



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 16 Market Square 37902

FILE NO.: 1-B-18-HZ

DISTRICT: Market Square H-1

MEETING DATE: 1/18/2018

APPLICANT: Christian Caine Camel Awning Company (contractor)

LEVEL OF WORK: Level I. Installation of awning

PROPERTY DESCRIPTION: Neoclassical Commercial (1910)

Caldwell Building. Two-story brick building with paired fixed glass windows with transoms and altered storefront. The Caldwell Building was occupied by Caldwell's Department Store, then later series of drug stores. In 1965, the building was occupied by Bower's Department Store. (The storefront is heavily altered but the building is contributing.)

► **DESCRIPTION OF WORK:**

Installation of aluminum patio awning canopy (color: Black, low-gloss). Width is 29 feet and 3 ¼" across the building façade, depth/projection is 10 feet, height of canopy edge is 8 inches. The lower edge of the awning is to be 9 feet above the sidewalk patio. Attached to building masonry with four round tie-back rods not to exceed 2" diameter. Awning and tieback design is to match the approved awning at 15 Market Square ("NOT WATSONS").

► **APPLICABLE DESIGN GUIDELINES:**

Market Square Design Guidelines and Designation Report, adopted by the Knoxville City Council on July 24, 2001.

E. AWNINGS

2. Awnings shall be attached to the building above the display windows and below the storefront cornice or sign panel.
 3. Awnings shall reinforce the frame of the storefront without covering the space between the second story window sills and the storefront cornice, or the piers.
 4. A standard street-level awning should project four to seven feet from the building and should be about seven feet above the sidewalk.
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COMMENTS:

STAFF FINDINGS:

- 1) The building is a contributing structure within the Market Square H-1 and National Register Historic Districts.
- 2) Early photos indicate that awnings were sloped in Market Square. However, three flat awnings on nearby Union Avenue were historically designed to be level and integral with the building design, so this type of awning was historically used on some buildings.
- 3) The black metal storefront is not original or historic in nature, but is a contemporary design. Therefore, it is appropriate for the proposed awning to be contemporary in design (flat, metal) rather the historic (sloped canvas).



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4) The awnings is proposed to be attached to the building above the display windows as recommended by the design guidelines, and below the transom window.

5) The awning will not cover the space between the second-story window sills and the storefront cornice as the guidelines recommend.

6). Three previously approved awnings in Market Square are attached to the building with round metal tiebacks at 1, 15, and 36 Market Square. However, the tiebacks for the last two projects were approved at 1.5 inches in diameter, given that those at 1 Market Square were found to be inappropriately large.

► **STAFF RECOMMENDATION:**

Approval with the condition that the awning tiebacks be less than 2 inches in diameter and that the finish be a low-gloss.

Certificate (File) No: 1-B-18-HZ

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION

Please print all information:

1. APPLICANT NAME: CAMEL CANVAS (contact: CHRISTIAN CAIN, cell 865254-5006)

Address: 8910 VALERO ROAD, KNOXVILLE, TN. 37920

Telephone: 865-573-2804

E-mail address: ccain@camelcanvas.com

Relationship to Owner: SUB-CONTRACTOR

2. OWNER NAME: THREE DEGREES LLC ATTN: JIMMY BUCKNER

Address: 5401 KINGSTON PIKE, BLDG 1, #200, KNOXVILLE, TN 37919

Telephone: 865-250-3313

E-mail address: scapecrownation@gmail.com

3. LOCATION OF PROPERTY: EMILIA RESTAURANT

Address: 16 MARKET SQUARE, KNOXVILLE, TN Tax ID/Lot/Parcel No: 094LE038
37902

4. LEVEL OF WORK (circle Level)

Level I Routine repair; replacement of deteriorated materials in-kind; removal of artificial siding; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure or a late addition; renewal of COA

Level II Major replacement of materials or architectural elements; construction of an addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

ONE ALUMINUM ARCHITECTURAL PATIO CANOPY, COLOR: BLACK
WIDTH IS 29' 3 1/4" ACROSS BUILDING FACADE, DEPTH/PROJECTION IS 10', CANOPY
HEIGHT IS 8". FOUR TIE-BACK RODS, ROUND, NOT TO EXCEED 2" DIAMETER.
CANOPY IS TO BE IN THE STYLE AS "NOT WATSONS" 15 MARKET SQUARE

6. SIGNATURE OF APPLICANT: Christian Cain

Date: 12-22-17

Incomplete applications cannot be accepted.

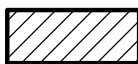
Mail application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902; or Fax: (865) 215-2068; or E-mail to Kaye.Graybeal@knoxmpc.org
Phone: (865) 215-3795

FOR STAFF USE ONLY

Date Received _____ Approved _____ Disapproved _____ Approved As Modified _____
Date Acted On _____



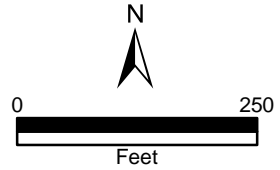
1-B-18-HZ
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



16 Market Square 37902
Market Square H-1

Original Print Date: 1/8/2018
 Metropolitan Planning Commission - City / County Building - Knoxville, TN 37902

Petitioner: Christian Caine Camel Awning Company



Places Mobile

[View on Google Maps](#)

Call for more info
FOR SALE
865-971-4080

LATITUDE 35

OPEN





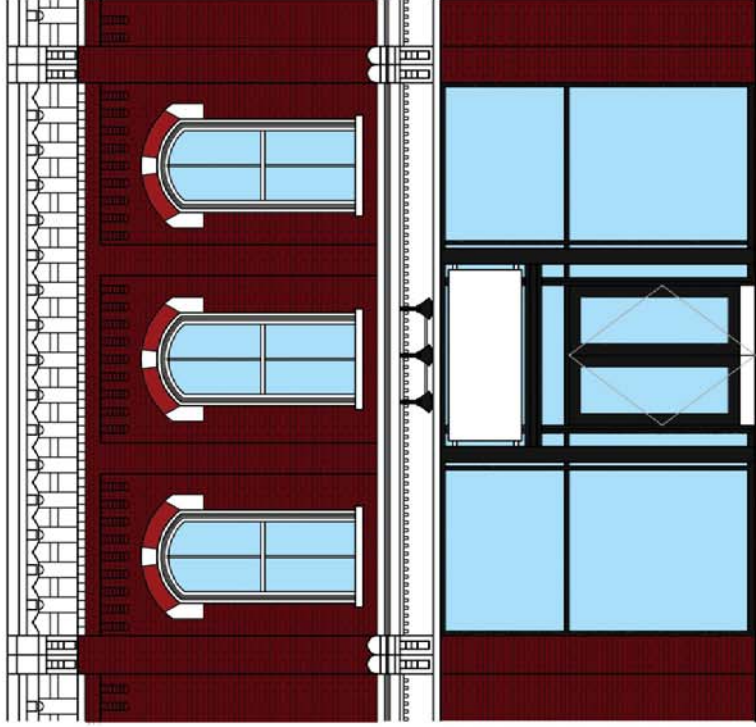
FLAT METAL AWNING EXAMPLES NEAR MARKET SQUARE



406 Union Ave awning



513 Union Ave awning



EXISTING ELEVATION



PROPOSED ELEVATION

A Conceptual Elevation for:
NOT WATSON'S

15 Market Square • April 3, 2014



Johnson
Architecture

SCALE: 3/16" = 1'-0"

PRELIMINARY