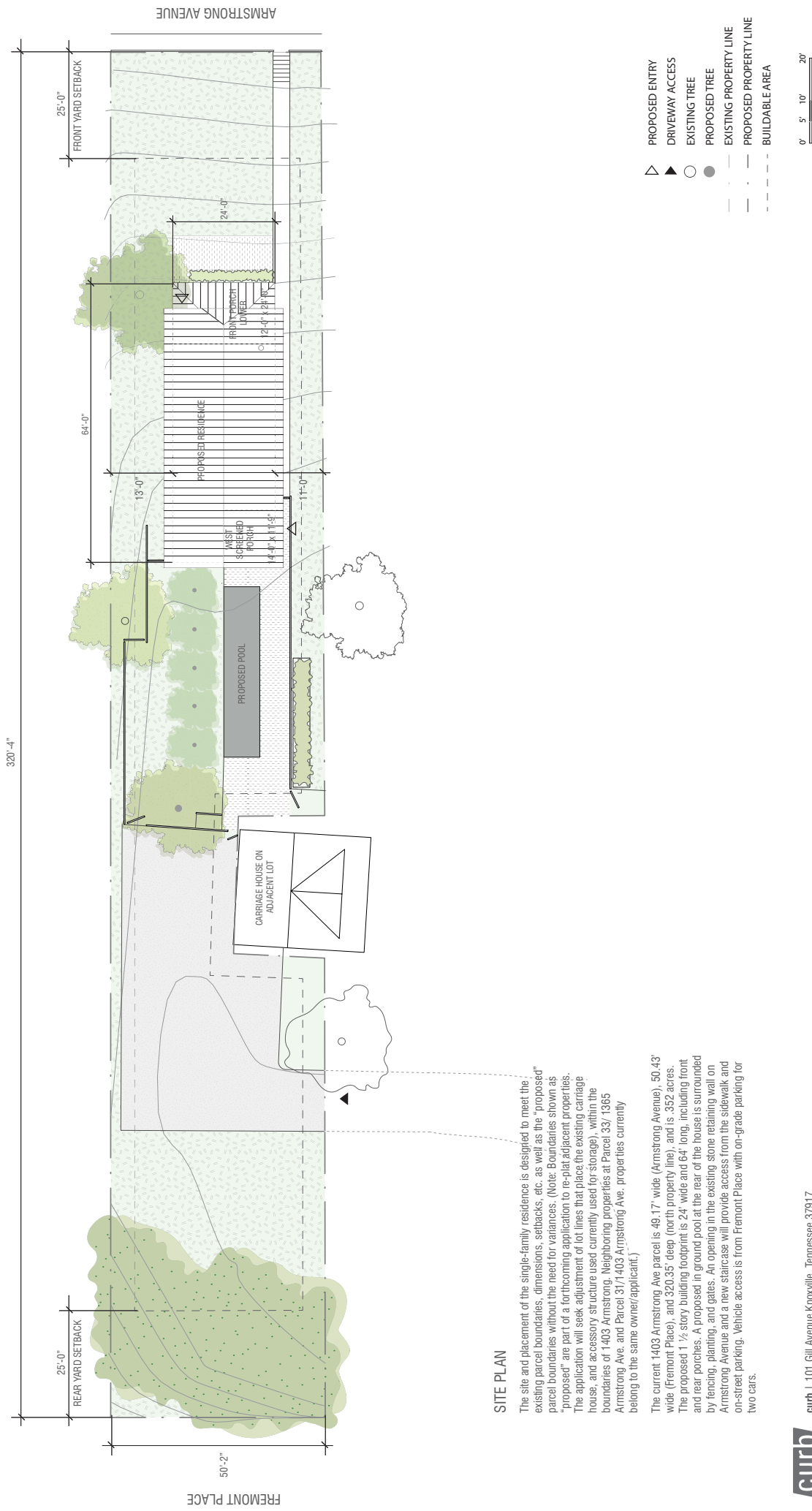


COMPOSITION ELEVATIONS

top: 229 E. Scott Ave., secondary details create visual interest through depth
middle: 1201 Kenyon St, side with free composition of windows incl. bank of four
bottom: 1001 Thompson Place, freer composition of windows at side elevations

