



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 610 Caswell Ave 37917
DISTRICT: Fourth and Gill H-1

FILE NO.: 12-A-18-HZ

MEETING DATE: 12/20/2018
APPLICANT: Timothy D. and Mary Catherine Hewitt (owners)
LEVEL OF WORK: Level II. Construction of deck addition

PROPERTY DESCRIPTION: Queen Anne Cottage (c. 1905)

One-story frame hipped roof cottage with cross gable with sawn bargeboard. Canted front-gabled bay. Engaged hipped front porch roof supported by two turned posts. One-over-one double-hung windows. Transomed front entry. Synthetic siding. Brick foundation. (Contributing)

► **DESCRIPTION OF WORK:**

Remove all or portions of the existing rear deck. Construct new wooden steps and handrail to meet the Building Code. New deck to be ~6'-6" deep x ~24' long.
It will be recessed from the east end of the house (next to the alley) by ~15" to 18"
The deck flooring will be treated wood decking of approximately 5- 1/2 inches wide
The pickets will be 2x2 nominally-sized square pickets and the handrail will be at 36 inches high. The pickets will either be set into the top and bottom rails or will be sandwiched in between 1x4s on the inside and outside of the pickets to obscure the ends. The handrails added to the newly constructed wood steps will match that of the deck.
The deck will be supported by 6x6 square treated wood posts.
The area underneath the deck is proposed to be left open without lattice panels.

► **APPLICABLE DESIGN GUIDELINES:**

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

ADDITIONS

1. Locate attached exterior additions at the rear or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building. Proportion is very important.
 2. Design new additions in a manner that makes clear what is historic and what is new.
 4. Place new additions, such as balconies or solar greenhouses on non-character-defining elevations, and limit the size and scale in relationship to the historic building.
 7. New work should not appear to be as old as the historic building. Do not duplicate the exact form, material, style, and detailing of the historic building in the new addition.
 8. New additions should not cause a lessening or loss of historic character, including the historic building's design, materials, workmanship, location, or setting
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COMMENTS:

The current steps and their handrail do not meet City building code,



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STAFF FINDINGS:

- 1) The house is a contributing structure within the Fourth and Gill H-1 Overlay and the National Register Historic District.
- 2) The deck will be somewhat visible from the street right-of-way since an alley runs adjacent to the east side of the house. It will be clearly visible from points in the alley itself.
- 3) The vertical picket-type railing is compatible with the Queen Anne-style house.
- 4) The wooden materials are appropriate.
- 5) No historic fabric will be destroyed and the deck may be removed in the future with destruction of such.
- 6) The deck will be relatively low to the ground at a similar height of many porches, therefore, deck underpinning is an appropriate treatment for screening the gap created between the deck and the ground.
- 7) The new steps with handrail will match those of the new deck.

► STAFF RECOMMENDATION:

Staff recommends approval of the deck and steps, with the condition of adding underpinning as approved by staff.

Certificate (File) No: 11-T-18-HZ

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. **APPLICANT NAME:** Timothy D. Hewitt

Address: 110 Caswell Ave Knoxville, TN 37917

Telephone: 339 333 4242 E-mail address: tdhewitt@gmail.com

Relationship to Owner: Owner Marycatherinehewitt@gmail.com

2. **OWNER NAME:** ↑

Address: _____

Telephone: _____ E-mail address: _____

3. **LOCATION OF PROPERTY:**

Address: 110 Caswell Ave Knoxville TN 37917 Tax ID/Lot/Parcel No: 081MN003

4. **LEVEL OF WORK** (circle Level)

Level I Routine repair; replacement of deteriorated materials in-kind; removal of artificial siding; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure or a late addition; renewal of COA

Level II Major replacement of materials or architectural elements; construction of an addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. **DESCRIPTION OF WORK:** (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

