



KNOXVILLE HISTORIC ZONING COMMISSION STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION

PROPERTY ADDRESS: 412 E Scott Ave 37917

FILE NO.: 2-B-18-HZ

DISTRICT: Old North Knoxville H-1

MEETING DATE: 2/15/2018

APPLICANT: John Holmes (owner)

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Queen Anne (1907)

Front gabled one-story frame, Hipped roof with lower cross gables on front and north side. 1/1 windows.
Replacement metal porch supports. Altered siding and replacement window. Late hipped frame addition on rear.

► **DESCRIPTION OF WORK:**

Window replacement:

Replace non-original 1/1 windows with wooden 1/1 windows of the same size

Install egress window:

Upstairs bedroom requires 36"x60" window for egress per code. Request to increase size of the gable vent in north side and install. 36"x60" window to meet egress requirement for a bedroom. Window would be matching 1/1 wood plygem

Siding:

Replace non-original 6 -inch wood siding on south side and back of house to match existing. Originally approved to replace only rotted pieces; however, most of the siding and underlying sheathing was found to be too deteriorated to repair.

Deck:

Request to build wood deck along the back of the house as shown in submitted drawing, and remove the cinder block stairway which is not original.

Front Porch:

Tongue and groove wood, remove the metal railings and install wood balustrade and round columns to restore to early 1900s appearance. Columns to match engaged round wood pilasters existing on porch.

Back Door:

Request to replace the metal back door with salvaged wood paneled door with half-lite glass.

► **APPLICABLE DESIGN GUIDELINES:**

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

WINDOWS

2) If replacement windows are necessary, they shall be the same overall size as the originals, with the same pane division and the same muntin depth, width and profile. They shall be the same materials as the original windows, which were generally wood.



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5) It can be appropriate to design and install additional windows on the rear or another secondary elevation. The design must be compatible with the overall design of the building.

6) Window may not be blocked in. They must retain the full height and width of the original opening.

PORCHES

2) Historic porches on houses in Old North Knoxville should be repaired, or may replicate the original porch if documentation of its size and design can be discovered.

3) Design elements to be incorporated in any new porch design must include tongue and groove wood floors, beadboard ceilings, wood posts and/or columns and sawn and turned wood trim when appropriate. If balustrades are required, they must be designed with spindles set into the top and bottom rails.

SIDING

3. Replacement siding must duplicate the original. Trim and patterned shingles that must be replaced must also duplicate the original material.

4. New construction must incorporate corner and trim boards and appropriate door and window trim to be compatible with adjacent historic buildings.

5. Wooden features shall be repaired by patching, piecing-in, or otherwise reinforcing the wood. Repair may also include limited replacement with matching or compatible substitute materials, when elements remain and can be copied.

6. Wood features that are important in defining the overall historic character of the building shall not be removed.

7. Replace only deteriorated wood.

Reconstructing in order to achieve a uniform or improved, new appearance is inappropriate because of the loss of good historic materials.

COMMENTS:

Siding replacement on the south side and rear is after-the-fact. Window replacement was approved to match existing, but re-framing of some of the windows was done, causing the existing non-conformity of size to lose its grandfathering in some cases. Work on the side and rear elevations was requested by Building Inspections to stop on 1/25/2018 due to exceeding scope of work. Structure was approved to be only temporarily closed-up for security.

STAFF FINDINGS:

1) The house is a contributing structure in the ONK historic district H-1 and the National Register District.

2) The large 1/1 window on the front of the house is original, as is the 4-1/2 inch-siding, and both will be retained and repaired.

3). There is evidence in the engaged half-round column existing on the porch to indicate the design of the proposed porch columns. A balustrade may have turned or 2x2 straight pickets.

4) The 6-inch siding and windows on the sides and rear of the house were later replacements.

5) The 6"-siding on the south and rear was found to be more deteriorated than originally thought; therefore, instead of repairing and replacing as needed, the entire south and rear walls of sheathing and siding were replaced to match previously existing. The 6-inch replacement siding does not abut the 4-1/2 " siding on the front corner.



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- 6) After work was begun, the original window openings on the north side were found to have been filled in to make them smaller in earlier years. The infill was removed and then re-installed by the applicant, causing the infill to lose its grandfathered status. The applicant has agreed to install 1/1 wood windows to match the historic opening size at the street-level on that side, since the original framing exists. The windows below grade will not be noticeable from the street, and are proposed to be installed as the existing size. It isn't known if these openings are original.
- 7) The framing for the non-original openings on the south side was adjusted by the applicant/owner to add in the required window headers, so the non-historic sizes of the openings lost their grandfathered status.
- 8) Two of the existing windows on the south side toward the front of the house were blocked in when the wall was re-sheathed and sided. One was a horizontally-oriented decorative window and the other a 1/1 double-hung.
- 9) None of the windows on the rear were original, but the replacements to match the previously existing are fairly appropriate given that they are vertically-oriented 1/1s, except for one square double-hung. The framing for the openings of these windows was adjusted as well.
- 9) The diamond-shaped louvered attic vent in the north-side gable is an original and character-defining feature and should not be removed. To add a double -hung window in this location would be a historically inappropriate change that would be fully viewable from the public-right-of-way.

