



**KNOX COUNTY HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 10817 Second Dr 37934

FILE NO.: 2-F-18-HZ

DISTRICT: Village of Concord HZ

MEETING DATE: 2/15/2018

APPLICANT: Lisa Beer and Steffan Wigert (owners)

LEVEL OF WORK: Level III. Construction of new primary building

PROPERTY DESCRIPTION: vacant lot: ~ 120 w x 160 d at 19,195 square feet in area

Former c. 1887 house which was demolished in 2017 was a vernacular one-story frame dwelling with aluminum siding. Heavily altered from front-gable-and-wing configuration, as well as deteriorated structure; therefore, considered to be non-contributing.

► **DESCRIPTION OF WORK:**

HOUSE: Proposed primary residence for 10817 Second Drive is a 24'w x 46'h one-story wood-framed front gabled rectangular form with a 9'-0" ceiling height and an unfinished attic with a floor-to-roof-peak height of 21'-6". The house floor will sit at approximately contour 824' so that the front porch will be at ~3'-6" above the finished grade in front and approximately 1'-6" at the rear. The foundation will be of distressed or salvaged dark brownish/red brick. The brick cap will be 5" sloping 2x treated and painted lumber.

The house will be fronted by a 8' x 16' porch with a 5-V metal-clad hipped roof at a 3/12 slope. A shed-roofed clerestory dormer with a pitch of 3/12 projects from each side of the upper roof. The dormer ends will be clad in straight-edged fiber cement shakes. The house will be clad in fiber cement board 6" horizontal siding with smooth finish. The 8'-deep front porch features a 3/12 hipped 5-V-groove metal roof supported by 9x9 built-up wood posts (with base trim) and a 2x2 square wooden balustrade at 36"-high. Porch posts may be chamfered, eliminating the base trim. Both front and back porch will be wood-framed with tongue-and-groove wood flooring. Solid wood front and back doors will have a ½-light above and a wood panel below, and will be topped by a 1'-0"h transom. Windows will be aluminum-clad one-over-one. Most sizes will be 3'-0" wide by 4'-6" tall with a 1'-0"h transom light above. Dormer windows will be aluminum-clad awning windows with a quad-muntined pattern.

GARAGE: The proposed detached 24'x35' frame front-gabled garage is one-story with a 10'-0" ceiling height with an unfinished floor above. The garage is 22'-6" from slab to peak. The garage will be concrete slab on-grade, however, it is set into the natural slope with the floor at (approximately) elevation 822.5 contour so that a brick-covered retaining wall will wrap around the front approximately 1'-6" above the slab. Height range for the garage foundation is 1'-6" at the front to 3'-6" at back. The rear retaining wall may end up being higher once grading is established.

The garage will have two 10'w x 25'l shed structures, one attached to each of the east and west sides with a 3/12 5-V, 26-gauge galvalume metal roof. The main garage will be clad with 6" fiber cement board horizontal siding, smooth-side-out. The walls of the west shed (facing Olive Drive) will be clad in vertical fiber cement board-and-batten siding and have a service door. The shed facing the adjacent east neighbor will be unenclosed and supported by 9x9 wood square wooden posts at the outer corners. The garage will sit approximately 115' from Second Drive at

► **APPLICABLE DESIGN GUIDELINES:**



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► **APPLICABLE DESIGN GUIDELINES:**

Village of Concord Design Guidelines, adopted by the Knox County Commission on October 22, 2001.

INFILL AND NEW CONSTRUCTION

New buildings should be compatible with surrounding architecture, but their design should recognize that they will function as a new building and will be built with new materials. . . .New buildings constructed in historic areas should, however, be compatible with older structures and sensitive to the patterns already in that environment. A building should not be visually incompatible or disrespect historic relationships within the neighborhood.

WIDTH OF HOUSES AND LOTS

. . .The form of the houses is rectangular or irregular, with narrow sides facing the street. This development pattern should be respected if new structures are built in the neighborhood

SCALE AND MASSING

. . . The size and proportions of new buildings should be consistent with historic or adjacent buildings in the neighborhood. Recessed or projecting porches, bays and other details should be incorporated into any new construction. Any new buildings should complement and reinforce neighboring buildings. . . .

OUTBUILDINGS

Auxiliary or outbuildings are sometimes found in Concord, and would have included carriage houses, barns, outhouses and sheds. . . . Buildings that resemble carriage houses, work buildings or simple one-story garages may be appropriate for the historic district. Their size and construction should duplicate the original outbuildings that would have been found.

RESIDENTIAL BUILDINGS - RECOMMENDATIONS:

1. Maintain the facade lines of streetscapes. Never violate the existing setback pattern by placing new buildings in front of or behind the historic setback line, or at odd angles.
2. Relate the size and proportions of new structures to the scale of adjacent buildings.
3. Break up box-like forms into smaller masses like historic buildings. New buildings should be designed with a mix of door and window elements in the facade mimicking nearby historic houses. The placement of door and window openings should be imitated.
4. Relate the vertical, horizontal character of new buildings to the directional alignment of nearby buildings.
5. Relate the roof forms of the new buildings to those found in the area, duplicating existing roof shapes and pitches.
6. New buildings shall equal the average height of existing adjacent buildings.
7. New housing shall be built with raised foundations or designed to suggest that there is a raised foundation equal to the foundation height of adjacent buildings.
8. In new buildings, the height of roofs and eaves, stories, windows and doors shall mimic adjacent historic buildings.
9. The materials used for new buildings shall be consistent with existing historic building materials along the street.
10. Front elevations shall have a strong sense of entry.
15. Garages and other outbuildings shall resemble outbuildings that have been historically constructed in the Village of Concord.

COMMENTS:

HZC pre-application review held December 21, 2018.



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STAFF FINDINGS:

- 1) The former c. 1897 one-story frame house formerly on the lot was approved to be demolished in 2017 by the HZC due to extensive alterations and deterioration. The lot, zoned Residential Agricultural (RA), is now vacant. Lot dimensions = ~ 120 w x 160 d at 19,195 square feet in area.
- 2) The proposed square footage of house footprint is 1,104 sf (24 w x 46 d).
- 3) The proposed square footage of accessory structure footprint is 1,240 sf (24 w x 35 d with 10 w x 25 d shed-roofed wings on each side).
- 4) Front setback is proposed to be 25 feet from 2nd Drive (required to be at least 35 feet by code, but HZC may establish the front setback).
- 5) Exterior side setback proposed to be 35 feet from Olive Road (required to be 35 feet or greater for a corner lot).
- 6) Interior side setback proposed to be 10 feet (may be as little as 8 feet).
- 7) Rear setback for the house is proposed to be 71 feet.
- 8) Rear setback for accessory structure is proposed to be 10 feet (may be as little as 5 feet).
- 9) Interior side setback for accessory structure proposed to be 10 feet from east adjacent lot line (may be as little as 5 feet).
- 10) The proposed style of the house is appropriate given that there are a few other front-gabled Victorian-era cottages throughout the district.
- 11) The proposed materials are appropriate given that fiber cement board has been found to adequately simulate wood siding for new construction as long as the proposed smooth finish with no faux wood-graining is utilized. Metal-clad wood windows have been found to be appropriate for new construction in the district. The wood door and porch elements are also appropriate.
- 12) The transomed door and the window sizes/types are appropriate for the style and era of the house and the district.
- 13) The depth, width, and hipped-roofed form of the front porch with its 2x2 balustrade is appropriate for the style and era of the house and the district.
- 14) The roof pitch and asphalt-shingled material for the main roofs is appropriate for the style and era of the two structures and the district. The 5-V galvalume metal roof for the porch roofs and garage shed structures is also appropriate.
- 15) The foundation height and distressed or salvaged red/brown brick is appropriate for the style and era of the two structures and the district.
- 16) All accessory structures in the district are of less width and square footage than the main house (see bird's-eye maps in info package) and are several feet lower. The proposed house and garage do not meet this precedent since the main block of the proposed garage and house will be the same shape width and nearly the same height. With the shed-roofed wings, the accessory structure will be 20 feet wider than the house as viewed from the front. The proposal includes an attempt to break up the square footage and massing of the accessory structure by allocating some of the square footage to the one-story shed-roofed structures on each side of the garage. Even though the garage will be set into the embankment at the rear of the lot, the garage roof peak will only be 1 foot lower than that of the main house, and the topography will slope toward the front of the lot.

► **STAFF RECOMMENDATION:**

Staff recommends approval with the following conditions:

- 1) that the garage door openings be two separate ones as shown in the drawings and overhead doors to appear as side-opening carriage house doors. Confirmation of service door type (shown as single-light or single wood panel



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door on submitted drawings) with specifications for both to be provided to staff for approval.

2) that a sample of brick for foundation and chimney (if constructed) be provided to staff for approval. Staff recommends pricing a masonry chimney stack for the wood stove vent, but the chimney stack is not required as a condition of approval.