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1403 Armstrong Ave



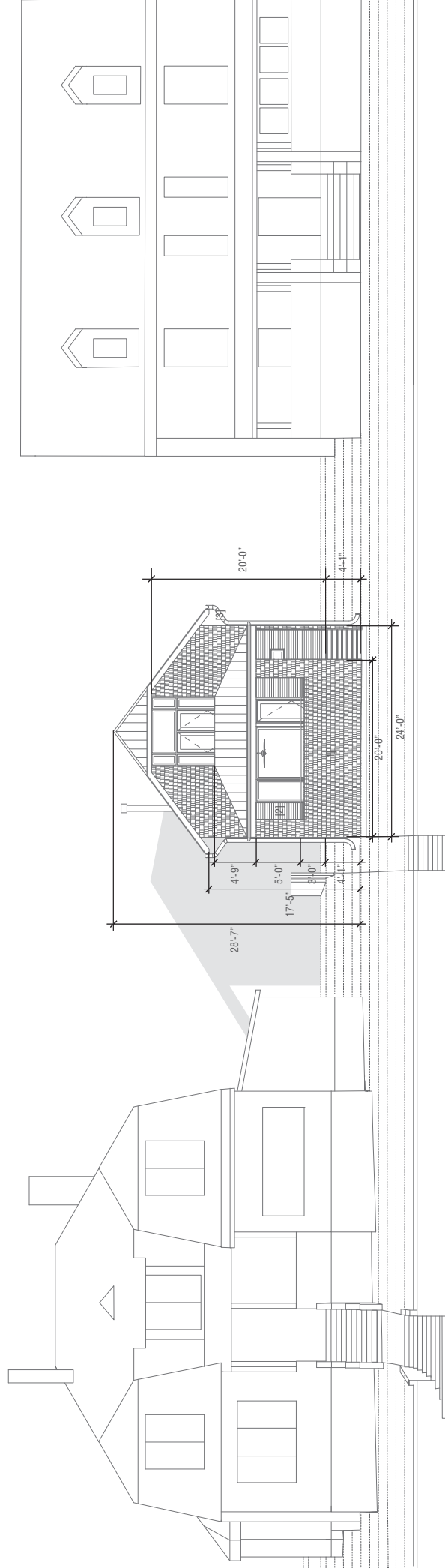
SITE PLAN

The site and placement of the single-family residence is designed to meet the existing parcel boundaries, dimensions, setbacks, etc. as well as the "proposed" parcel boundaries without the need for variances. (Note: Boundaries shown as "proposed" are part of a forthcoming application to re-plot adjacent properties. The application will seek adjustment of lot lines that place the existing carriage house, and accessory structure used currently used for storage), within the boundaries of 1403 Armstrong. Neighboring properties at Parcel 337/1365 Armstrong Ave. and Parcel 317/1403 Armstrong Ave., properties currently belong to the same owner/applicant.)

The current 1403 Armstrong Ave parcel is 49.17' wide (Armstrong Avenue), 50.43' wide (Fremont Place), and 320.35' deep (north property line), and is .352 acres. The proposed 1 1/2 story building footprint is 24' wide and 64' long, including front and rear porches. A proposed in ground pool at the rear of the house is surrounded by fencing, planting, and gates. An opening in the existing stone retaining wall on Armstrong Avenue and a new staircase will provide access from the sidewalk and on-street parking. Vehicle access is from Fremont Place with on-grade parking for two cars.

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HZC Application Review | Jan. 2018
1403 Armstrong Ave



EAST ELEVATION, Armstrong Avenue

The 1 1/2 story single family residence is sited within the side yard setbacks of the narrow lot (49 feet wide). The primary roof pitch is 9:12 and the front porch roof pitch is 5 1/2:12. An opening in the existing stone retaining wall and a new stair lead to a walkway from the Armstrong Avenue sidewalk.

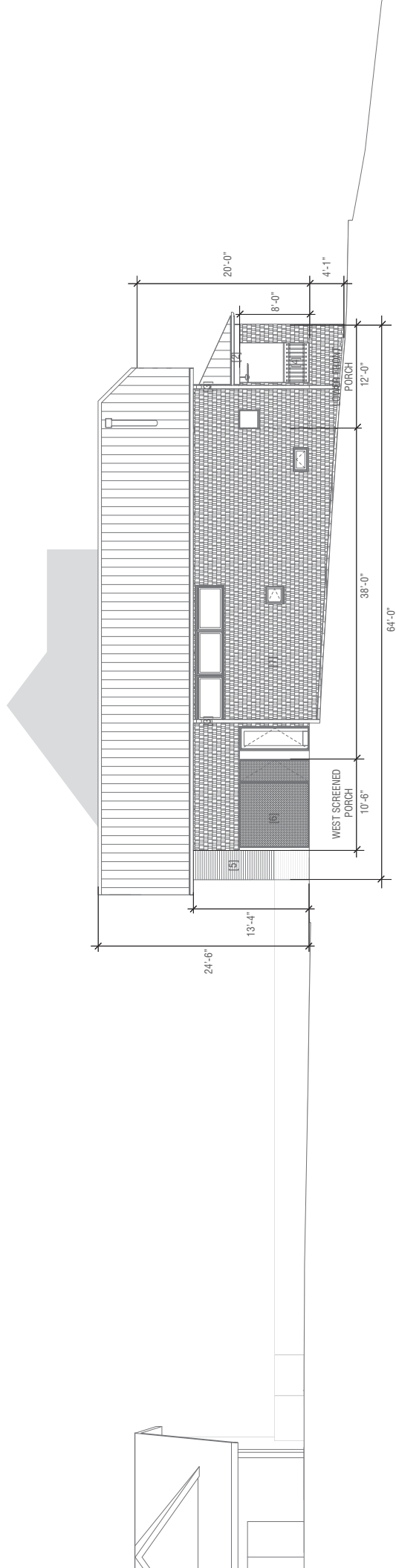
The Armstrong elevation faces east. The material palette reflects the use of unfinished metal roofing (profile or standing seam), metal gutters and downspouts, painted shingle siding (wood or composite), painted wood trim, and metal-clad wood windows and doors.

