



**KNOXVILLE HISTORIC ZONING COMMISSION  
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

**PROPERTY ADDRESS:** 1519 Forest Ave 37909  
**DISTRICT:** Ft. Sanders NC-1

**FILE NO.:** 8-E-18-HZ

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**MEETING DATE:** 8/16/2018  
**APPLICANT:** Mark Bialik GBS Engineering (Civil Engineer)  
**LEVEL OF WORK:** Level III. Construction of new primary building

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**PROPERTY DESCRIPTION:** Ranch (1980-1990)  
1519 Forest is a vacant lot and the 1523 Forest rancher is non-contributing due to age

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► **DESCRIPTION OF WORK:**

Demolish noncontributing building at 1519 Forest and combine lot with 1523 to construct 2 multi-family buildings at ~2200 sf each. The buildings are set back approximately 12.5 feet on each side from the lot line and 17 feet from the sidewalk. The two-story side-gable buildings will be of frame construction sheathed in smooth-finish fiber cement board or LP board and covered with a roof of dimensional asphalt shingles. The foundation in front will raise up 16" from the walkway. The foundation will be finished in a smooth stucco finish. Each building will be fronted by two-level porches with 1523 having a shed roof and 1519 having a front gable on the second level. The 8-foot deep porches will have tongue-and-groove decking with a composite or synthetic material similar to that supplied by Archadeck, and the top rails, also supplied by Archadeck, will have a double top rail as shown. Balusters to be either flush with bottom rail (preferred) or sandwiched between a top and bottom 1x4. Windows will be vinyl 2-over-2 single-hung with single-light 2x2 square casement windows on the side elevations at bathrooms. Painted wood or fiberglass doors will be half-light. Vehicular access will be from the alley with parking in the rear. The parking lot will be paved in a combination of concrete and reinforced gravel.

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► **APPLICABLE DESIGN GUIDELINES:**

Fort Sanders NC-1, adopted by the Knoxville City Council on September 13, 2000.

A. HEIGHT, SCALE, AND MASSING

1. Foundation heights should be consistent with other pre-1940 buildings in the neighborhood.
2. Detached infill housing should be proportional to other pre-1940 houses in terms of height and width.
3. With redevelopment of two or more lots for apartment, office, commercial or mixed use development, street-facing facades of new buildings should be broken up with bays or porches that are consistent with the dimensions of historic buildings in the neighborhood.
4. Apartment buildings shall have porches with an outside entrance from the street for every 50 to 75 feet of street frontage. Porches should be proportional to pre-1940 housing.
5. The height of new apartment, office and commercial buildings, including a mix of those uses within a building, shall be limited by the underlying zone. The front and side street yard provisions shall be the same as those for single-family detached construction for the first three stories. Upper stories shall be set back further from the street.



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6. For the first 35 feet, buildings should have similar setbacks, bays and covered entrances that complement the historic architecture on the street.

**B. ROOFS**

1. Select a roof pitch that is in keeping with other pre-1940 houses of the neighborhood, not being less than an 8/12 pitch.

2. Use variations in the form of the roof above the second story such as gables at different angles, hipped roofs and dormers.

3. Use roofing materials that are in keeping with the historic development styles. Asphalt, shingle, tile, pressed metal and slate were used.

4. Darker shades of shingles were historically used and should be selected in new construction.

**C. PORCHES**

1. Provide porches with proportions and materials that complement pre-1940 housing. For clapboard type construction wood is the most appropriate primary material. Brick or cut stone are appropriate as foundations or in column supports.

2. Porches should be no less than 6 feet deep and no more than 10 feet deep.

They may be recessed behind the main setback line or alternatively can extend 10 feet into the front setback line.

3. Porches and related features shall be counted in the open space calculations as follows:

- Porches: 3 times the floor space

**D. WALL MATERIALS**

1. Paint color is not regulated.

2. Clapboard (or clapboard-like materials such as aluminum or vinyl), shingle (or shingle-like material), or brick should be used.

3. Board and batten siding can be used on accessory buildings.

**E. WINDOWS AND ENTRANCES**

1. Window proportions and symmetry should be similar to the pre-1940 styles in the neighborhood.

2. Windows should be double hung, sash windows. Vinyl or metal-clad windows may be used in place of wood frame windows.

3. Egress windows will have to be designed to comply with fire/building code provisions.

4. Accent windows are appropriate with new construction.



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5. Double hung sash windows are recommended for two- to three-story new construction.
  6. Variations of double hung windows should be considered in relation to the design of new buildings.
  7. The proportions of upper level windows should not exceed the proportion of the first level.
  8. Upper level windows should be provided and aligned with doors.
  9. There should be at least 50% transparency, that is created by windows or french doors and balconies, on the recessed breaks between sections of buildings, including buildings joined together.
  10. Entrances to the building should be provided from the street, using doors that have similar proportions and features to pre-1940 architecture.
  11. When parking areas are provided behind buildings, rear entrances are also allowed.

**F. PARKING**

1. In new building construction, the front yard space shall not be used for parking. Do not break up curbs or sidewalks to provide street access.
2. Provide parking access off the alley or off a side street.
3. Plant one native shade tree for every 50 feet of lot width, adjacent to or as islands within the parking area. An oak or maple are examples of native shade trees. The minimum space for a tree planting area is 7' x 7'; open space, composed of grass or other natural ground cover, should be at least three times the space devoted to tree planting areas within the parking lot.

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**COMMENTS:**

**STAFF FINDINGS:**

- 1) The Ranch-style house at 1523 Forest is noncontributing due to its late age, constructed or heavily remodeled sometime between 1980 and 1990 according to tax records. The lot at 1519 is vacant - a one-story Queen Anne cottage was once located on this lot, and its demolition date is unknown. The lots are within the Fort Sanders NC-1 and the Fort Sanders NC-1.
- 2) The setback from the sidewalk at ~17 feet matches that of the historic house at 1531 Forest Avenue.
- 3) The streetscape and context of the 1500 block of Forest Avenue has been heavily intruded upon and the streetfaces are lined with vacant lots, modern apartment buildings, and altered facades; therefore, there is not an existing historic development pattern to follow. This allows flexibility in building style, placement, and size.
- 4) Each of the two individual multi-tenant houses appears as a single-family house from the exterior façade.



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5) The porch balustrade will have a double top rail to reduce the apparent height, since it must be 42 inches high for multi-family.

6) The building design and materials as submitted meet the Fort Sanders design guidelines for new construction of multi-family and single-family buildings.

7) The mature holly tree in front of the 1523 Forest will be retained.

8) The parking is situated to the rear of the buildings off the alley, and meets the design guidelines for landscaping.