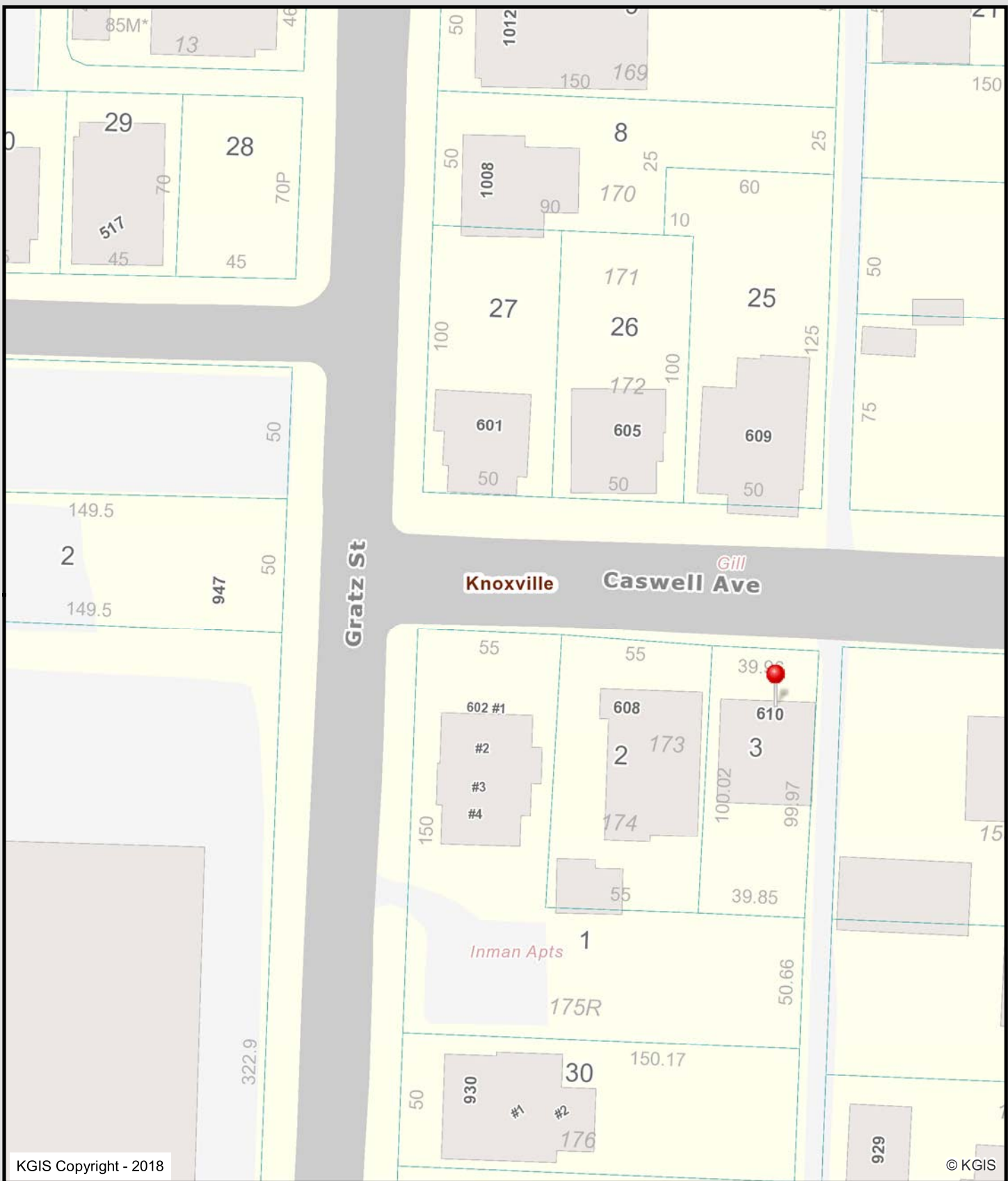
We would like to add on to the deck that we already have behind our house.

6. **SIGNATURE OF APPLICANT:** [Signature] Date: 10/29/18

Incomplete applications cannot be accepted.