The front porch is 12 feet deep and 20 feet wide, and takes cues from the neighboring home. Porch finishes include painted shingle siding (wood or composite) and wood bevel siding (east wall), painted wood ceiling, and painted wood flooring, stairs and railings. An upper porch takes cues from shingled upper levels in the neighborhood emphasizing volume and depth.

- (1) PAINTED SHINGLE SIDING
- (2) PAINTED WOOD BEVEL SIDING
- (3) METAL DOWNSPOUT

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1403 Armstrong Ave



SOUTH ELEVATION, Side yard

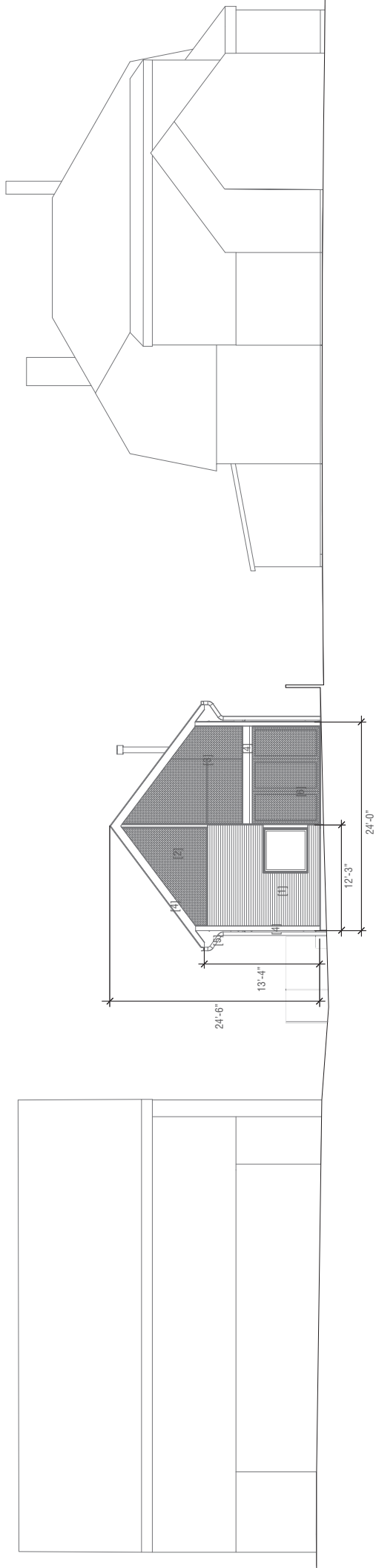
The siding relative to the front yard reflects an average of adjacent houses, and preserves an existing tree near the northeast corner of the porch. The primary roof pitch is 9:12 and the front porch roof pitch is 5 1/2 :12. A walkway from the Armstrong Avenue sidewalk leads to the front porch and to the rear yard and a secondary entry and screened porch. The design follows universal design principles including this secondary accessible entry.

This side yard elevation faces south and a neighboring house. Windows reflect the historic pattern and ratio of grouped, punched openings in largely opaque walls in light of the proximity to neighboring homes. The composition considers this alongside passive design strategies that address useful solar gain, interior daylight, and cross ventilation.

- (1) PAINTED SHINGLE SIDING
- (2) PAINTED WOOD TRIM
- (3) METAL DOWNSPOUT
- (4) PAINTED WOOD BALUSTRADE
- (5) PAINTED WOOD BEVEL SIDING
- (6) METAL WIRE INSECT SCREEN

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HZC Application Review | Jan. 2018
1403 Armstrong Ave



WEST ELEVATION, Rear yard

The 1 1/2 story single family residence is sited in response to an existing carriage house at the approximate middle of the deep lot. (Proposed site plan shows proposed lot lines of a future lot adjustment.) All of the mature trees along Fremont Place are preserved. Additional trees are proposed along the north edge near a proposed in-ground pool. Off-street parking behind the carriage house is provided and allows an accessible, at grade entry from the rear of the lot.