► STAFF RECOMMENDATION:

- Approve new porch balustrade on condition that a design drawing be submitted.
- Approve porch columns on condition that design be submitted for capitals.
- Approve new siding based on the original having already been replaced, and the new siding matching the existing siding to be retained on the north side.
- Approve rear deck.
- Approve replacement wood half-light rear door as existing door is not original and not appropriate.

WINDOW RECOMMENDATIONS:

Approve window replacements with conditions, and with the following exceptions, based on the fact that the grandfathered window framing status was lost:

- 1) Re-construct the two windows on the south side that were blocked in, based on earlier Google earth photo. Muntin pattern to be confirmed as appropriate.
- 2) Re-construct the south side upper level window closest to front of house (westernmost) to be the same size as, and align with, the window to the east.
- 3) Install 1/1 wood windows to fit the original openings as indicated by the existing framing on all of the street-level windows on the north side.
- 4) Replace the small square double-hung window on the rear of the house toward the north side with square wood casement or stationary window as it is out of historic proportion. Consider aligning it with the window above.
- 5) Deny installation of 1/1 egress window in attic gable on north side.

412 E Scott

Level 2 Items:

Columns on front porch – Remove metal posts and railings and replace with wooden columns and balustrade. Picture of proposed columns included, antique approximately 8" width similar to the 2 existing half columns on front of house.

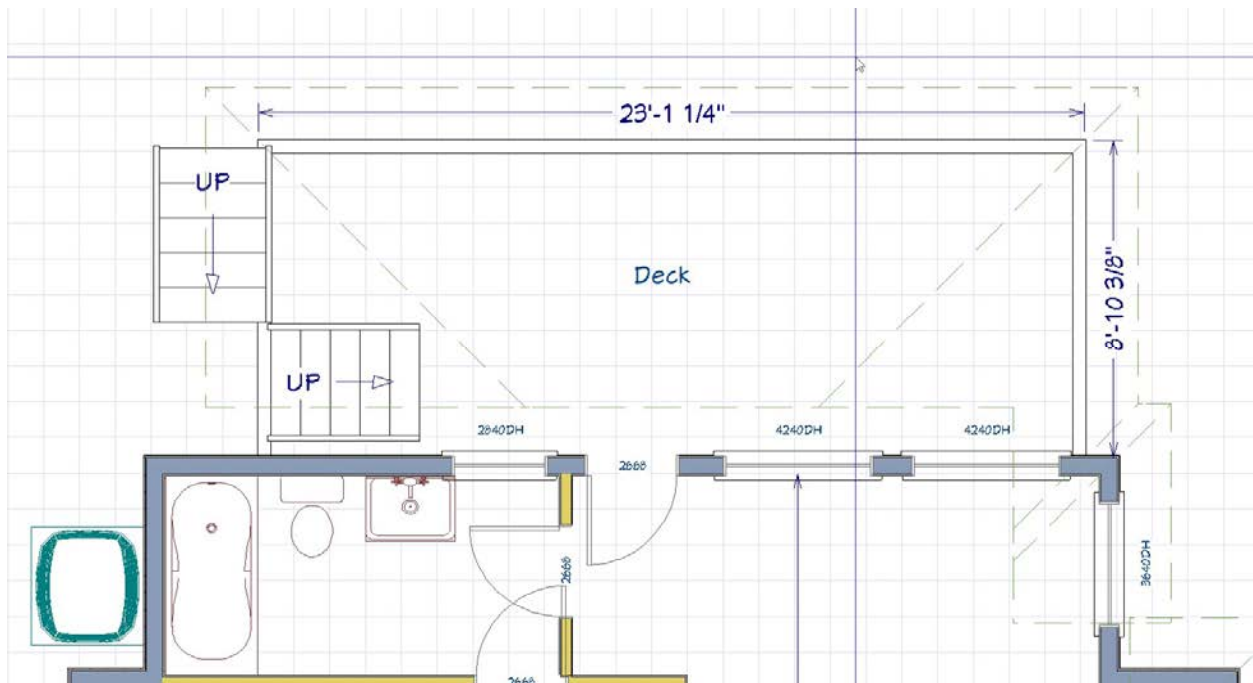




Door – Replace non-original metal back door with a wooden half glass door



Deck – Request to add wooden deck on back of the house, approximately 23' x 9' deep. Railings to be 2"x2" as show below.



Egress Window – Building codes require an egress window for the upper level of the house. Install the minimum acceptable size of 3'x5' in the upper East side gable at the back of the house.