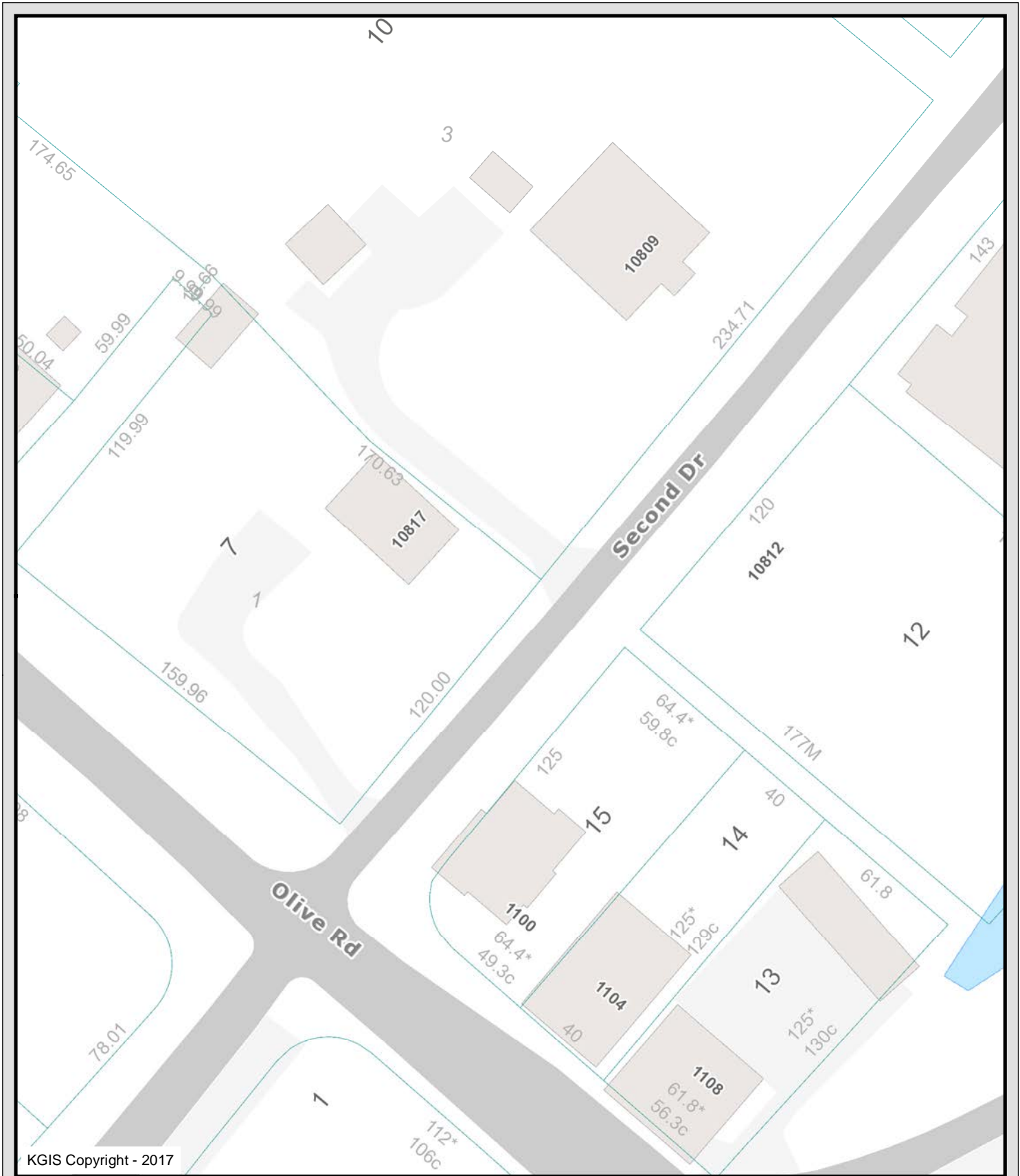
3) The garage peak should be made to be more significantly lower than 1 foot than that of the house since no precedent has been discovered by staff or provided by the applicant for accessory structures that are nearly the same height as the main house.

Other staff recommendations for the record:

1) Staff has recommended that the applicant consider constructing two separate accessory structures on the site, one for the garage and one for the workshop, since more than one accessory structure is not atypical for the district. Accessory structures that have a width and height that are the same as that of the main structure and have more square footage than the main structure, such as the proposed, are not typical in the district.

2) A second option recommended by staff was to attach the garage to the rear or side of the house to provide more mass to the primary structure on the lot, while reducing the mass of the accessory structure. However, the applicant chose not to pursue either of these options.

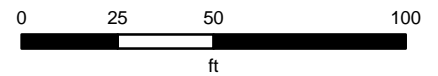
PRECEDENT: Approval of the proposal as submitted will set a precedent for allowing an accessory structure to have more square footage than the main house and to have greater width as viewed from the street. However, the massing can be required to be broken up under different roof structures, and the roof peak of the garage be at least 1 foot lower than that of the main house as in the current proposal. Additionally, any accessory structure larger than the main house can be required to be at least 36 feet to the rear of the main house as in the current proposal.



10817 Second Drive

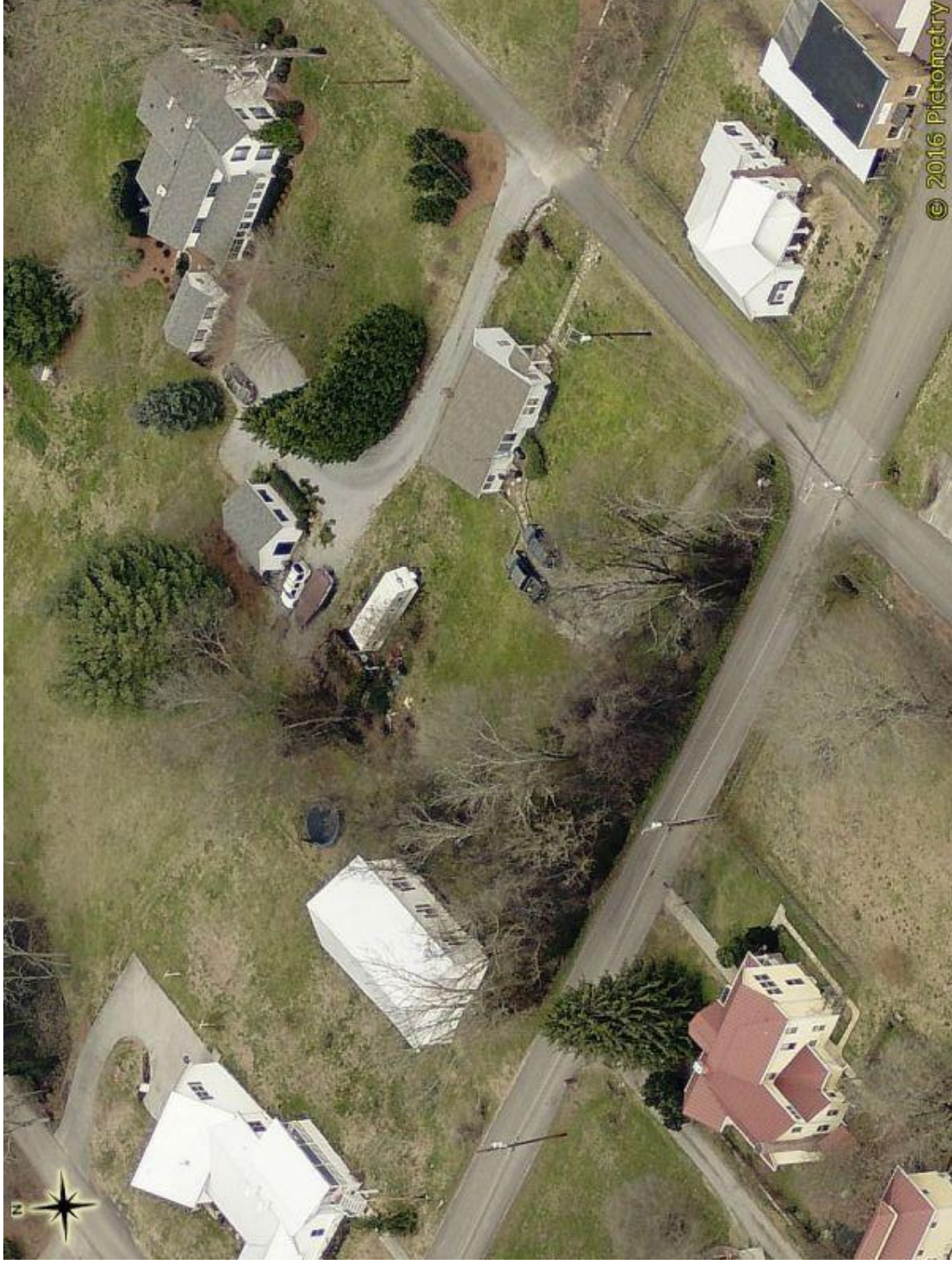
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10817 2nd Dr. Bird's Eye view of site



Bird's Eye view of intersect of Olive and 2nd Dr. showing sizes of buildings



Building/Lot Dimensions and Setbacks

10817 Second Drive, Concord Village HZ

2/15/2018

Proposed square footage of *house* footprint –

1,104 sf-footprint (24 w x 46 d)

Proposed square footage of *accessory structure* footprint -

1,240 sf-footprint

(24 w x 35 d with 10w x 25d shed-roofed wings on each side)

Lot dimensions = ~ 120 w x 160 d

Lot area = 19,195 sf

Front setback = at least 35 feet in RA Zone, but HZC may establish the front setback (from 2nd Drive - proposed to be 25 feet)

Exterior side setback = 35 feet or more for a corner lot in Residential A Zone (from Olive Road -proposed to be 35 feet)

Interior side setback = 8 feet or more (proposed to be 10 feet)

Rear setback = 25 feet or more (proposed to be 71 feet)

Rear setback for *accessory structure* = 5 feet or more (proposed to be 10 feet)

Interior side setback for *accessory structure* = 5 feet or more (proposed to be 10 feet from east adjacent lot line)