► **STAFF RECOMMENDATION:**

Staff recommends approval of the proposal with the condition that the manufacturer for the porch balustrade is provided, along with the profile of the porch components to be utilized. Also, that a landscape plan for the parking area to be provided indicating compliance with the Fort Sanders Design Guidelines.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION

Please print all information:

1. NAME OF APPLICANT: GBS ENGINEERING, MARK A. BIALIK

Address: 1313 KALMIA RD, KNOXVILLE, TN 37909

Telephone: 566-0185 E-mail address: mark@gbs-eng.net

Relationship to Owner: CIVIL ENGINEER

2. NAME OF OWNER: HAKEN KNOXVILLE DEVELOPMENT, LLC

Address: 1001 BRANDEN WAY, AUSTIN, TX 78733

Telephone: (214) 668-5419 E-mail address: \_\_\_\_\_

3. LOCATION OF PROPERTY:

Address: 1519/1523 FOREST AVENUE Tax ID/Lot/Parcel No: 094KI 017 d 018

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

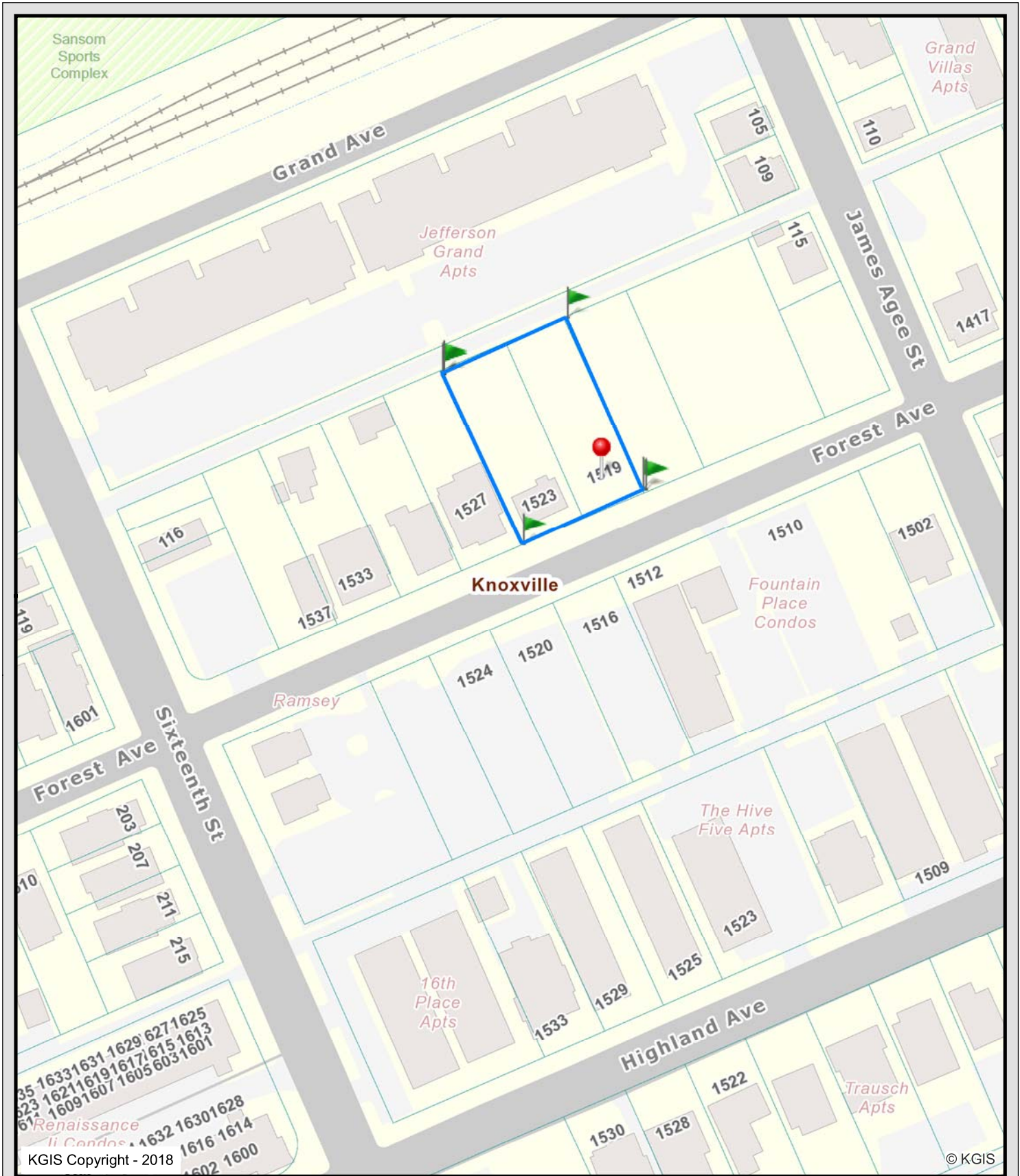
5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

TO REMOVE AN EXISTING STRUCTURE LOCATED ON AT 1523 FOREST AVE AND CONSTRUCT TWO NEW STUDENT HOUSING STRUCTURES. PARKING SHALL BE LOCATED OFF OF EXISTING AVEY.

6. SIGNATURE OF APPLICANT: Mark A. Bialik Date: 7.25.2018

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or Fax: 865-215-2068. Incomplete applications will not be accepted.

FOR STAFF USE ONLY			
Date Received	Approved	Disapproved	Approved As Modified
Date Acted On			

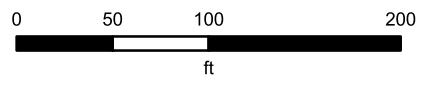


**1519-1523 Forest Avenue**  
Fort Sanders NC-1

**Knoxville - Knox County - KUB Geographic Information System**



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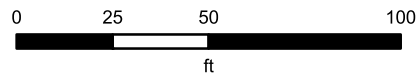
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1519-1523 Forest Avenue  
Fort Sanders NC-1