The elevation faces west and upper and lower screened porches mitigate late afternoon heat gain. The material palette reflects the use of unfinished metal roofing (profile or standing seam), metal gutters and downspouts, painted shingle siding (wood or composite), painted wood trim, and metal-clad wood windows and doors.

- (1) PAINTED WOOD BEVEL SIDING
- (2) METAL WIRE INSECT SCREEN
- (3) PAINTED WOOD MULLION
- (4) PAINTED WOOD TRIM
- (5) METAL DOWNSPOUT
- (6) METAL-CLAD DOOR SYSTEM INSIDE OF SCREEN PORCH, BEYOND

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HZC Application Review | Jan. 2018
1403 Armstrong Ave



WEST ELEVATION, Rear yard

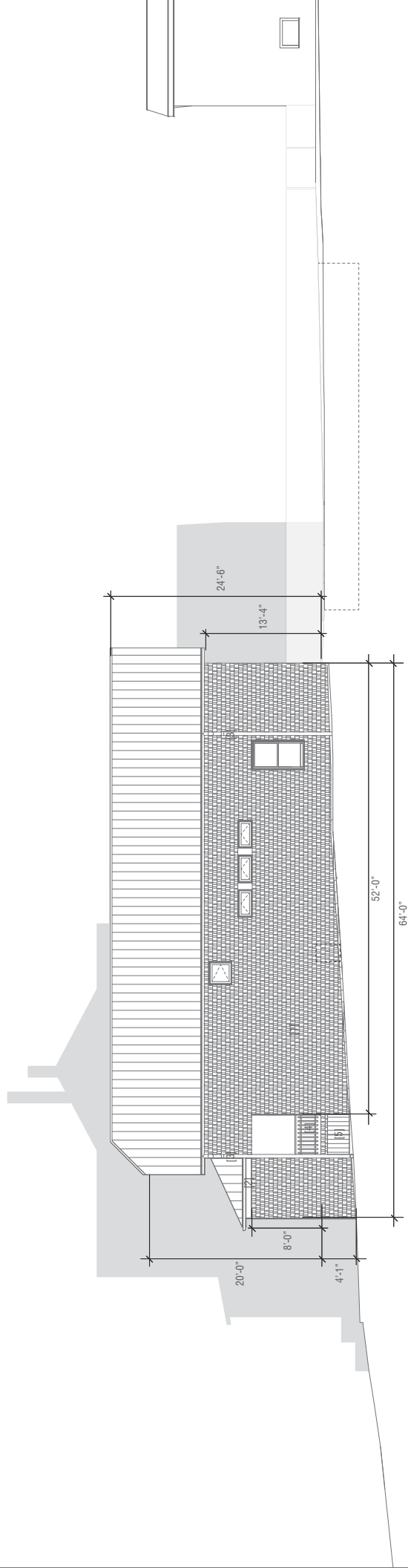
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CARPENTER HAMBRIGHT RESIDENCE

H2C Application Review | Jan. 2018
1403 Armstrong Ave



NORTH ELEVATION, Side yard

The siting relative to the front yard reflects an average of adjacent houses, and preserves an existing tree near the northeast corner of the porch. The primary roof pitch is 9:12 and the front porch roof pitch is 5 1/2 :12. A walkway from the Armstrong Avenue sidewalk leads to a front garden and a stair the elevated front porch. The porch elevation matches the floor height of adjacent neighbors to the north and south.

This side yard elevation faces north and a neighboring house. Windows reflect the historic pattern and ratio of punched openings in largely opaque walls, and the proximity of neighboring homes. The composition considers this, alongside passive design strategies that address interior daylight and cross ventilation.

- [1] PAINTED SHINGLE SIDING
- [2] PAINTED WOOD TRIM
- [3] METAL DOWNSPOUT
- [4] PAINTED WOOD BALUSTRADE
- [5] PAINTED WOOD