**NEW RESIDENCE FOR MR AND MRS WIGERT
10817 SECOND DRIVE, KNOXVILLE TN., 37934
SITE PLAN**

REVISION:
R0

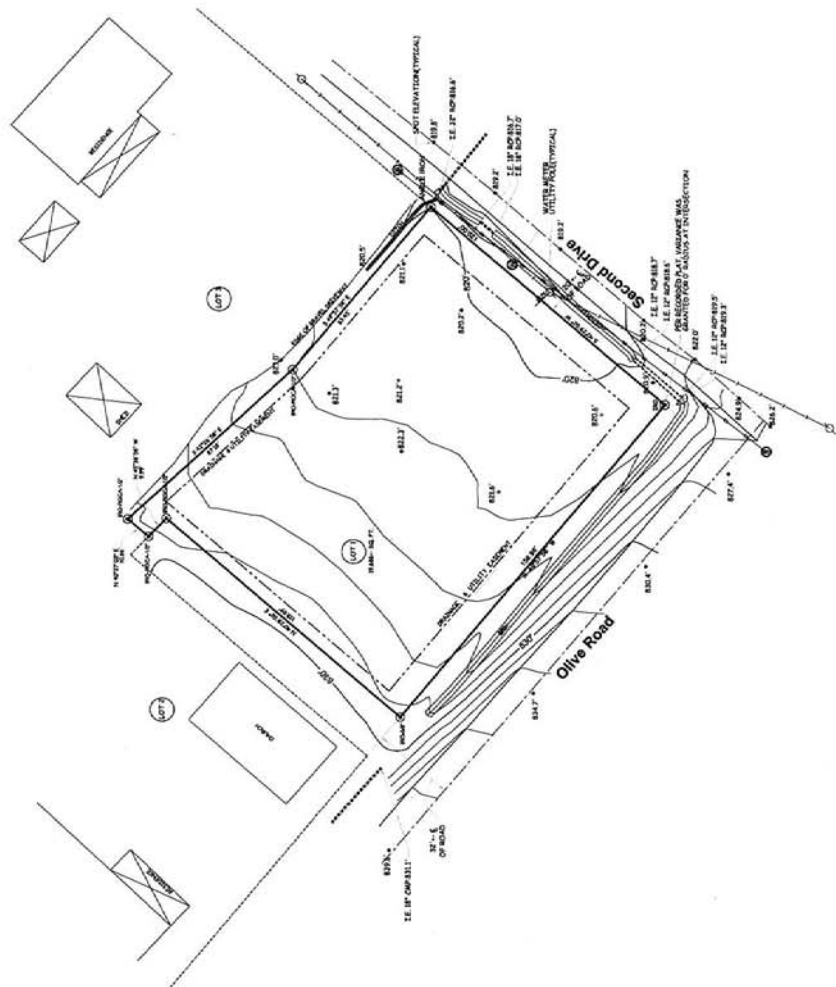
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A-2

threlkeld • phillips

ARCHITECTURE

825 OLIVE ROAD, CORNUCK PLACE
CONCORD, TN, 37934
KNOXVILLE, TN, 37923
PHONE: (865) 719-8480
threlkeldphillips@gmail.com



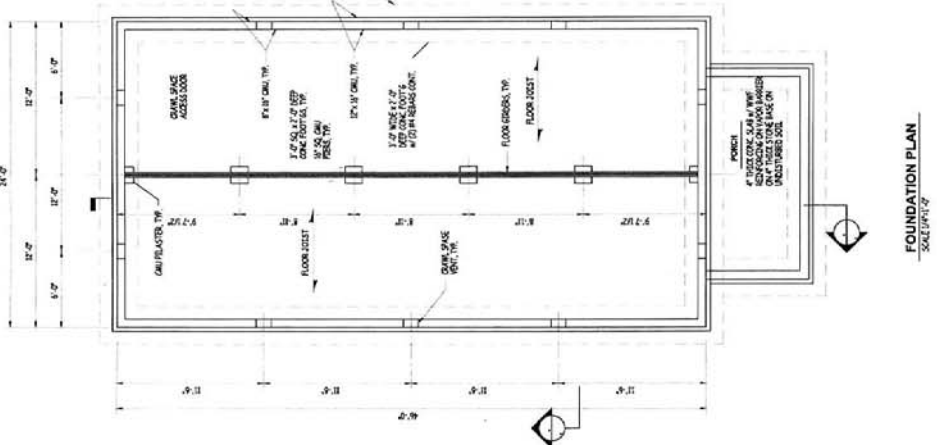
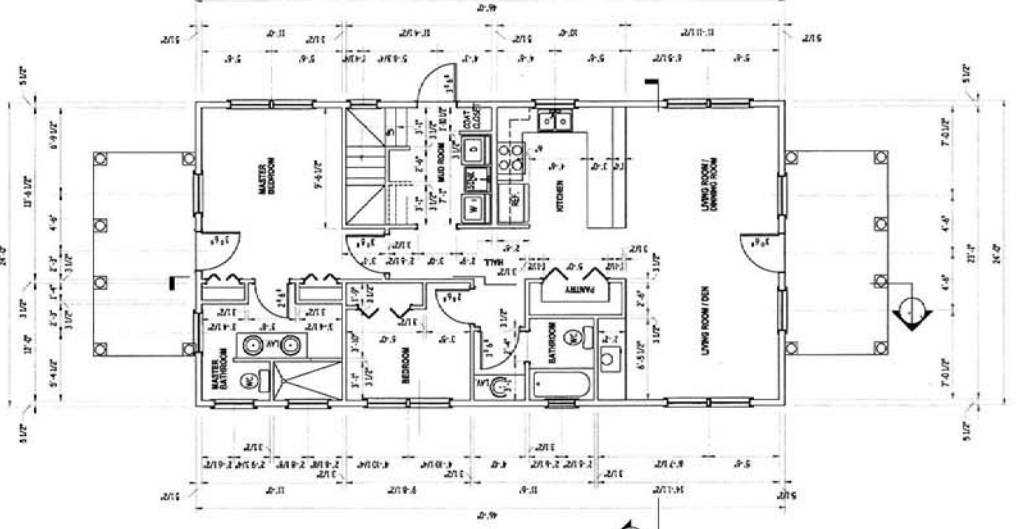
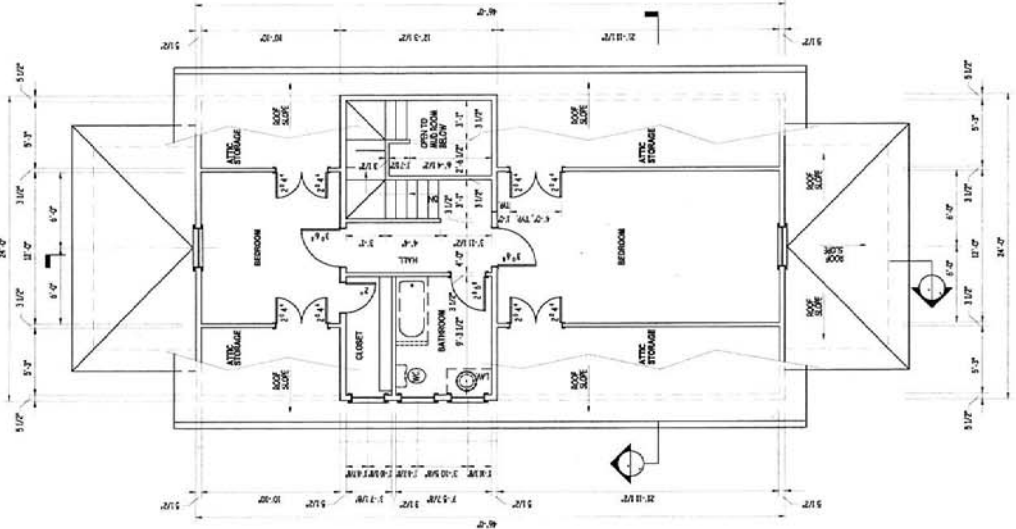
SITE PLAN
SCALE 1/8" = 1'-0"

**NEW RESIDENCE FOR MR AND MRS WIGERT
10817 SECOND DRIVE, KNOXVILLE, TN., 37934
FOUNDATION, MAIN LEVEL AND SECOND LEVEL FLOOR PLAN**

REVISION: RO

DATE:

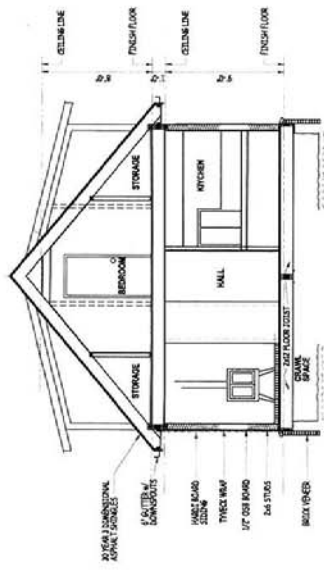
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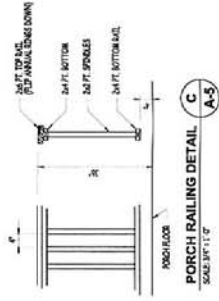
threlkeld • phillips
ARCHITECTURE

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A
A-5 BUILDING CROSS SECTION
SCALE 1/4" = 1'-0"



C
A-5 PORCH RAILING DETAIL
SCALE 3/4" = 1'-0"

threlkeld • phillips
ARCHITECTURE
925 OLIVE ROAD, 931 8490
KNOXVILLE, TN 37917
PHONE: (865) 717-8490
threlkeldphillips@gmail.com