**Knoxville - Knox County - KUB Geographic Information System**

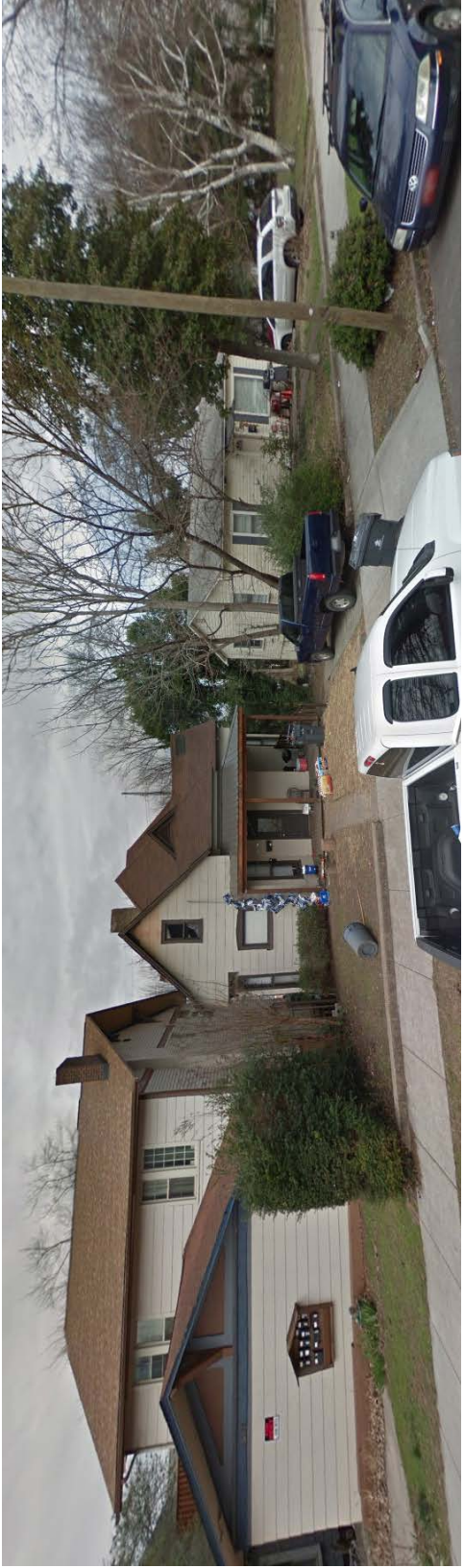


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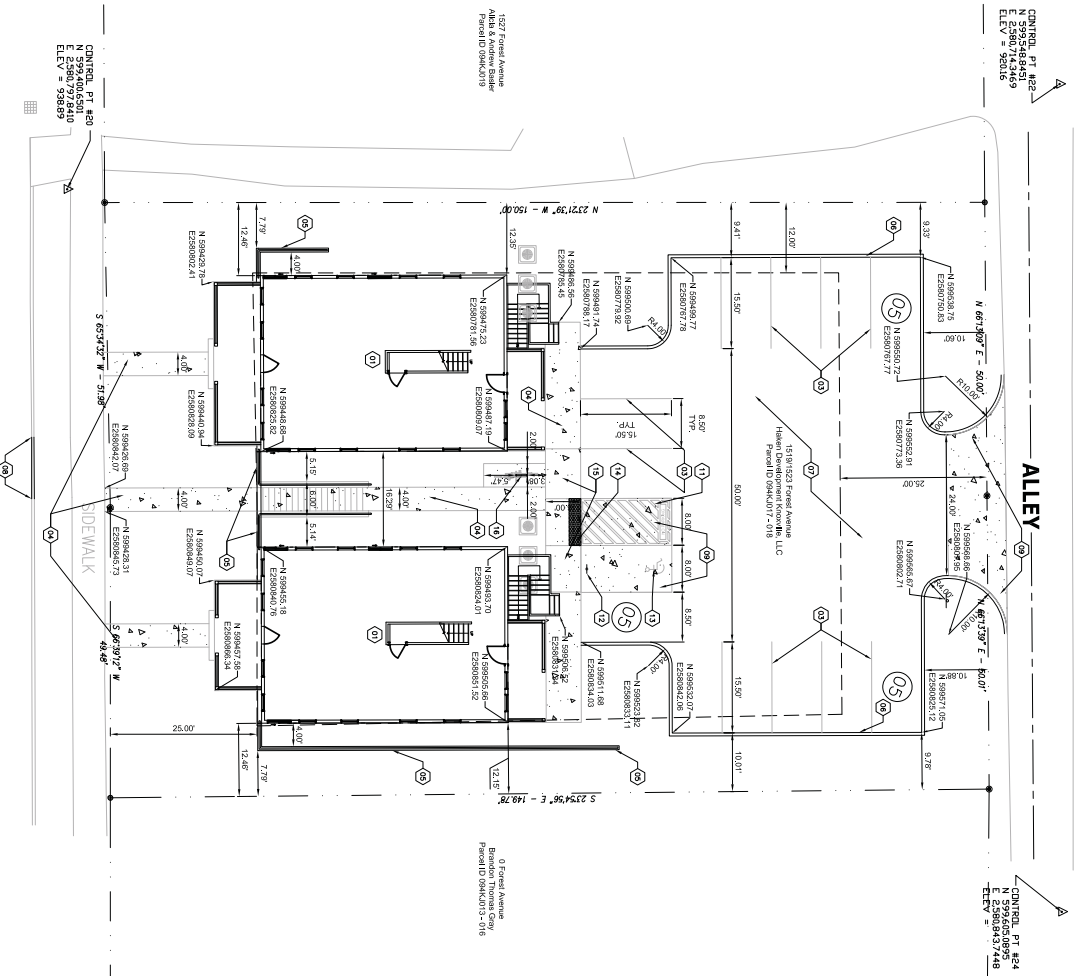
1531, 1527, 1523, and 1519 (vacant lot) Forest Avenue Streetscapes, Fort Sanders NC-1 2018







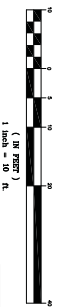
6-1519 - 23 Forest - Street view rendering



FOREST AVENUE



SITE LAYOUT PLAN  
Scale: 1" = 10'-0"



GRAPHIC SCALE

SEE COVER SHEET FOR LEGEND



SITE INFORMATION	
DISTRICT	ENCLOSED
NO. OF SHEETS	18
	18

- CONSTRUCTION NOTES
- 01 NEW RESIDENTIAL BUILDING. (SEE ARCHITECTURAL DRAWINGS) INSTALLED BY CONTRACTOR.
  - 02 ANTSKAPE AREA INSTALLED BY CONTRACTOR.
  - 03 2" x 4" x 6" WHITE PAINERS PER FINISHING SPACE. FURNISHED AND INSTALLED BY CONTRACTOR.
  - 04 4" CONCRETE SIGNWALL. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
  - 05 RETAINING WALL. PROVIDED AND INSTALLED BY CONTRACTOR. SEE RETAINING WALL PLAN.
  - 06 CONCRETE HEADERS PROVIDED AND INSTALLED BY CONTRACTOR. SEE DETAILS FOR CONCRETE HEADERS.
  - 07 CONCRETE HEADERS. PROVIDED AND INSTALLED BY CONTRACTOR. SEE DETAILS FOR CONCRETE HEADERS.
  - 08 CONCRETE HEADERS CURB. SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
  - 09 CONCRETE PAVEMENT. CONTRACTOR TO PROVIDE AND INSTALL. SEE DRAWING 24.07 FOR DETAIL.
  - 10 CONTRACTOR SHALL PROVIDE AND INSTALL. "STOP" SIGN AND "NO RIGHT TURN" SIGNS ON SINGLE POLE.
  - 11 2" WIDE PAINTED WHITE STRIPING. UP ON CENTER. PROVIDED AND INSTALLED BY CONTRACTOR.
  - 12 HANDICAP MOUNTED SIGN. SEE 04.03 FOR DETAIL. PROVIDED AND INSTALLED BY CONTRACTOR.
  - 13 HANDICAP SYMBOL. PAINTED PER MUTCO STANDARDS. PROVIDED AND INSTALLED BY CONTRACTOR.
  - 14 PAVEMENT MARKING STRIPES AS REQUIRED PER ADA STANDARDS. PROVIDED AND INSTALLED BY CONTRACTOR.
  - 15 SIGNAGE BY CONTRACTOR.
  - 16 METAL POSTS, METAL ADA STANDARDS. PROVIDED AND INSTALL BY CONTRACTOR.
  - 17 BICYCLE LOOP. CONTRACTOR SHALL PROVIDE AND INSTALL.

1313 Kalmia Road  
Knoxville, TN 37909  
Phn: 865.566.0185  
Fax: 888.485.7005

REV	DESCRIPTION	BY	DATE
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TITLE: SITE LAYOUT PLAN

LOCATION: 1519 & 1523 Forest Ave  
Knoxville, Tennessee 37916

OWNER: Clayton K. Group 2, Parcel 17 & 18, Block 10121  
Halen Knoxville Management, LLC

DRAWN BY: THE

CHECKED BY: MAR

FILE NAME: 2168\_310

JOB NUMBER: 2168

ISSUE DATE: 06/18/2018

C3.0

**PLANT SCHEDULE**

SYMBO.	COMMON NAME	BOTANICAL NAME	REF. PLANTING	QUANTITY	HT. @ MATURE
☉	REDFLEUR	ADONIS	6" x 6"	2	50'-60"
☉	ROSEHEDGE	ROSA	6" x 6"	2	20'-30"
☉	ORANGE BUTTE	LEUCODENDRON	5 GALON	2	10'-12"
☉	ORANGE BUTTE	LEUCODENDRON	5 GALON	10	10'-12"
☉	ORANGE BUTTE	LEUCODENDRON	5 GALON	10	10'-12"
☉	ORANGE BUTTE	LEUCODENDRON	5 GALON	25	10'-12"
☉	ORANGE BUTTE	LEUCODENDRON	5 GALON	11	10'-12"