CARPENTER HAMBRIGHT RESIDENCE

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1403 Armstrong Ave

VIEW FROM WEST SIDEWALK



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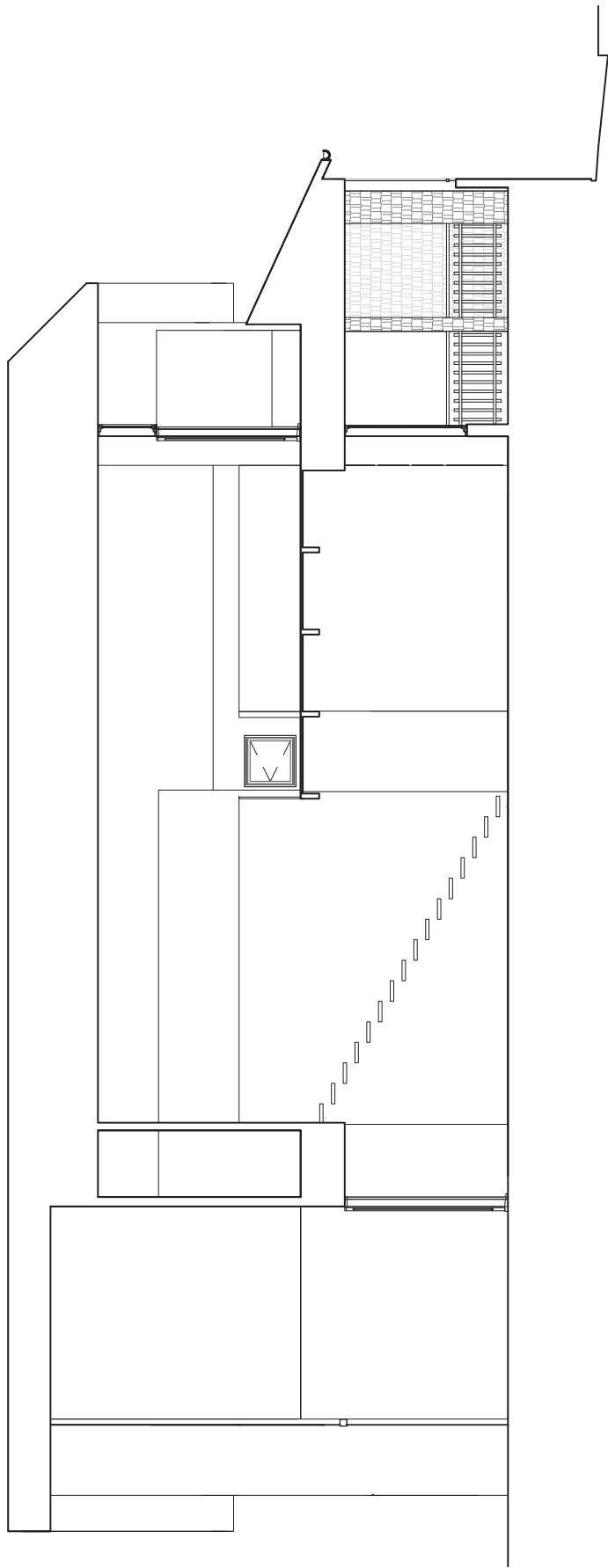
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1403 Armstrong Ave



VIEW FROM EAST SIDEWALK



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1. Building Section | 3/16" = 1'-0"

carpenter hambright residence

1403 Armstrong Ave
Knoxville, Tennessee

curb

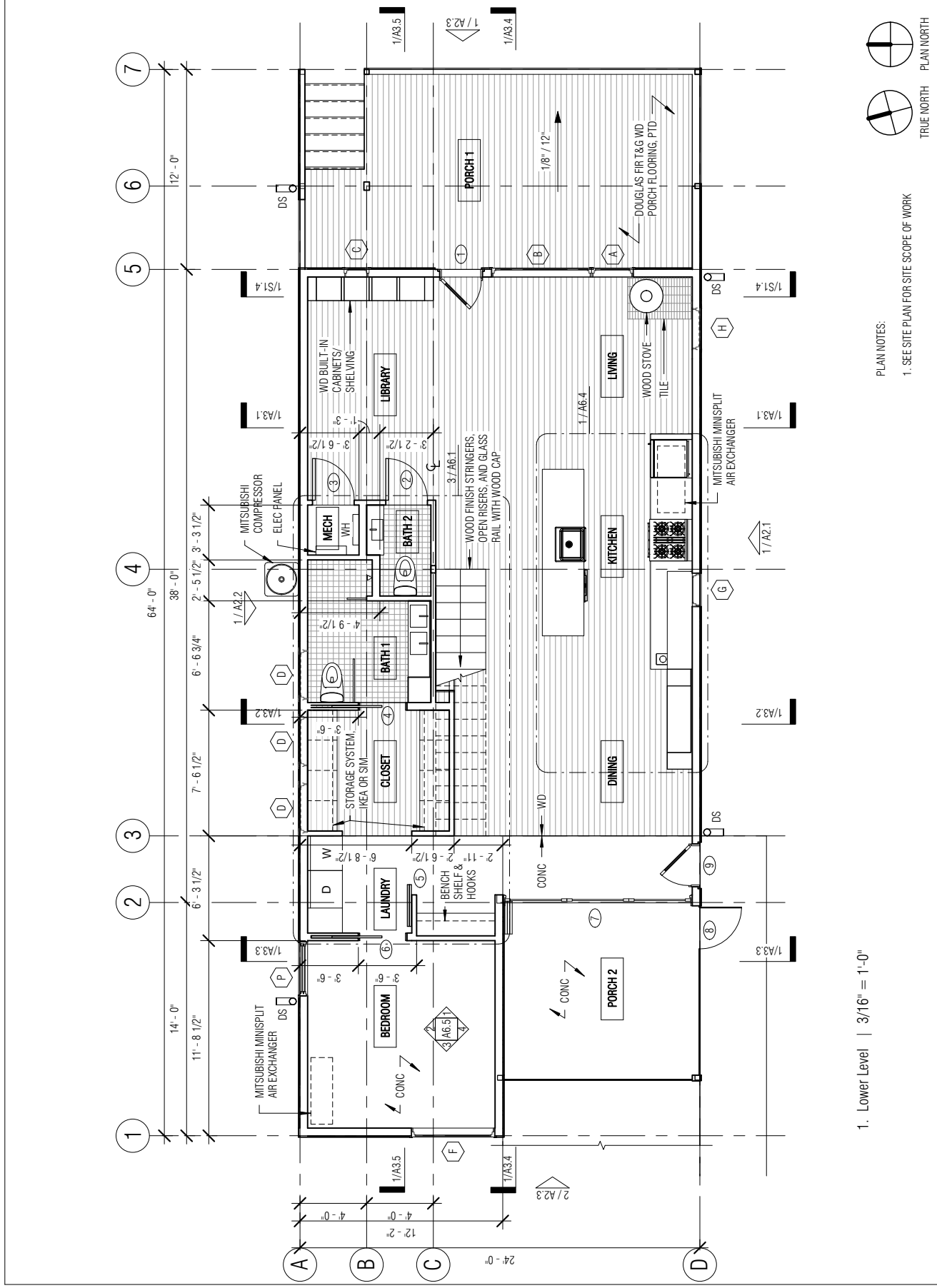
101 Gill Avenue
Knoxville, Tennessee 37917
USA
t: 865.300.1561
f: 865.381.1353
e: curbcc@gmail.com