Mail application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902; or Fax: (865) 215-2068; or E-mail to Kate.Graybeal@knoxmnc.org
Phone: (865) 215-3795

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Date Received	Approved	Disapproved	Approved As Modified
Date Acted On			



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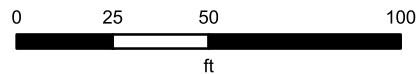
610 Caswell Avenue

Fourth and Gill H-1 Overlay

Knoxville - Knox County - KUB Geographic Information System



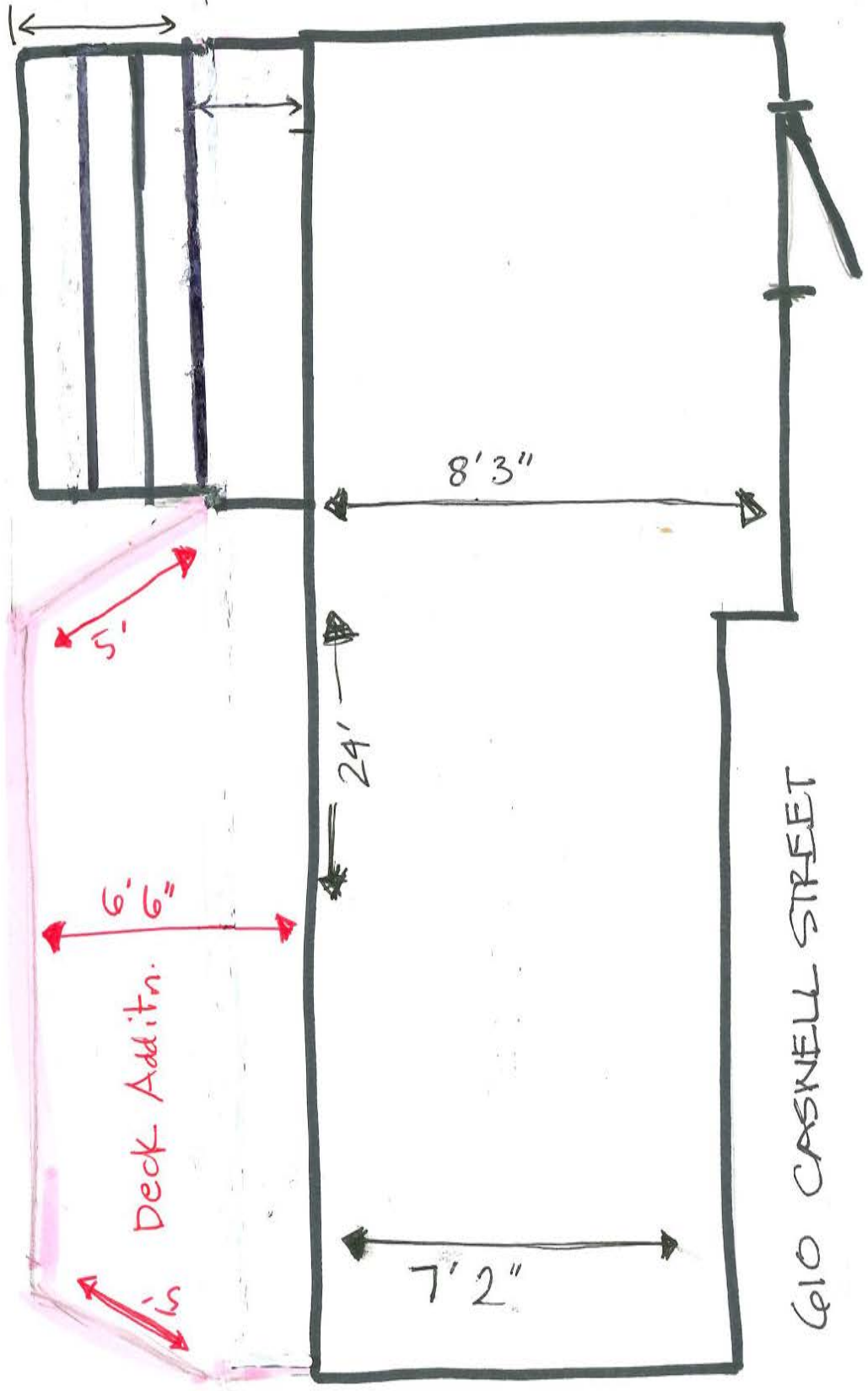
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Reconstructed (to meet building code)