**LANDSCAPE NOTES:** 1. ALL PLANTS MUST BE FREE OF DISEASE AND PESTS. 2. ALL PLANTS MUST BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1, "AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN". 3. PROVIDE AND INSTALL ONLY PLANTS THAT ARE FREE FROM DISEASE AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1, "AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN". 4. ASSURE THAT ALL BEDS DRAIN AWAY FROM ALL STRUCTURES. 5. PROVIDE AND INSTALL ONLY PLANTS THAT ARE FREE FROM DISEASE AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1, "AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN". 6. ADD PRE-EMERGENT HERBICIDE UNDERNEATH MULCH IN LANDSCAPE BEDS. 7. TOP DRESS BEDS WITH 3" (INCHES) PINE STRAW. PROVIDE 3" (INCHES) DEEP LAYER. 8. PLANT GROUND COVERS THROUGH MULCH. 9. REMOVE ALL STINGS AND OTHER TIES FROM PLANT MATERIAL. 10. REMOVE UPPER 10% OF BURLAP FROM ALL PLANT ROOT BALLS. 11. DO NOT PERCEE TREE ROOT BALLS WITH SUPPORT STAKES. 12. ADD FERTILIZER AS REQUIRED FOR OPTIMUM PLANT PERFORMANCE AND PRE-EMERGENT HERBICIDE. 13. THERE ARE NO KNOWN CONFLICTS BETWEEN EXISTING OR PROPOSED UTILITIES AND THE PROPOSED PLANTINGS. 14. NO DETENTION OR RETENTION WATER BASINS ARE REQUIRED. 15. ALL PLANTS SHALL BE FREE OF DISEASE, AND SHALL HAVE A HEALTHY APPEARANCE AT PLANTING. 16. ALL PLANT GROWTH IN LANDSCAPED AREAS SHALL BE CONTROLLED BY PRUNING, TRIMMING, OR OTHER MEANS TO MAINTAIN CLEARANCE FROM EXISTING UTILITIES, RESTRICT PEDESTRIAN OR OTHER VEHICULAR ACCESS, OR OTHERWISE CONSTITUTE A TRAFFIC HAZARD. 17. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN RELATIVELY WEED-FREE CONDITION AND CLEAR OF UNDERGROWTH. 18. ALL PLANTINGS SHALL BE FERTILIZED AND IRRIGATED AT INTERVALS AS NECESSARY TO PROMOTE OPTIMUM GROWTH. 19. ALL TREES, SHRUBS, GROUND COVER, AND OTHER PLANT MATERIAL SHALL BE REPLACED IF THEY DO OR BECOME UNHEALTHY DUE TO ACCIDENTS, DRAINAGE PROBLEMS, DISEASE, OR OTHER CAUSES.

**SEE COVER SHEET FOR LEGEND.**

**GDS**  
engineering

1313 Kalmia Road  
Knoxville, TN 37909  
Phn: 865.566.0185  
Fax: 888.485.7005

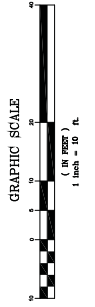
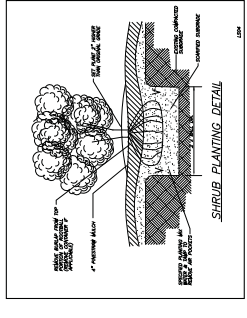
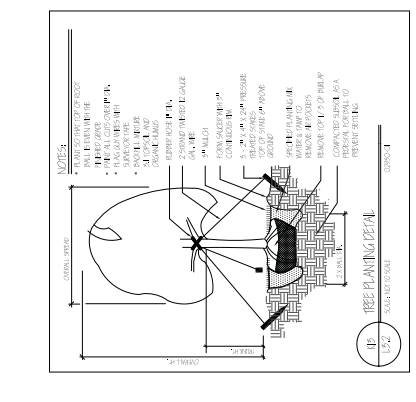
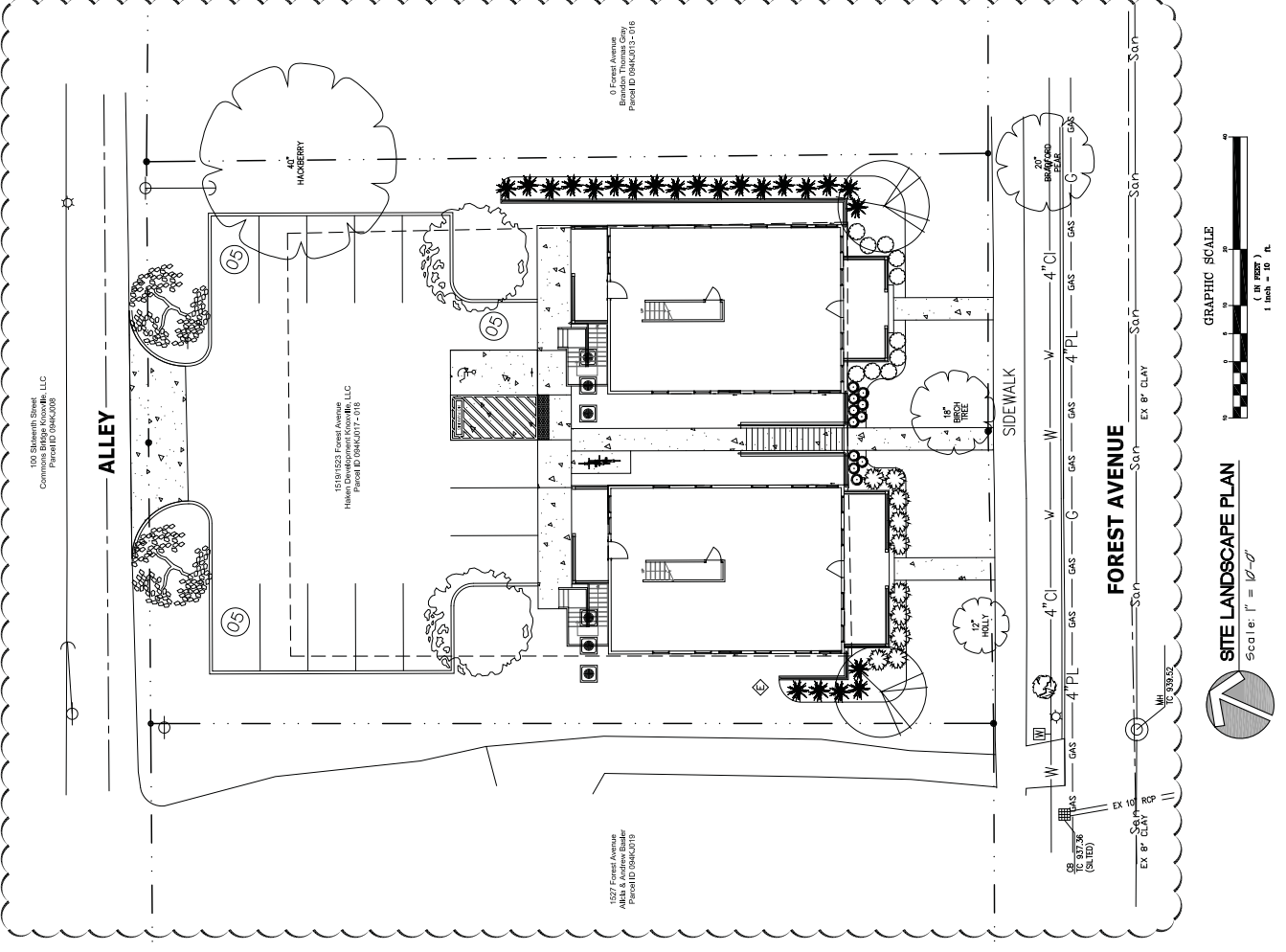
**Tennessee 811**  
Know what's below. Call before you dig.