400 E Scott Ave
Knoxville, Tennessee
[View on Google Maps](#)





412 E. Scott - Re-sheathing in progress on south side



412 E. Scott - Re-siding in progress on south side during Inspection on 1-25-18



412 E. Scott - Current status of south facade as viewed from sidewalk



412 E. Scott - Current status of south facade as viewed from south



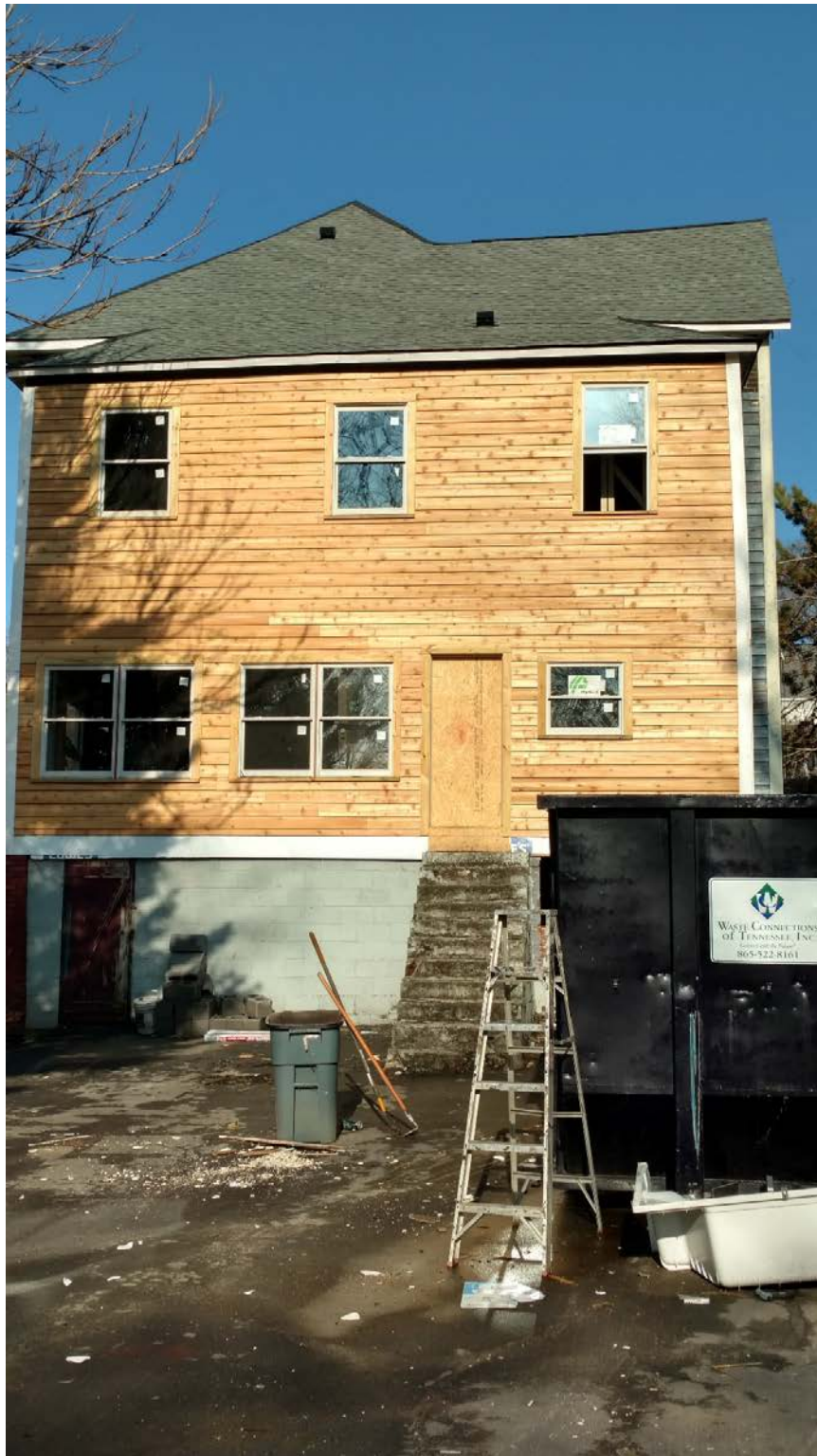
412 E. Scott - Current status of south facade as viewed from SE



412 E. Scott - SW (Front) corner of house showing south siding does not meet up with siding on front



412 E. Scott - Windows on 2nd-level south from interior showing new headers



412 E. Scott - Current status of rear facade showing completed siding



412 E. Scott - rear



412 E. Scott - Replacement windows on north side showing infill



412 E. Scott - North side from front yard showing infilled windows on both levels



412 E. Scott - North side from front sidewalk showing infilled windows on top level



412 E. Scott - North side of 412 E. Scott showing gable proposed for new window



412 E. Scott - Front (NW) corner of house showing siding that was not replaced



412 E. Scott - Early columned pilaster on porch

412 E. Scott - Rear door





412 E. Scott north gable as existing 2/9/2018



412 E. Scott north gable simulation as proposed. Relocate vent higher in gable and add square 30x30 square window for egress.



412 E. Scott Avenue
Showing new window headers