Issued: 10/13/17 50% DD SET

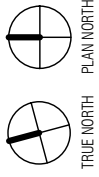
2017-1

A1.1 Lower Level Floor Plan



1. Lower Level | 3/16" = 1'-0"

PLAN NOTES:
1. SEE SITE PLAN FOR SITE SCOPE OF WORK



carpenter hambright residence

1403 Armstrong Ave
Knowlville, Tennessee

curb

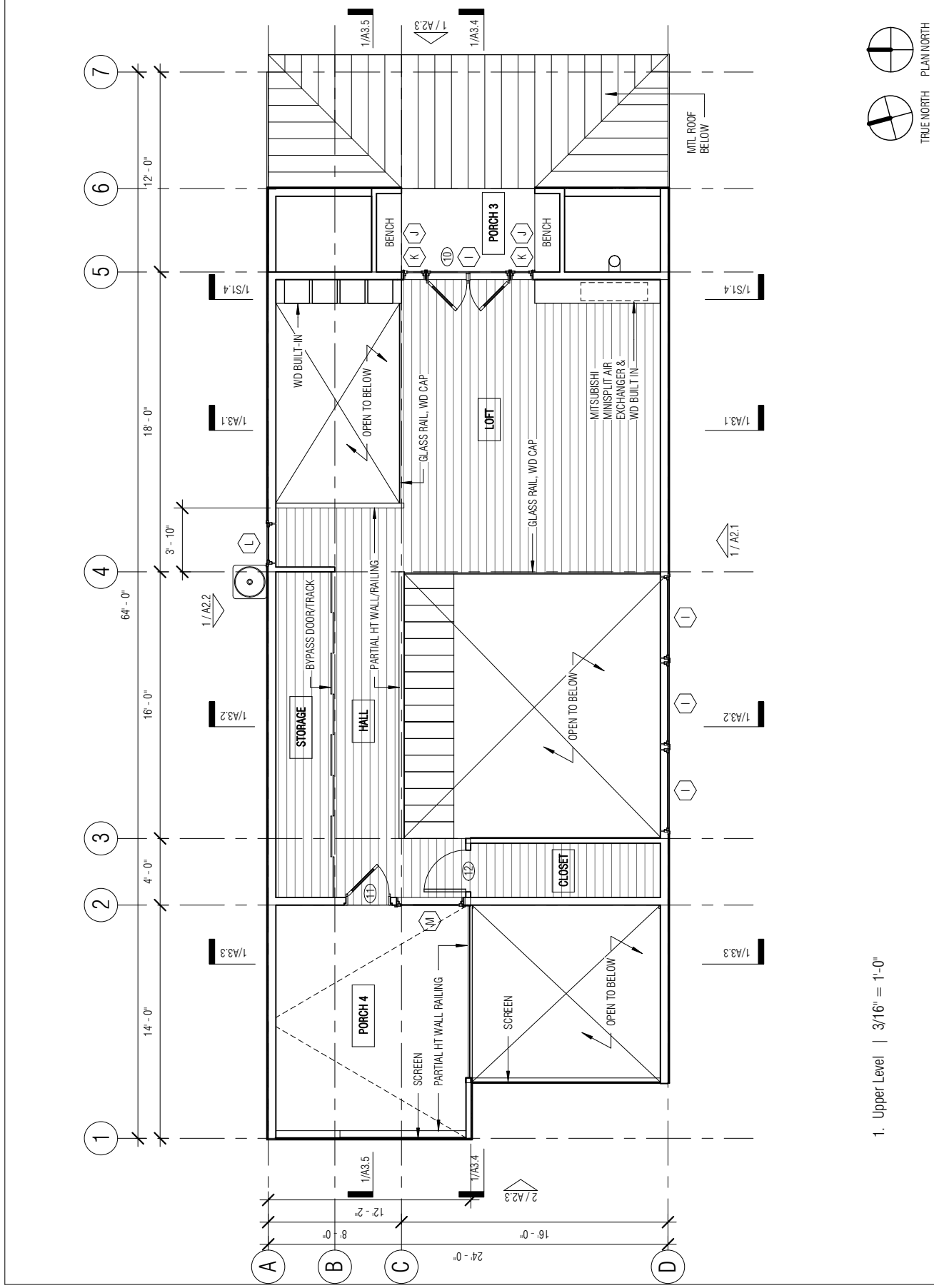
101 Gill Avenue
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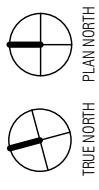
Issued: 10/13/17 50% DD SET