**KNOX COUNTY**  
Tennessee

REV	DESCRIPTION	BY	DATE
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TITLE:	SITE LANDSCAPE PLAN	DRAWN BY:	THE
LOCATION:	1519 & 1523 Forest Ave Knoxville, Tennessee 37916	CHECKED BY:	MAB
OWNER:	CLT Mip 94, Inset K, Group 1, Parc 1 & 18, Block 1012	FILE NAME:	2108-710
	Halken Knoxville Development LLC	JOB NUMBER:	2108
		ISSUE DATE:	06/18/2018

C7.0



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If provided, contractor/subcontractor to review Owner "image" photos and details and confirm all related details and finishes prior to commencement of construction. Construction means, methods, and materials are solely the jurisdiction of the contractor/subcontractor and are not described in these plans. Exact detailing, structural, mechanical, electrical, waterproofing and flashings are to be determined by the contractor/subcontractor except as noted or described within these drawings. In all cases, the most stringent requirements of all applicable federal, state, county, and local city building, mechanical, electrical, plumbing, and fire codes, laws, ordinances, and regulations must be met. If the contractor/subcontractor or any subcontractor performs any work in conflict with above mentioned laws, rules, codes, ordinances, and regulations then the contractor/subcontractor in violation shall bear all costs of repair arising out of non-conforming work. All such codes, ordinances, deed restrictions and regulations take precedence over any part of these drawings which may be deficient or in conflict. All plan dimensions and area calculations must be verified by contractor/subcontractor prior to bidding, submission of proposals or cost estimates or entering into any contracts or subcontracts. All dimensions must be field verified prior to commencement of construction, ordering of materials or fabrication of products. Plan square footages and area calculations indicate on plans are estimates only. Contractor/subcontractor shall do their own area takeoffs and confirm actual square footages. Notify the designer immediately if any discrepancies between plan area calculations and area takeoffs are noted TO NOT SCALE. NOTIFY ARCHITECTS, CONTRACTOR/SUBCONTRACTOR SHALL CONFIRM AND VERIFY LOCATION OF ALL STRUCTURES IN RELATION TO BUILDING LINES OR SETBACKS, PROPERTY LINES AND EASEMENTS. Notify the designer immediately with any discrepancies.

#### GENERAL NOTES: PLANS MEET 2015 IRC

- No changes shall be made without consulting the designer first.
- All Bedroom doors to be 1" above carpet and 2" above concrete, unless stained concrete
- All doors to be finished floor
- All doors to be 60" tall unless noted otherwise
- All exterior doors to be blocked out 1 1/2" at slab and installed with recessed 2x6 below threshold.
- 2x6 below threshold to be anchored to slab and sealed to prevent water infiltration.
- 2x6 below threshold to be installed in finished floor to top of sill, bottom end 1/2" above finished floor, 3/8" height 3/8" to bottom, 7/8" to measure and 1 1/2" to top
- 2x6 below threshold to be blocked out 1 1/2" at slab and installed with recessed 2x6 below threshold.
- Garage walls and ceiling to be treated, standard firm
- All load bearing walls over 10' 6" high to be 2x6 balloon framing

#### ELEVATION NOTES:

- Masonry material to within 12" of finished grade or terrace
- All roof stacks and flashing must be painted to match roof color
- All windows to be finished with 2x material at siding/stucco locations
- Provide flashing surround at all windows and exterior doors.
- Masonry above all windows and doors to be supported by steel lintels on masonry each side.
- All masonry ledges to be 5 1/2"
- All masonry projections to be 3/4" u.n.o.
- Provide Masonry expansion joints every 20' and within 10' of edge of house
- Vent Attic thru Ridge Vent on Metal Roof (Verify)

#### ROOF FRAMING NOTES:

- All lumber to be #2 SYP, 19% M.C. unless noted otherwise.
- All hips, ridges, and valleys to be one mill size larger than the rafters they are supporting, unless noted otherwise.
- Use flashing on all roof penetrations to be flashed to match roof color.
- Brace or pin all rafters to load bearing walls or beams if span is greater than maximum according to the 2015 IRC
- All rafter splices shall be braced
- Hurrs to be same depth of rafters they are supporting unless noted otherwise.
- Use 2x6 blocking on all rafters with 1/2" x 1/2" x 1/2" blocking on all rafters.
- All exterior openings to be lead bearing
- Provide collar ties at 4'-0" o.c. on all ridges
- Builder accepts full responsibility for checking layout to assure current conformity to local building codes. Should any changes be made to this layout by the builder or his representatives, builder accepts full liability for amended layout.
- Verify all structural drawings with structural engineer or truss manufacturer to this layout. Any discrepancy should be reported to the builder immediately.
- Sub-contractor shall not cut or otherwise alter any prefabricated or engineered framing

#### ELECTRICAL NOTES:

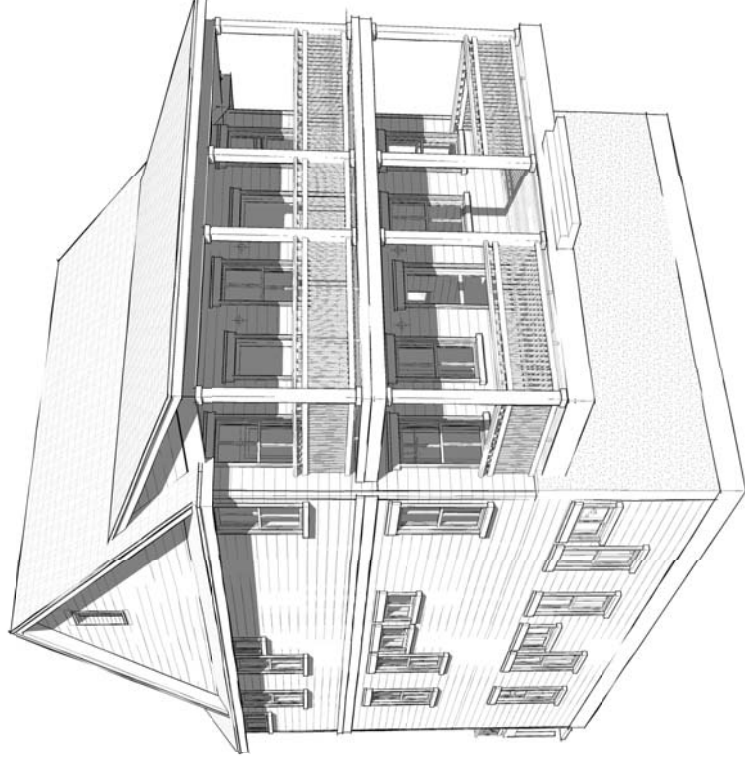
- Breaker box to be located on interior wall in garage- see plan
- All plugs and smoke detectors per local codes and located on plan. Smoke detectors must
- be a min. 30" from RAG and should be interconnected so that the activation of one will activate the others should be in an area accessible by fire extension
- ladder or a 6" step ladder.
- Plug for frigalon at 60" AFF in garage
- Exterior Garage coach lights to be at 7'-0" AFF
- Block and wire for fan/lights at all bedrooms and game room
- Block and wire for range hood/vent fan at kitchen. Openings to be at 5' or AFF
- Donorled buttons to be at 48" AFF
11. Bath vanity plugs to be at 41 1/2" AFF
12. Install GFCI plugs at all vanities and kitchen counter tops
13. Kitchen countertop plugs and switches to be 4'-4" AFF to the top of the box
14. Security key pads to be located above switches: Foyer, Master Bedroom and Garage
15. Walk in closet lights to be 18" from shelf

CONTRACTOR TO VERIFY ALL DIMENSIONS AND FINISHES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THESE DRAWINGS ARE COORDINATED WORKS AND ARE NOT TO BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF BARRON CUSTOM DESIGN, LLC. THESE DRAWINGS ARE THE PROPERTY OF BARRON CUSTOM DESIGN, LLC. THESE DRAWINGS ARE TO BE USED ONLY FOR THE PROJECT AND NOT FOR ANY OTHER PROJECTS. ANY REVISIONS OR CHANGES TO THESE DRAWINGS MUST BE MADE IN WRITING AND APPROVED BY BARRON CUSTOM DESIGN, LLC. ANY DIMENSIONS AND CALLOUTS MUST BE VERIFIED BY THE BUILDER PRIOR TO CONSTRUCTION. BARRON CUSTOM DESIGN, LLC IS NOT RESPONSIBLE FOR ANY DIMENSIONAL OR FINISH DISCREPANCIES THAT MAY OCCUR DURING CONSTRUCTION WITHOUT CONSULTING THE ARCHITECT.