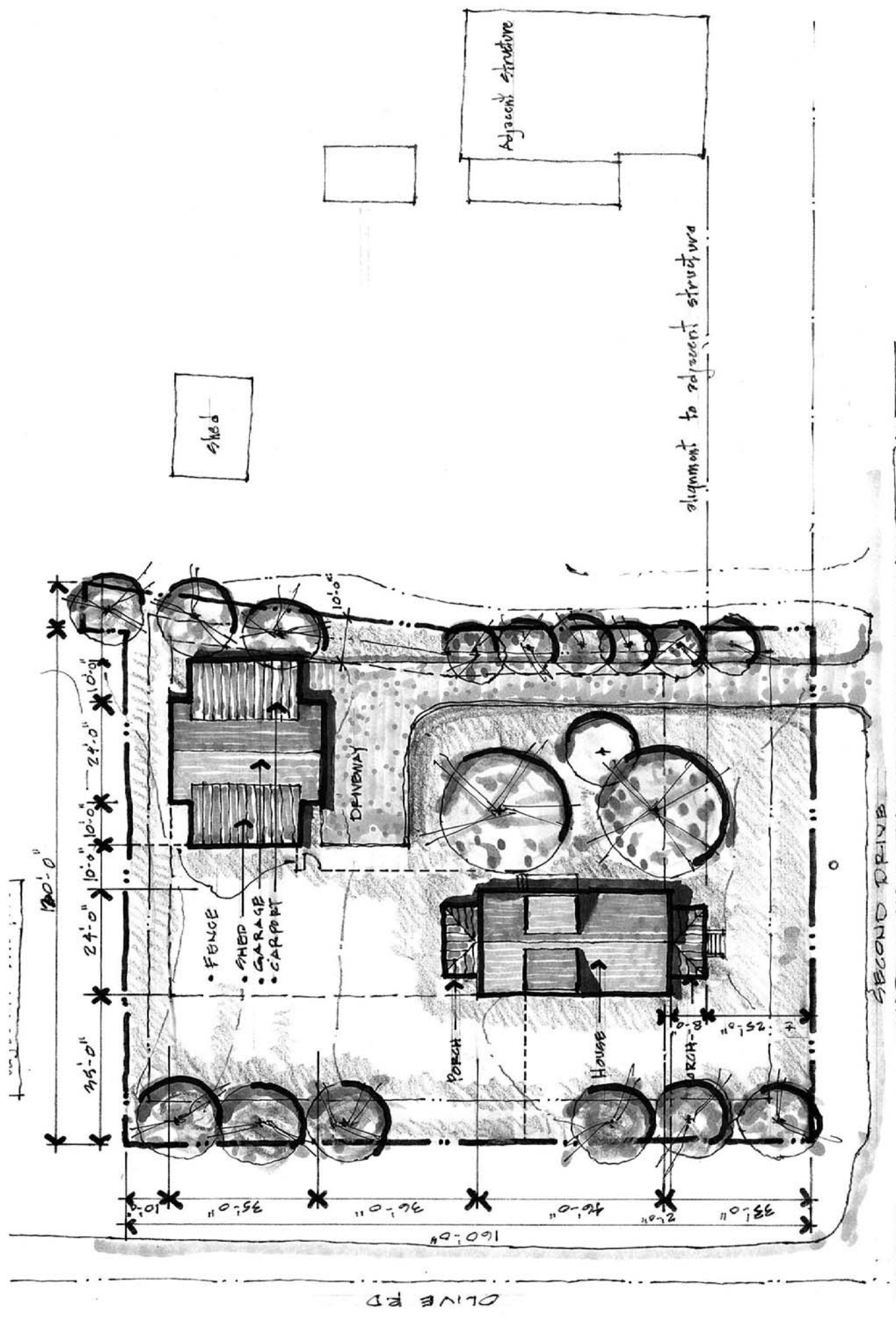
10019 MCCORMICK PLACE
KNOXVILLE, TN 37922
PHONE: (865) 333-8082

A-5

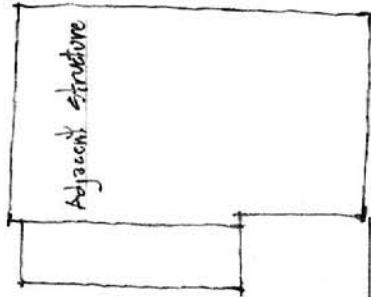
DATE:

REVISION:
RO

MR. AND MRS WIGERT
10817 SECOND DRIVE, KNOXVILLE, TN, 37934
SECTIONS AND DETAILS



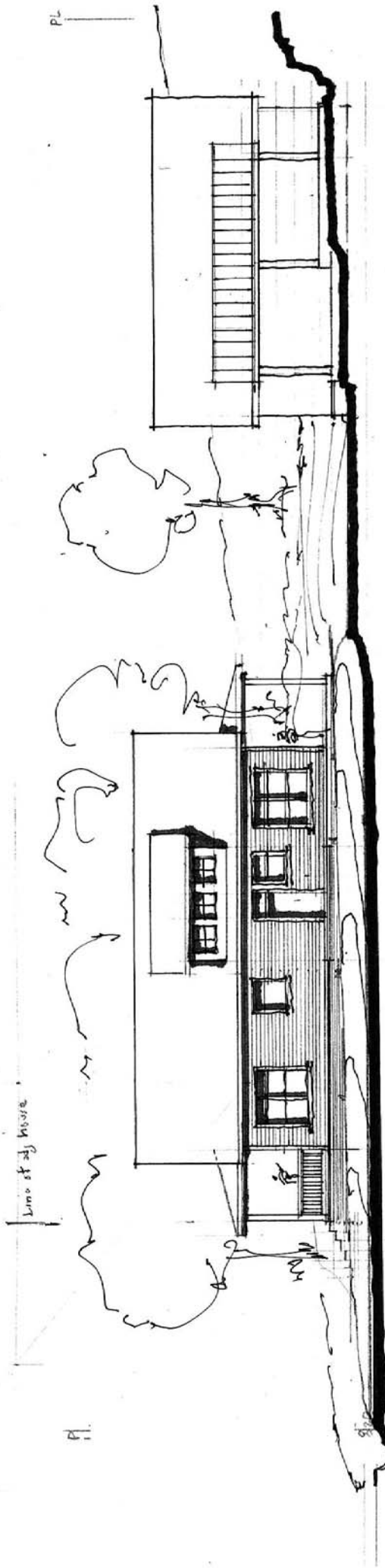
Shed



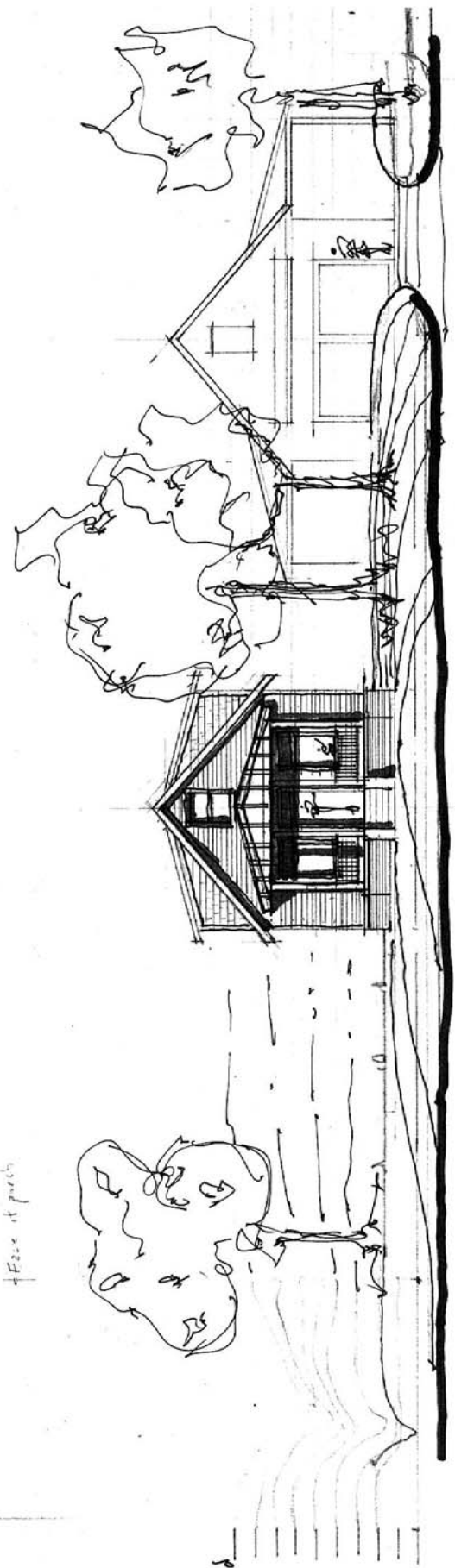
alignment to adjacent structure

OLIVE RD

SECOND DRIVE



Site Section looking West



Site Elevation from Second Drive

Line of adj house

PL

Second Drive

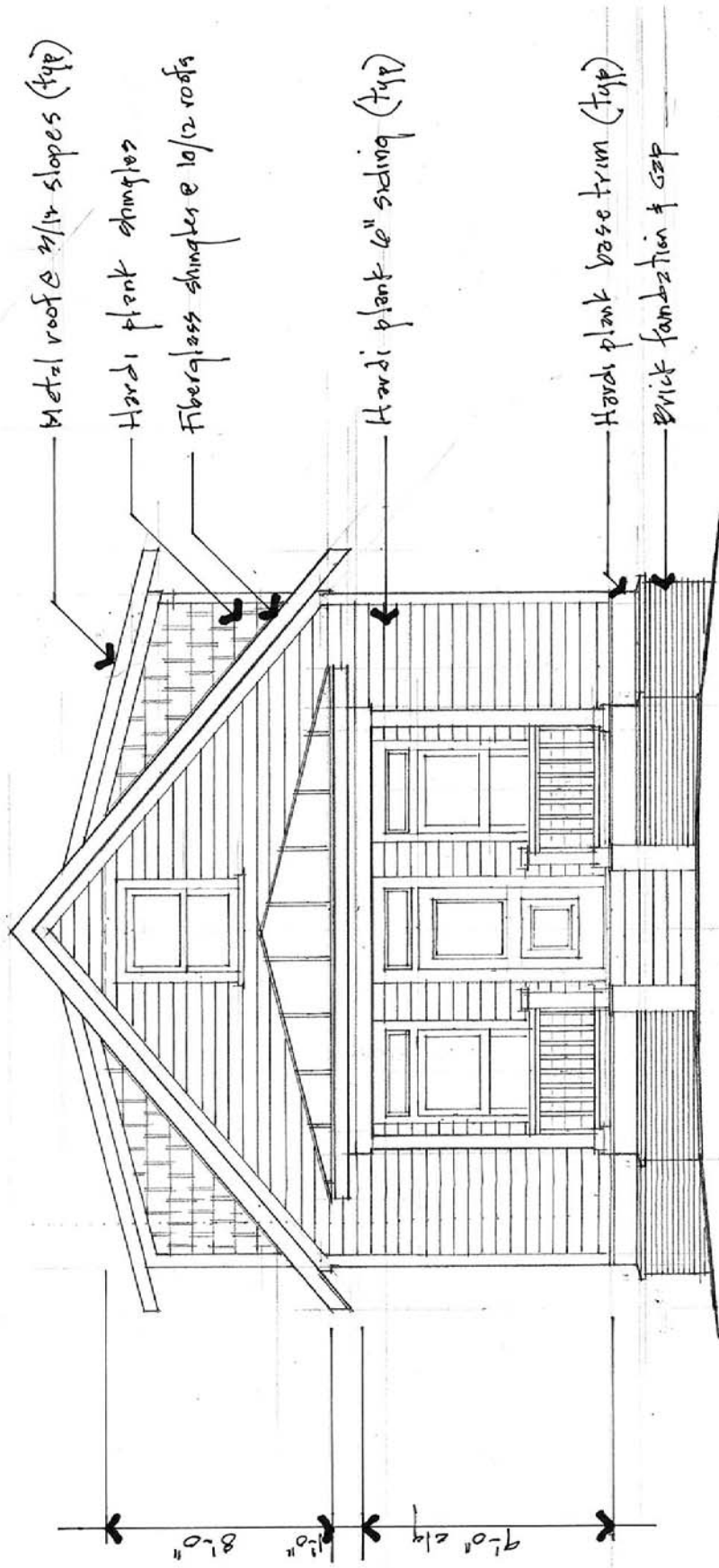