2017-1

A1.2 Upper Level Floor Plan

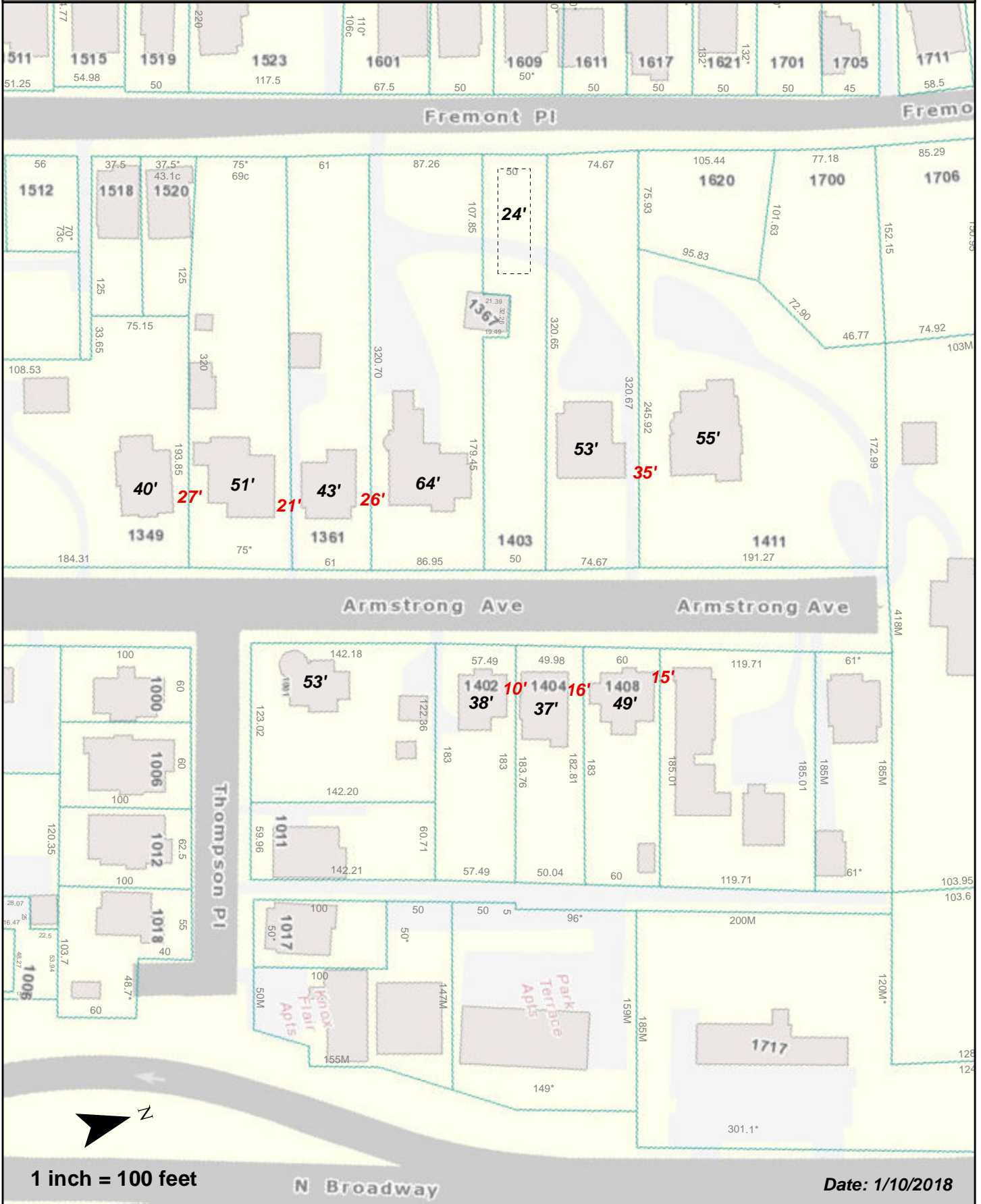


1. Upper Level | 3/16" = 1'-0"



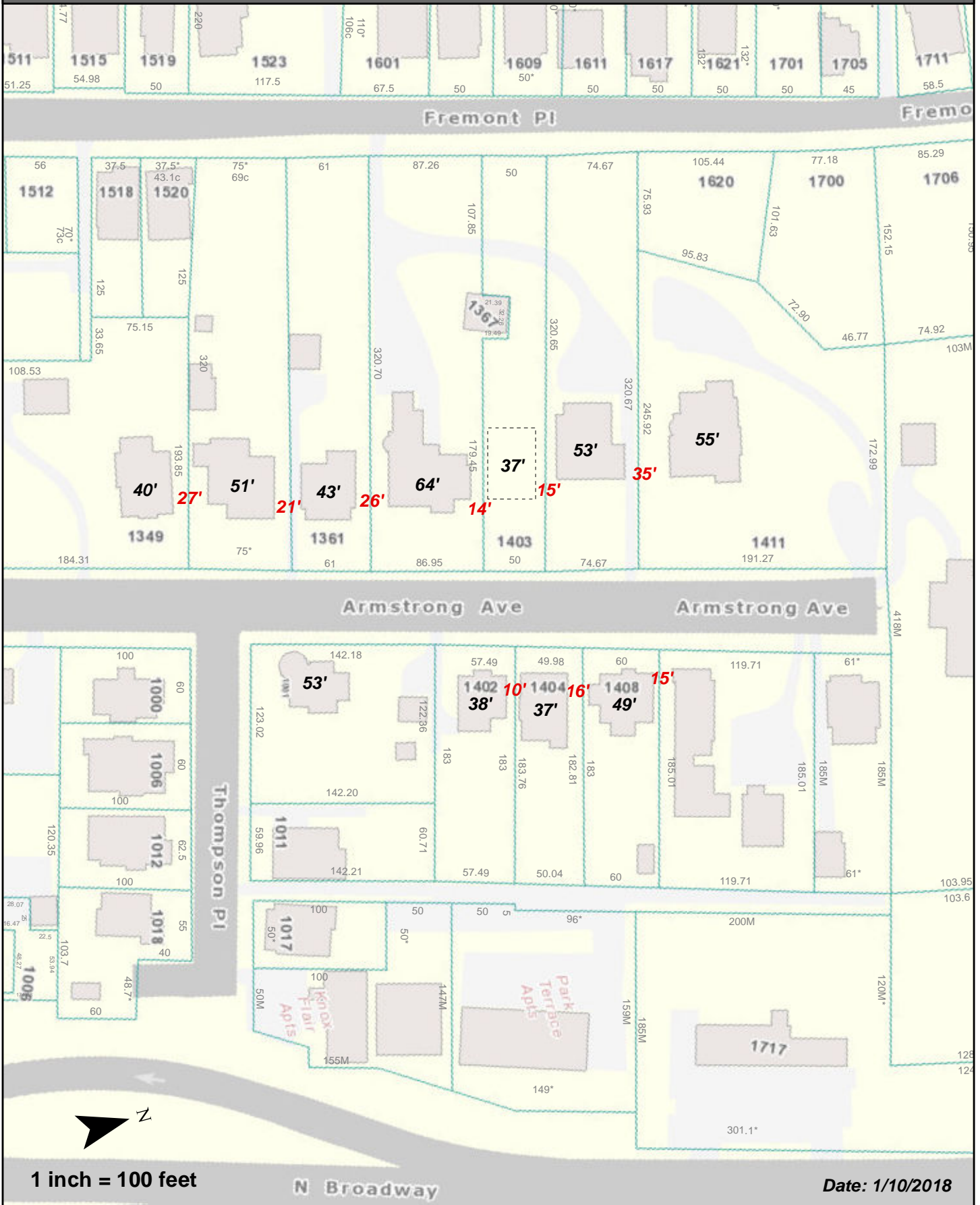
Street Development Pattern

1403 Armstrong Ave - Option 1



Street Development Pattern

1403 Armstrong Ave - Option 2



1 inch = 100 feet

N Broadway

Date: 1/10/2018