## 1519 & 1523 Forest Avenue Knoxville, Tennessee

Sheet Number	Sheet Name
00.0	COVER
01.0	COVER SHEET
02.0	FOUNDATION
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100.0	FOUNDATION

\*CANNOT BE SHOWN



#### AREA CALCULATIONS (LOWER UNIT)

FLOOR AREA SUMMARY:	
FIRST FLOOR AREA:	1,260 SF
TOTAL CONDITIONED:	1,260 SF
COVERED PORCH 1:	110 SF

#### AREA CALCULATIONS (UPPER UNIT)

FLOOR AREA SUMMARY:	
FIRST FLOOR AREA:	1,260 SF
SECOND FLOOR AREA:	840 SF
TOTAL CONDITIONED:	2,100 SF
COVERED PORCH 2:	240 SF
COVERED PORCH 3:	240 SF
COVERED PORCH 4:	240 SF
TOTAL UNHEATED:	590 SF

PROJECT AREA - 4160 SF

- Contractor to verify local codes, zoning and City specific construction requirements
- Verify all architectural drawings with structural engineer drawings

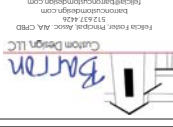
Haken Holdings

1519 & 1523 Forest Avenue  
Knoxville, Tennessee

(2 Unit) 30 x 42, 3 ST  
BR  
BA  
W/ 2 BR / 2.5 BA BASE



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REVISED	
5.21.18	Preliminary
6.6.18	Electrical
6.20.18	Final Set
6.26.18	Revision
7.13.18	Final

Drawn By JC  
Checked By FF  
Date 6.26.18

G.O.O

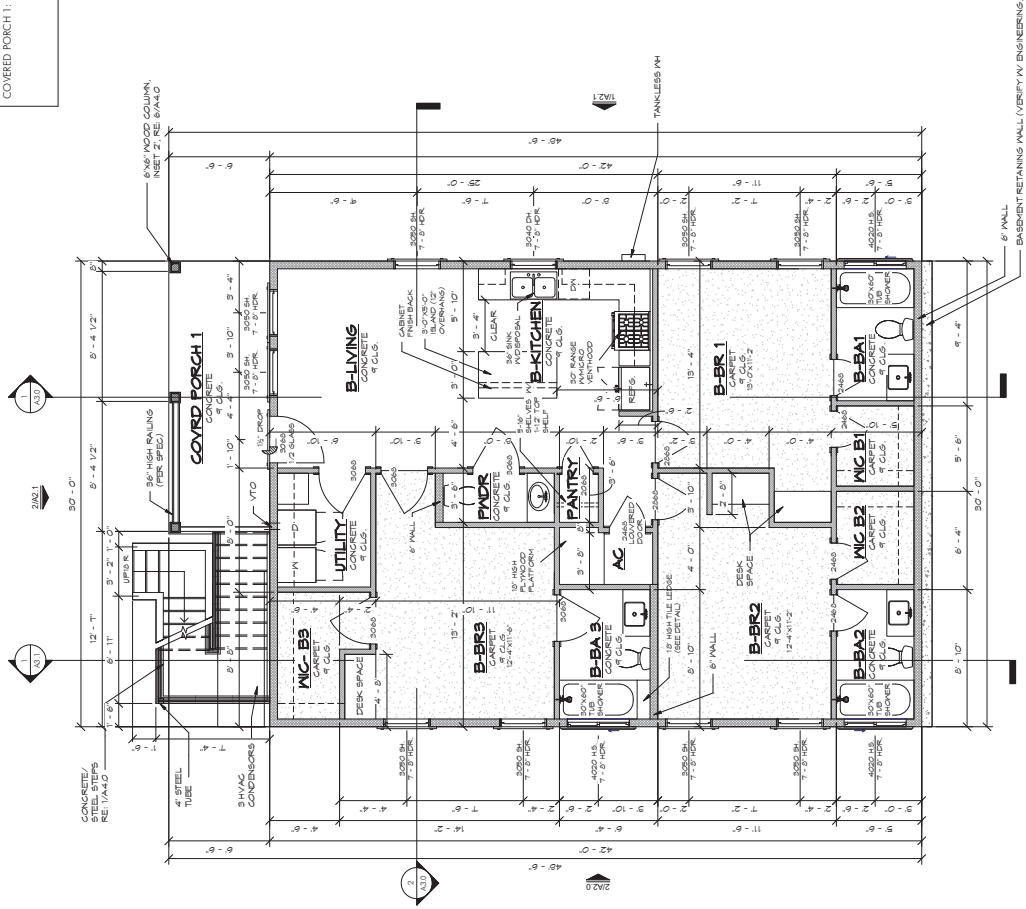
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### AREA CALCULATIONS (LOWER UNIT)

FLOOR AREA SUMMARY:	
FIRST FLOOR AREA:	1,268 SF
TOTAL CONDIGNED:	1,268 SF
COVERED PORCH 1:	110 SF

### DRAWING LEGEND

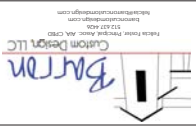
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1 F.F. BSMT (UNIT 1)

1/4" = 1'-0" (22x34) 1/8" = 1'-0" (11x17)