Face of porch

Edge of road

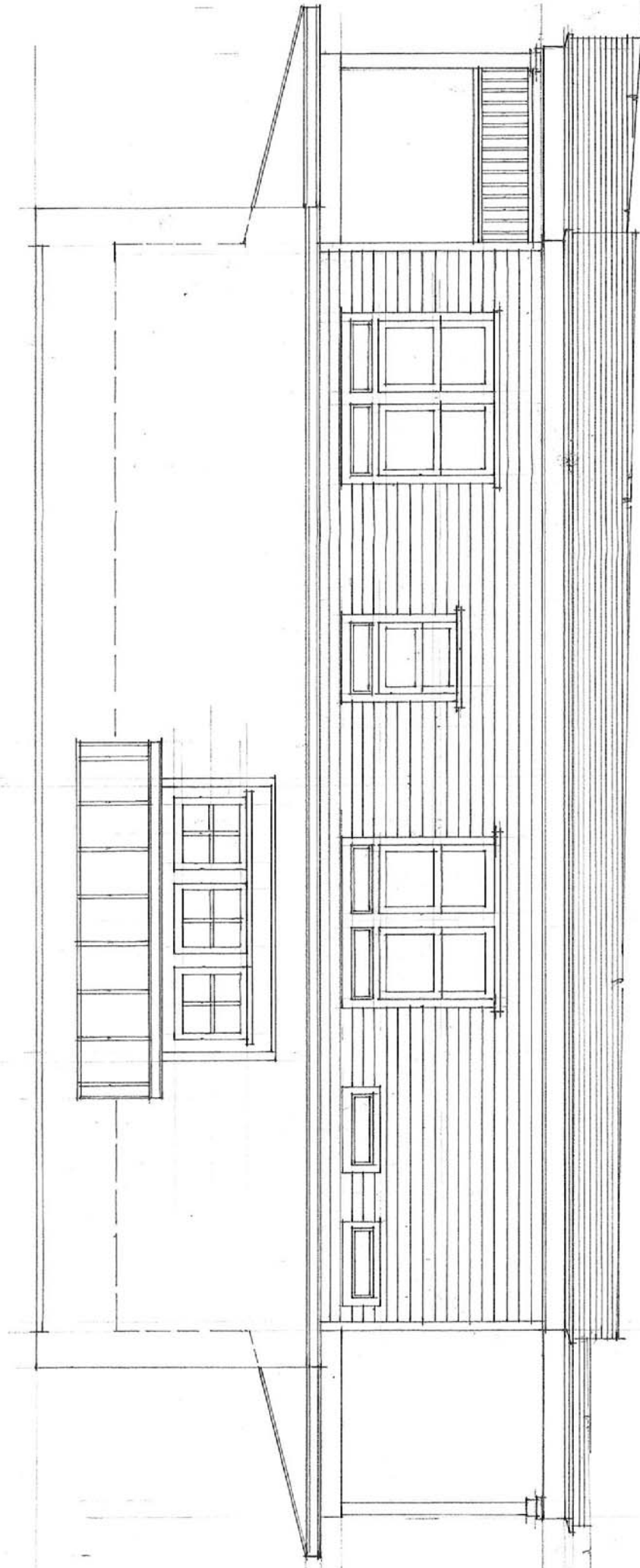
Edge of road

PL

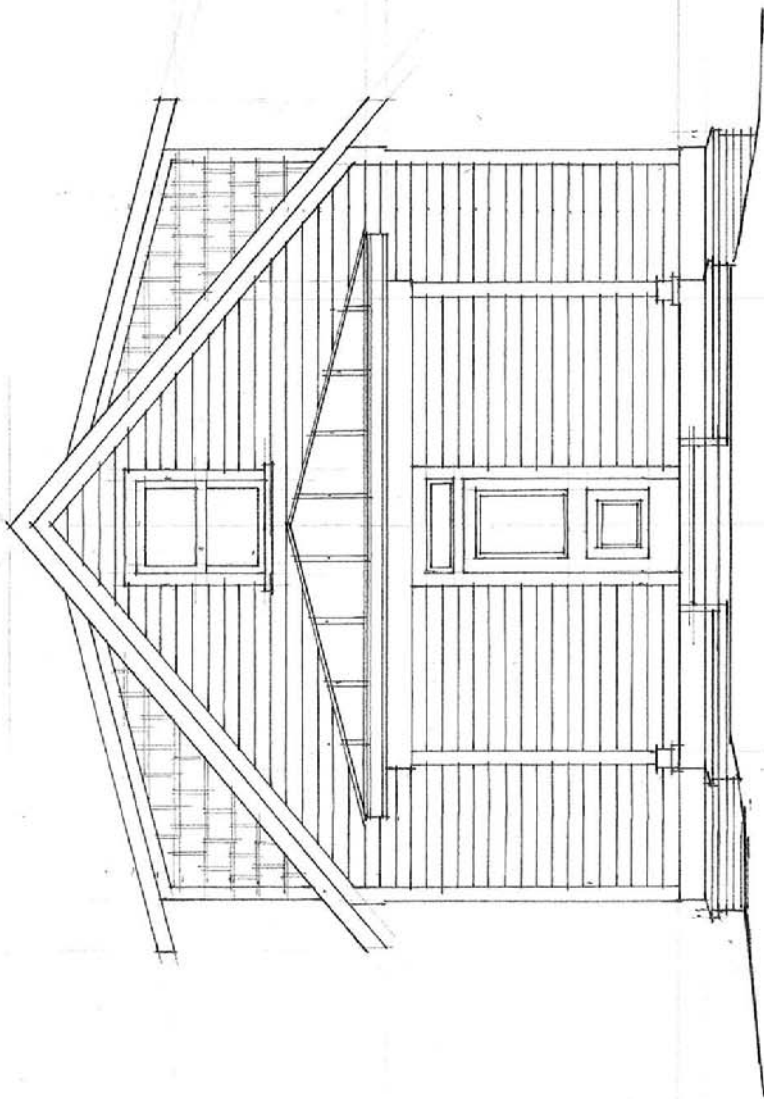
Edge of road
PL



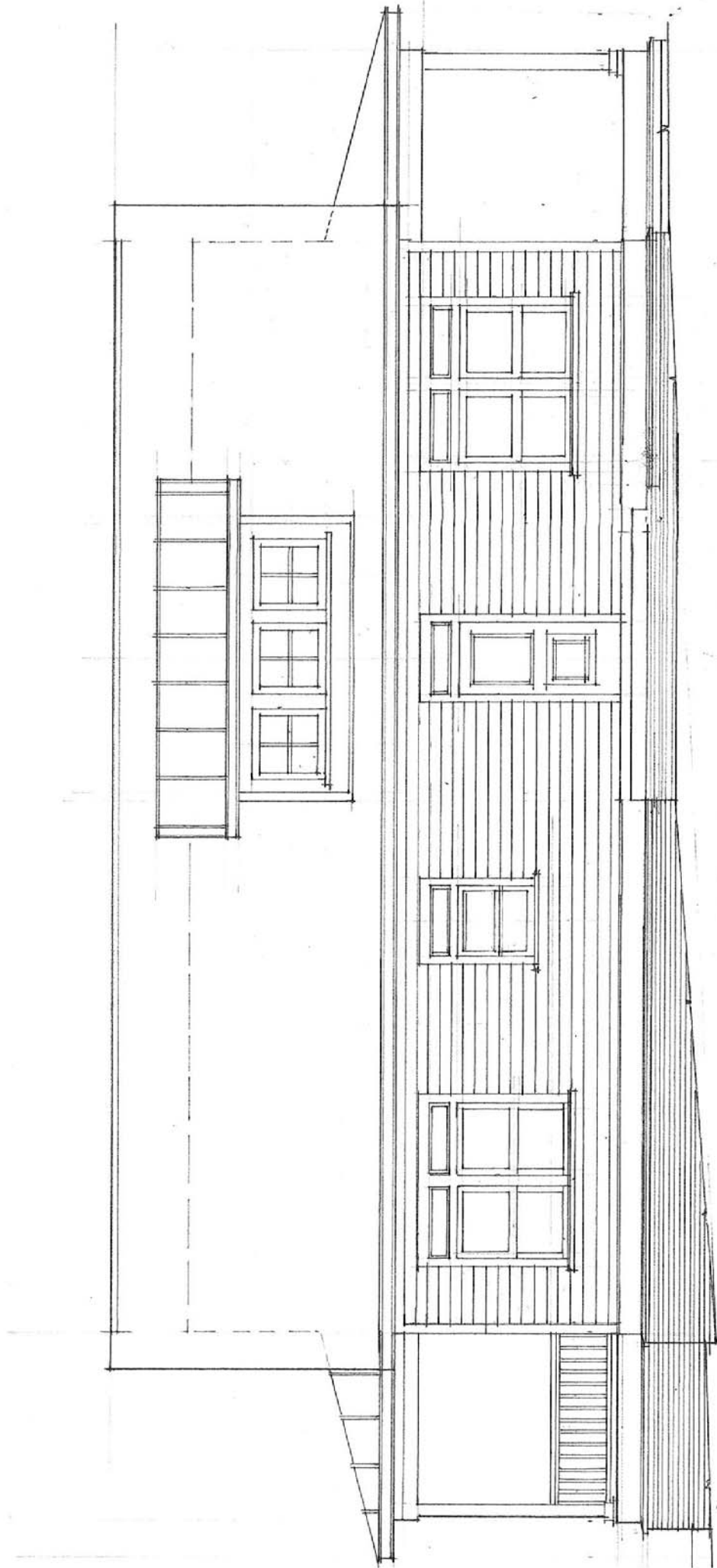
South (Front) Elevation
 Scale 1/4" = 1'-0"



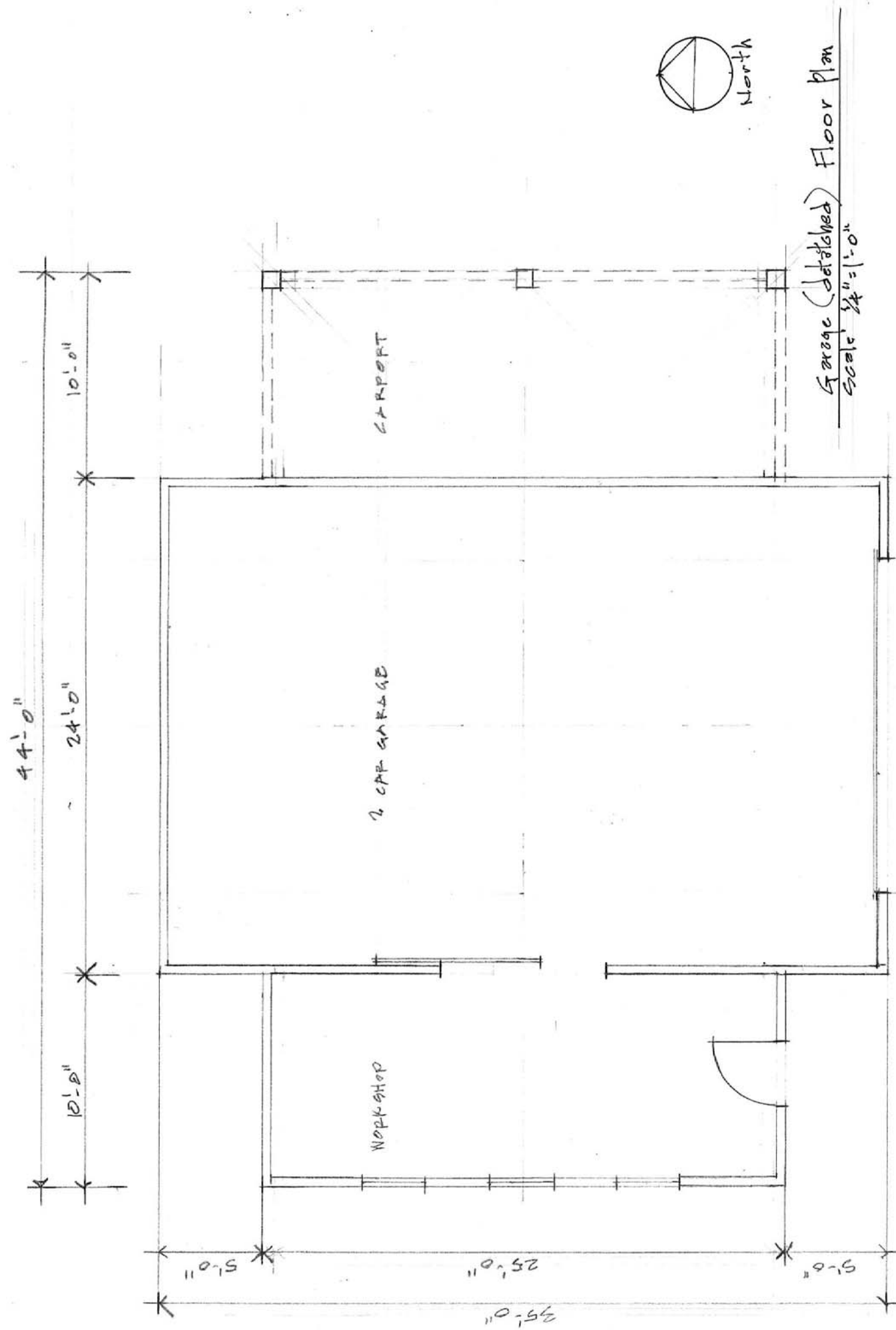
West Elevation
Scale 1/4" = 1'-0"



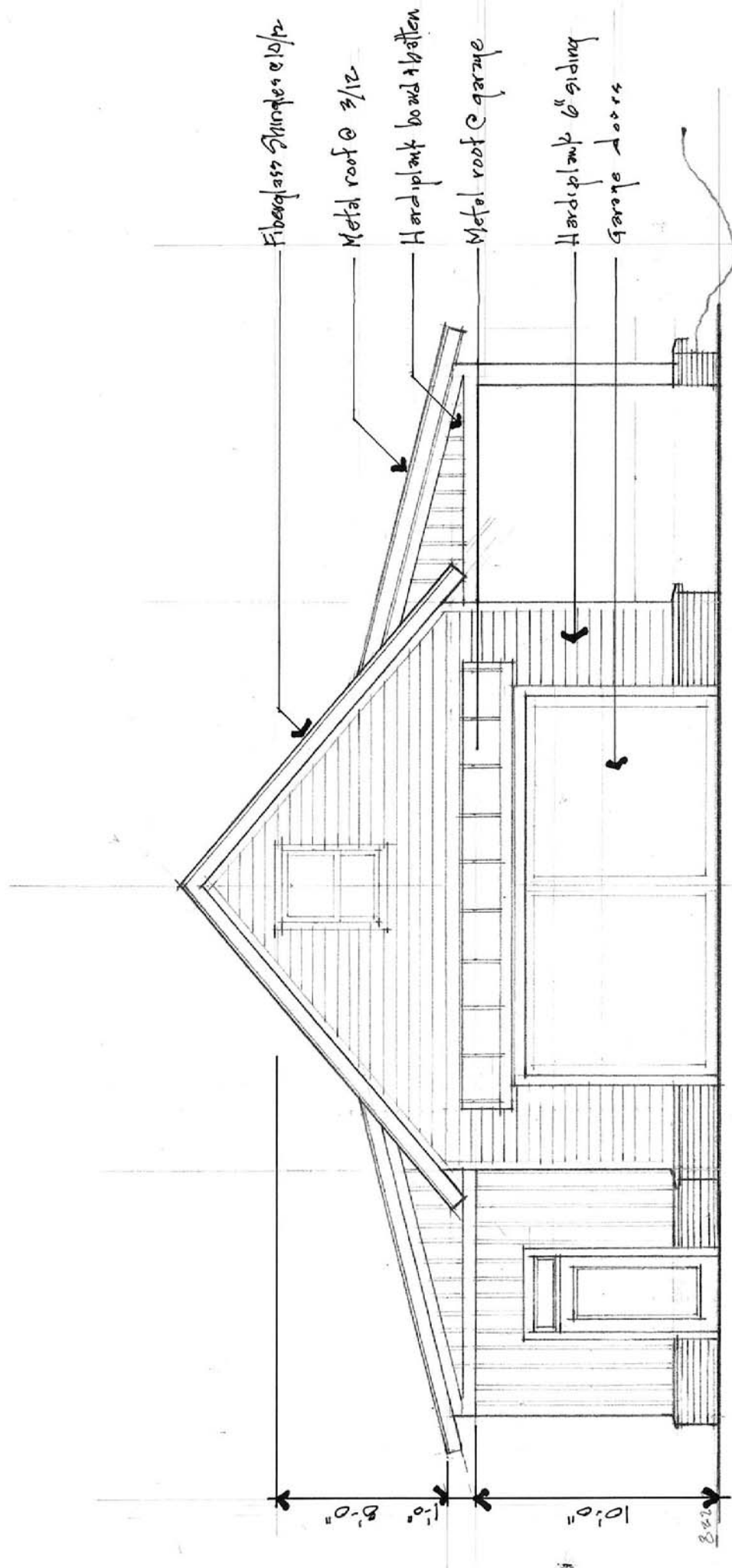
North (rear) Elevation
Scale 1/4" = 1'-0"