Stairs



Deck
= Addition

● = Current deck and stairs

○ = Second option for no angle by stairs

ALLEY

610 CASWELL STREET



610 Caswell Street Front Façade and Alley to the East



View of Existing Deck from Caswell



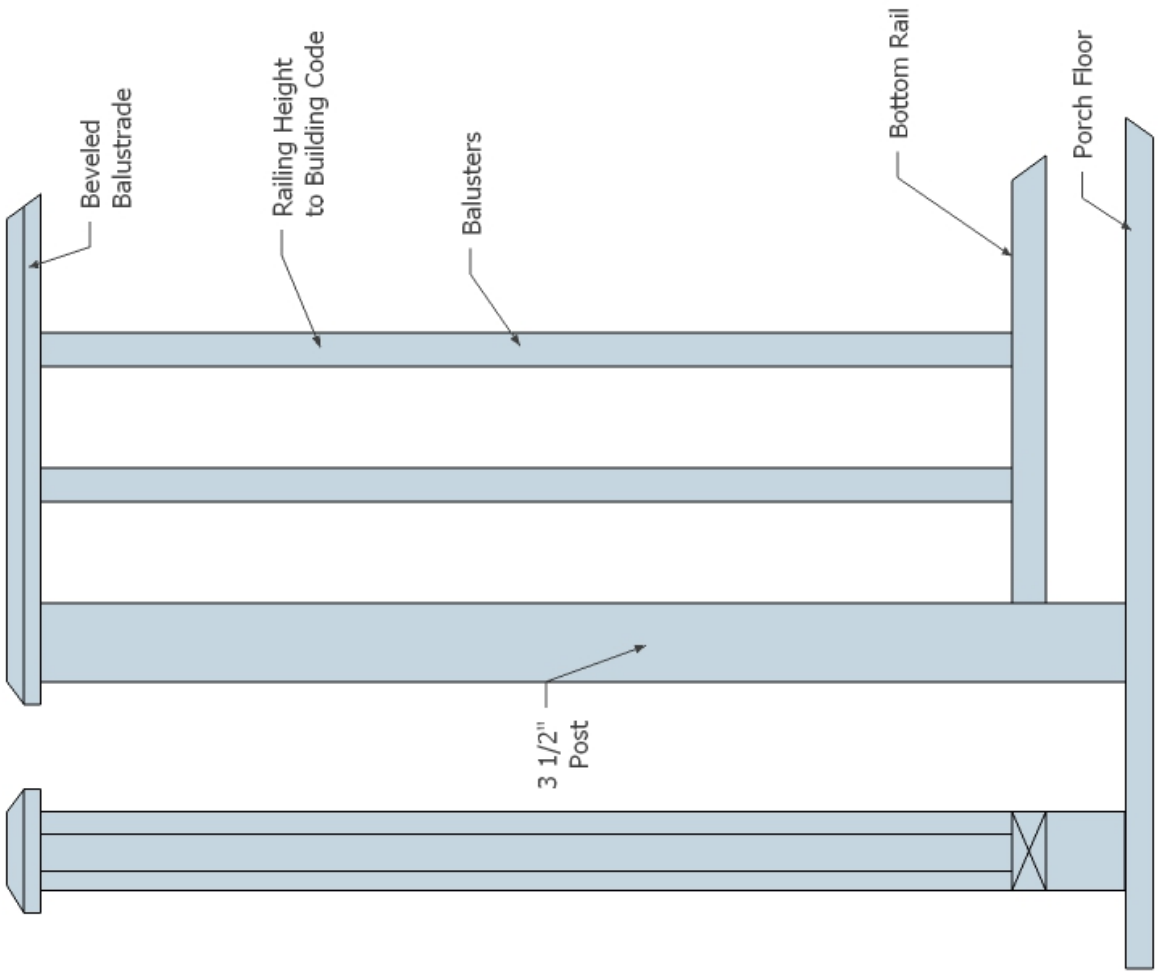
View of Existing Deck from Alley



View of Existing Deck from East Side of the House



View of Existing Deck from Rear







610 Caswell - Vertical underpinning