Haken Holdings  
1519 & 1523 Forest Avenue  
Knowlton, Tennessee



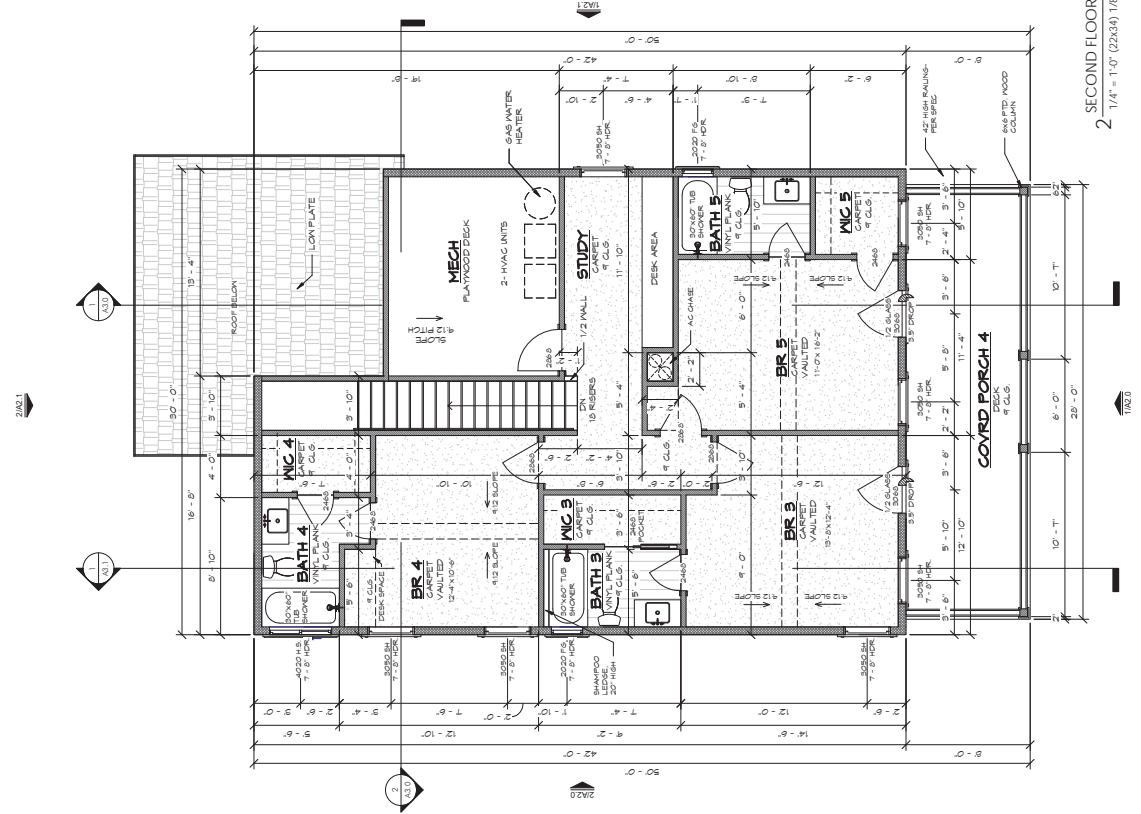
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6.20.18	Final Set
6.26.18	Revision
7.13.18	Final
7.27.18	Revision

Drawn By:	JC
Checked By:	FF
Date:	6.26.18

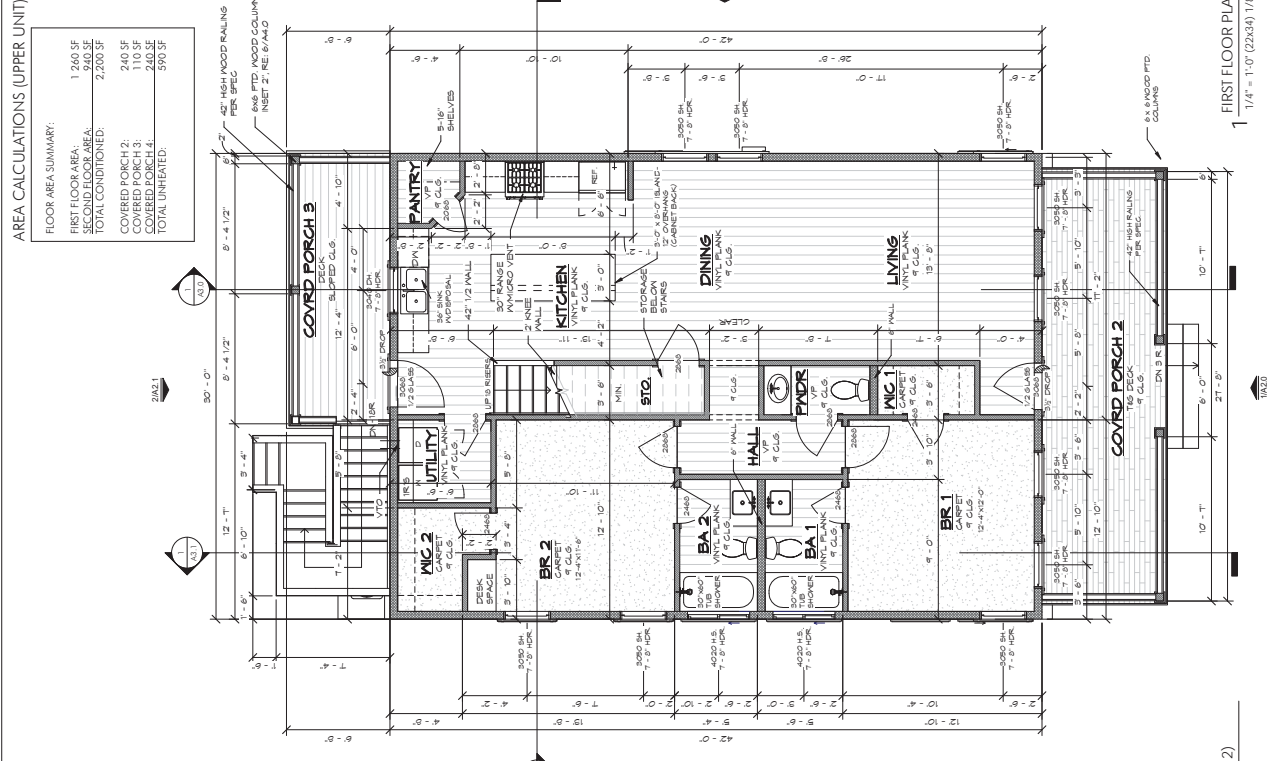
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2 SECOND FLOOR PLAN (UNIT 2)  
1/4" = 1'-0" (22x34) 1/8" = 1'-0" (11x17)



1 FIRST FLOOR PLAN (UNIT 2)  
1/4" = 1'-0" (22x34) 1/8" = 1'-0" (11x17)

**AREA CALCULATIONS (UPPER UNIT)**

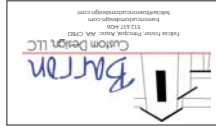
**FLOOR AREA SUMMARY:**

FIRST FLOOR AREA:	1,240 SF
SECOND FLOOR AREA:	940 SF
TOTAL CONDITIONED:	2,200 SF
COVERED PORCH 2:	240 SF
COVERED PORCH 3:	110 SF
COVERED PORCH 4:	240 SF
TOTAL UNFINISHED:	590 SF

**DRAWING LEGEND:**

4" WALL	4" WALL
6" WALL	6" WALL
CARPET	CARPET
WOOD DECKING	WOOD DECKING
WINE PLANK	WINE PLANK
CONCRETE	CONCRETE
TONGUE AND GROOVE	TONGUE AND GROOVE
BEAMS	BEAMS