East Elevation
Scale 1/4" = 1'-0"



Garage (detached) Floor Plan
 Scale 3/4" = 1'-0"



Fiberglass Shingles @ 10/12

Metal roof @ 3/12

Hard plank board & batten

Metal roof @ garage

Hard plank 6" siding

Garage doors

10'-0"

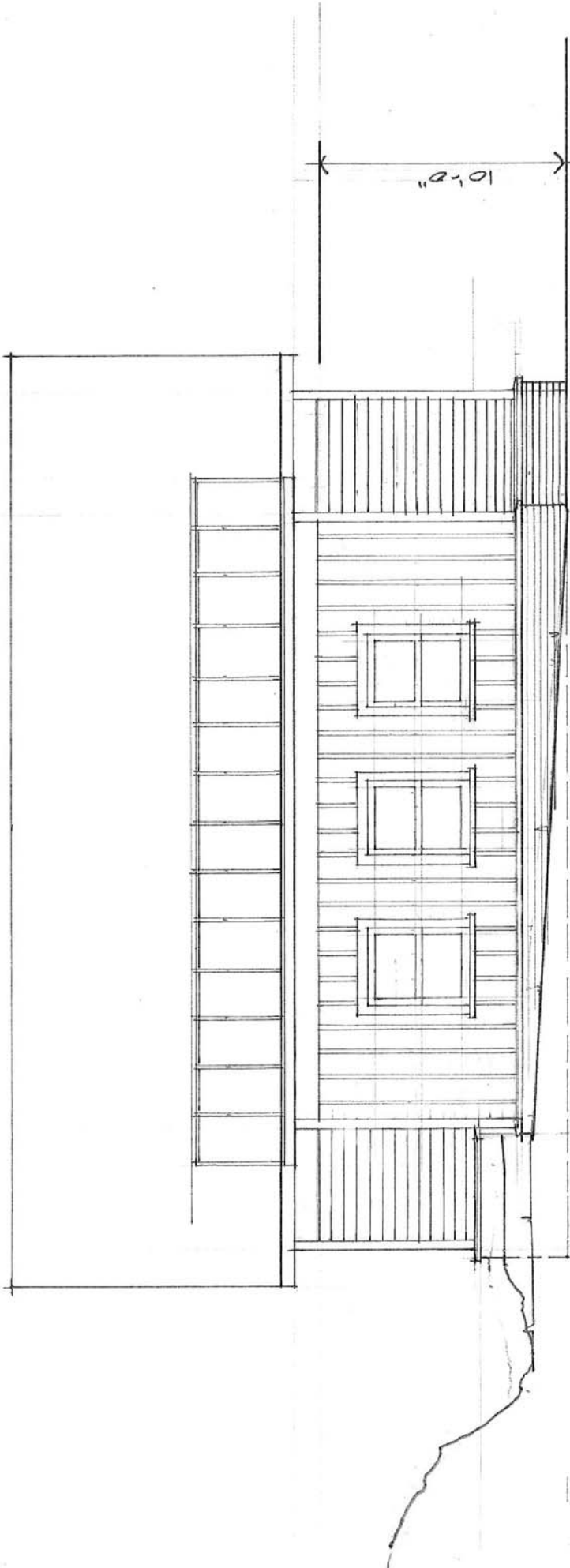
8'-0"

1'-0"

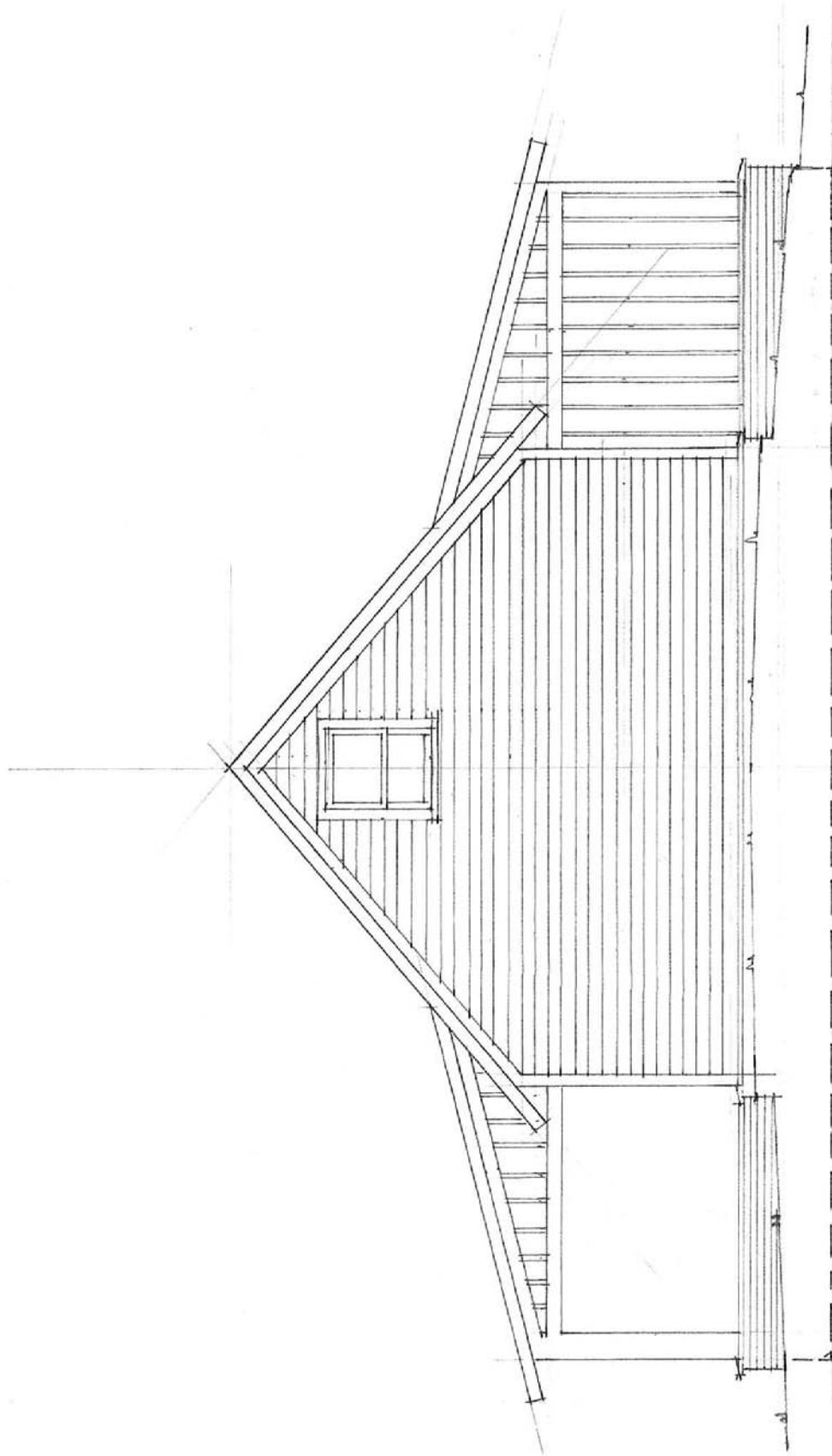
8'-0"

South Elevation (Garage)

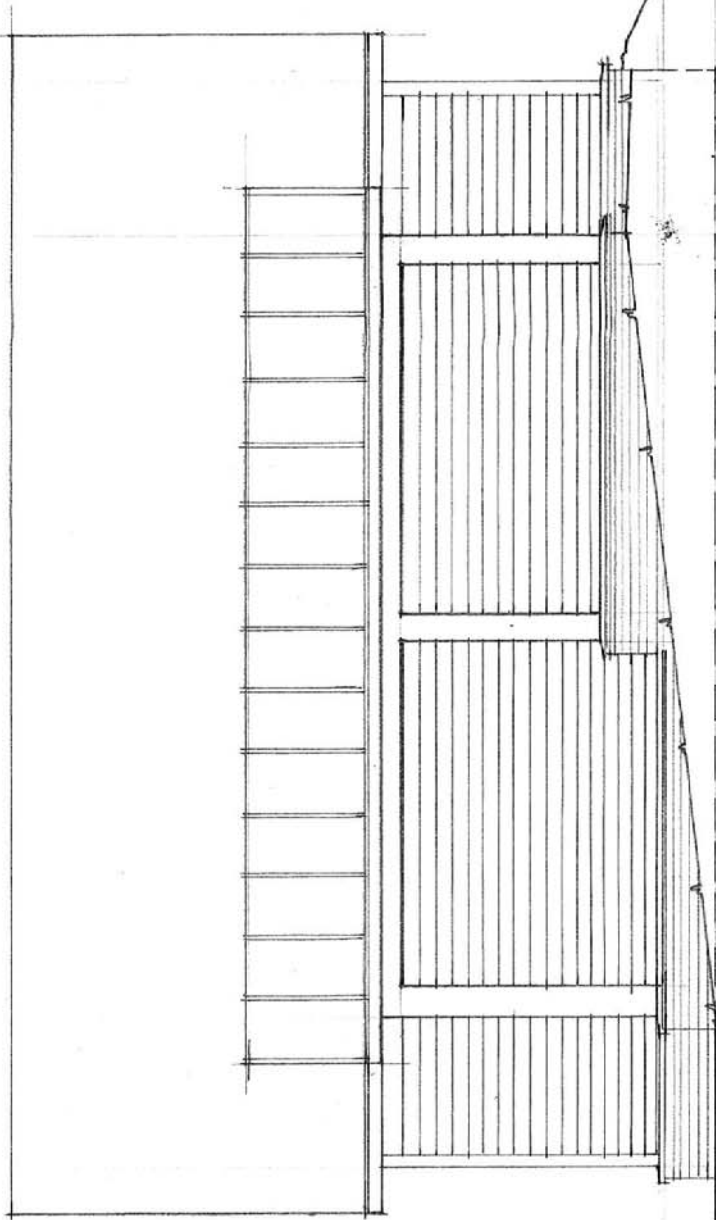
Scale 1/4" = 1'-0"



Nest Elevation (Garage)
Scale 1/4" = 1'-0"



North Elevation (Garage)
Scale 1/4" = 1'-0"



East Elevation (Garage)

Scale 1/4" = 1'-0"







Steffan Wigert
865-317-0328

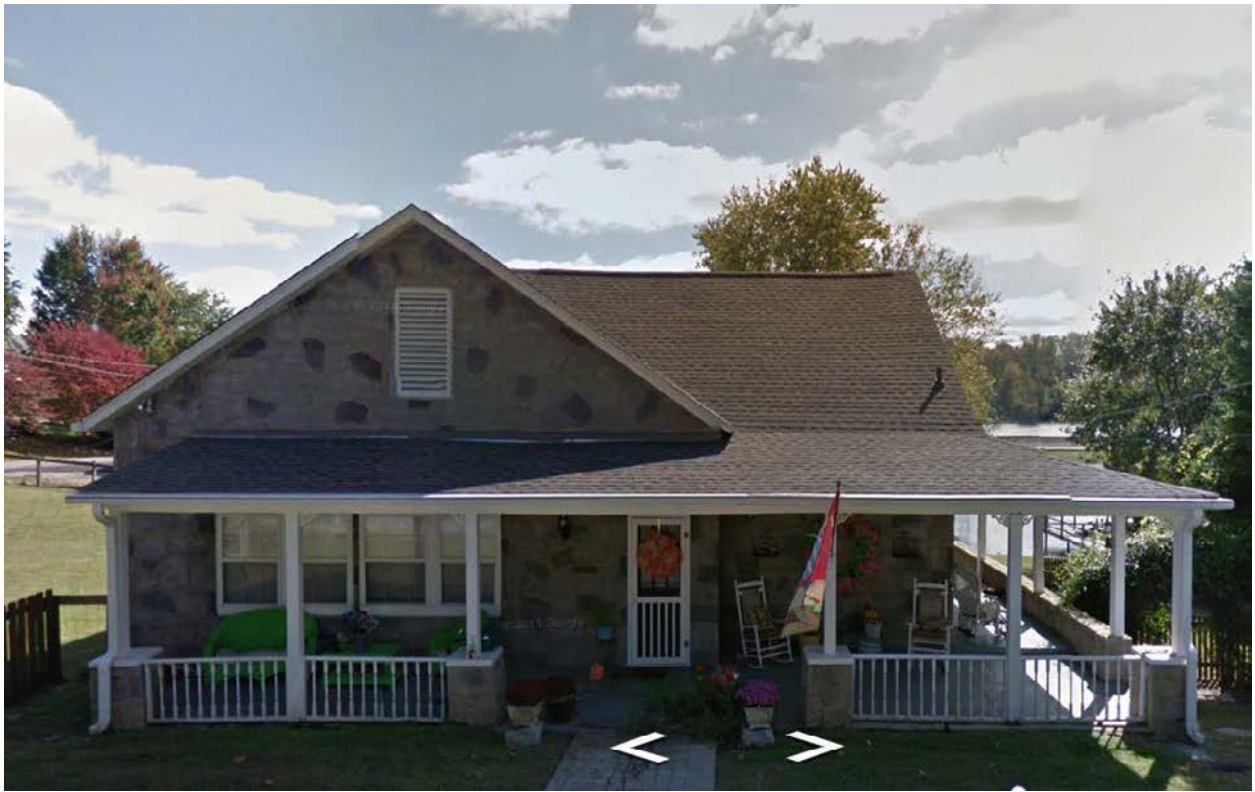
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Views of previous house on the 10817 2nd Drive site (in background), now demolished.



Cottages with front-facing gables in Concord Village



Cottages with front-facing gables in Concord Village



10817 2nd Drive – site photo 1



10817 2nd Drive – site photo 2



10817 2nd Drive – site photo 3

HardieTrim® Batten Boards Product Specifications

Authentic and durable HardieTrim® batten boards provide the complete board and batten solution.

- Perfect complement to James Hardie® siding products
- Easy to cut and finish nail installation
- Long term durability with low maintenance requirements
- Resists rotting, cracking, splitting and damage from termites
- Dimensionally stable

Basic Composition

Portland cement, ground sand, cellulose fiber, select additives and water. Contains no asbestos, glass fiber or formaldehyde.

Size/Weight/Texture

Length: 12' (144")
Thickness: 0.75"
Width: 2.5"
Weight: 3.9 lbs./Sq. ft.
Textures: Rustic Grain® and Smooth
Color: Available in All Colors or Primed

Warranty

HardieTrim® batten boards are protected by a 15-year limited, transferable product warranty. Ask your local James Hardie sales representative or visit www.jameshardie.com for a detailed copy of these warranties.



Batten Boards: Primed



Batten Boards with ColorPlus® Technology
(Color Shown: Khaki Brown)



When using 4/4 HardieTrim batten boards, you can achieve a traditional board and batten exterior.

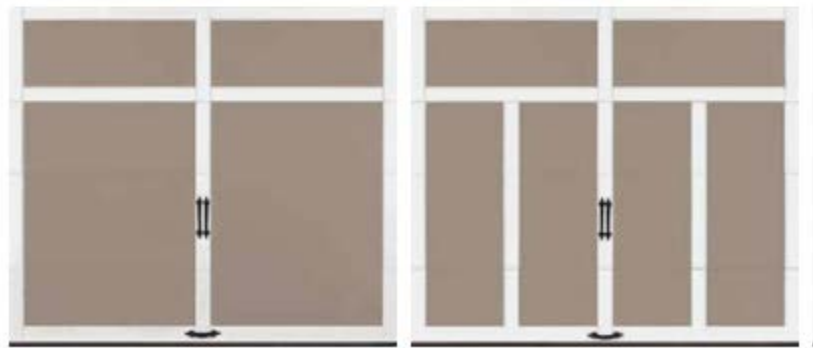




STYLES PEDESTRIAN DOORS FOR THE SHED WING ON THE WEST SIDE OF THE GARAGE



LONG PANEL



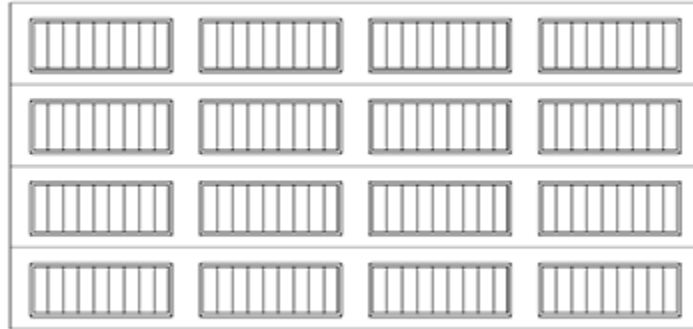
DESIGN11

DESIGN12

STYLES OF OVERHEAD STEEL GARAGE DOORS THAT APPEAR TO BE SIDE-OPENING FOR THE GARAGE

STYLES OF DOORS PROPOSED FOR 10817 SECOND DRIVE GARAGE

Garage door proposal and recommendation for 10817 Second Drive



16 –foot long panel single-door design steel door proposed by applicant



GALLERY® COLLECTION

- Insulated two or three-layer sandwich construction or non-insulated 2" steel frame construction
- Two insulation options: polystyrene or polyurethane
- Swing out appearance, overhead garage door operation
- Long or short grooved panel designs with optional windows and decorative hardware
- Four factory finish paint colors or Ultra-Grain stained wood look
-  WindCode rated available

VIEW GALLERY® COLLECTION GARAGE DOORS

Staff recommended garage door hardware with hinges and handles providing the appearance of two sets of more narrow side-opening doors.
(May be with or without windows and may feature a “long panel design”.)