Haken Holdings  
1519 & 1523 Forest Avenue  
Knob Hill, Tennessee



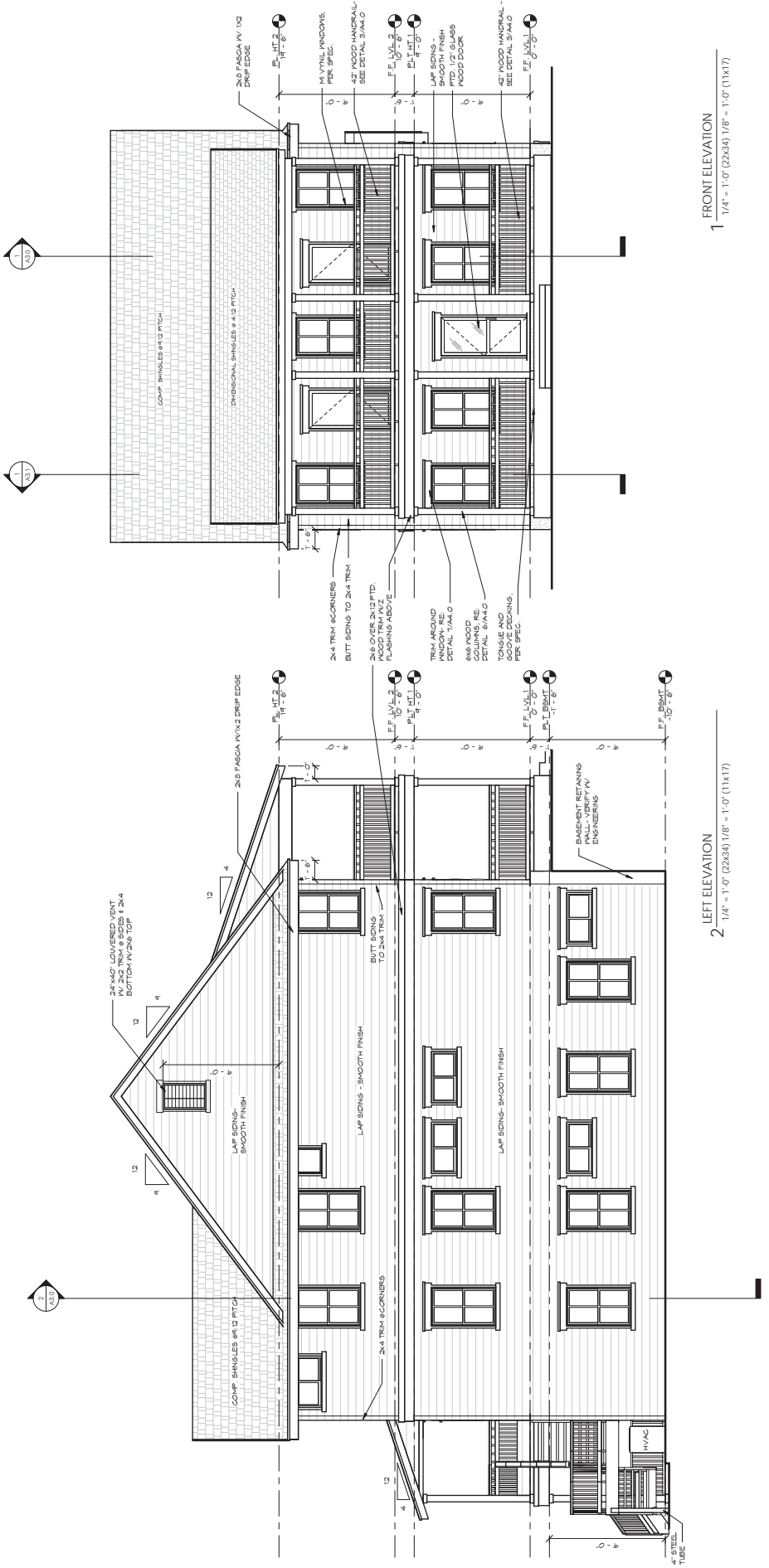
**REVISED**

5.21.18	Preliminary
6.6.18	Electrical
6.20.18	Final Set
6.26.18	Revision
7.13.18	Final
7.27.18	Revision

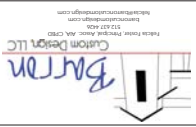
Drawn By:	JC
Checked By:	FF
Date:	6.26.18

**A1.1**

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Haken Holdings  
1519 & 1523 Forest Avenue  
KNOXVILLE, TENNESSEE

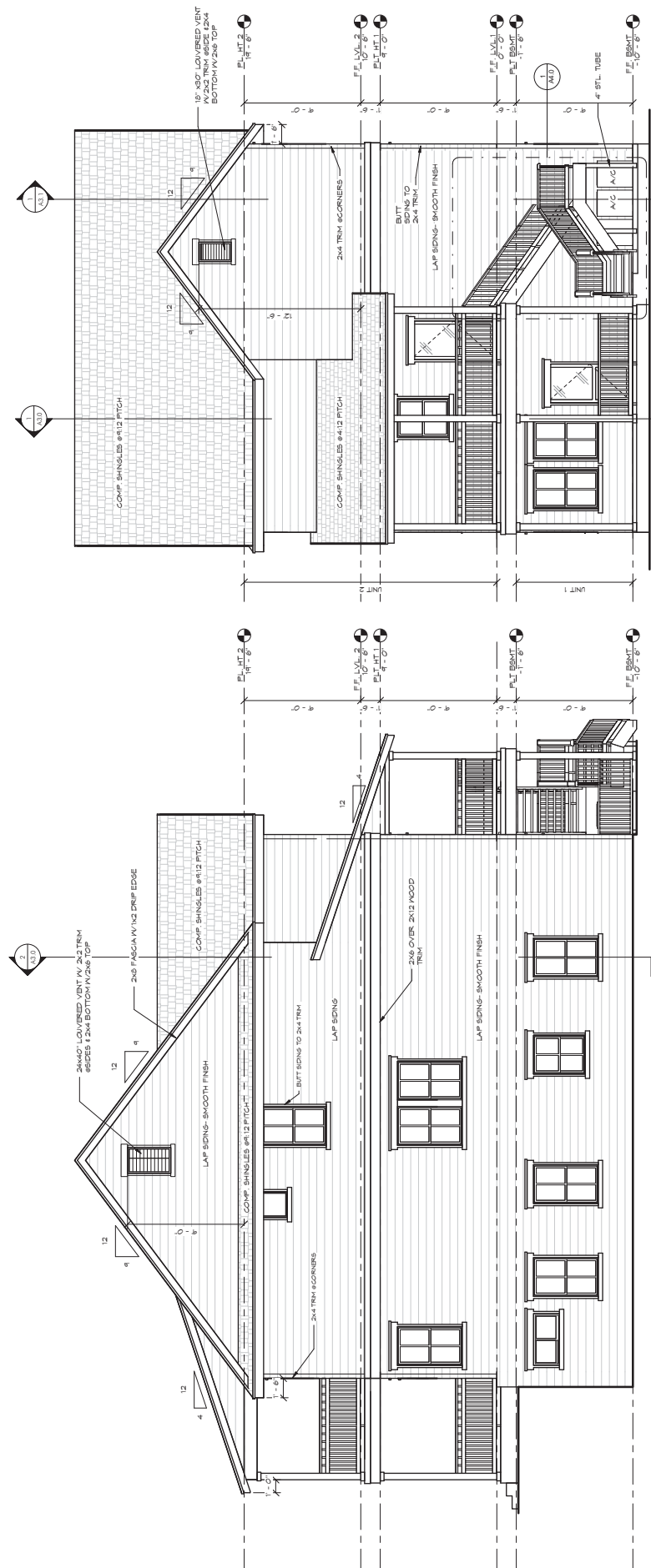


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5.21.18	Preliminary
6.6.18	Electrical
6.20.18	Final Set
6.26.18	Revision
7.13.18	Final
7.27.18	Revision

Drawn By: JC  
 Checked By: FF  
 Date: 6.26.18

**A2.0**

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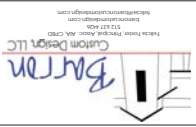


1 SIDE ELEVATION  
1/4" = 1'-0" (22x34) 1/8" = 1'-0" (11x17)

2 REAR ELEVATION  
1/4" = 1'-0" (22x34) 1/8" = 1'-0" (11x17)



Haken Holdings  
1519 & 1523 Forest Avenue  
KNOXVILLE, TENNESSEE



REVISED	
5.21.18	Preliminary
6.6.18	Electrical
6.20.18	Final Set
6.26.18	Revision
7.13.18	Final
7.27.18	Revision
Drawn By	JC
Checked By	FF
Date	6.26.18

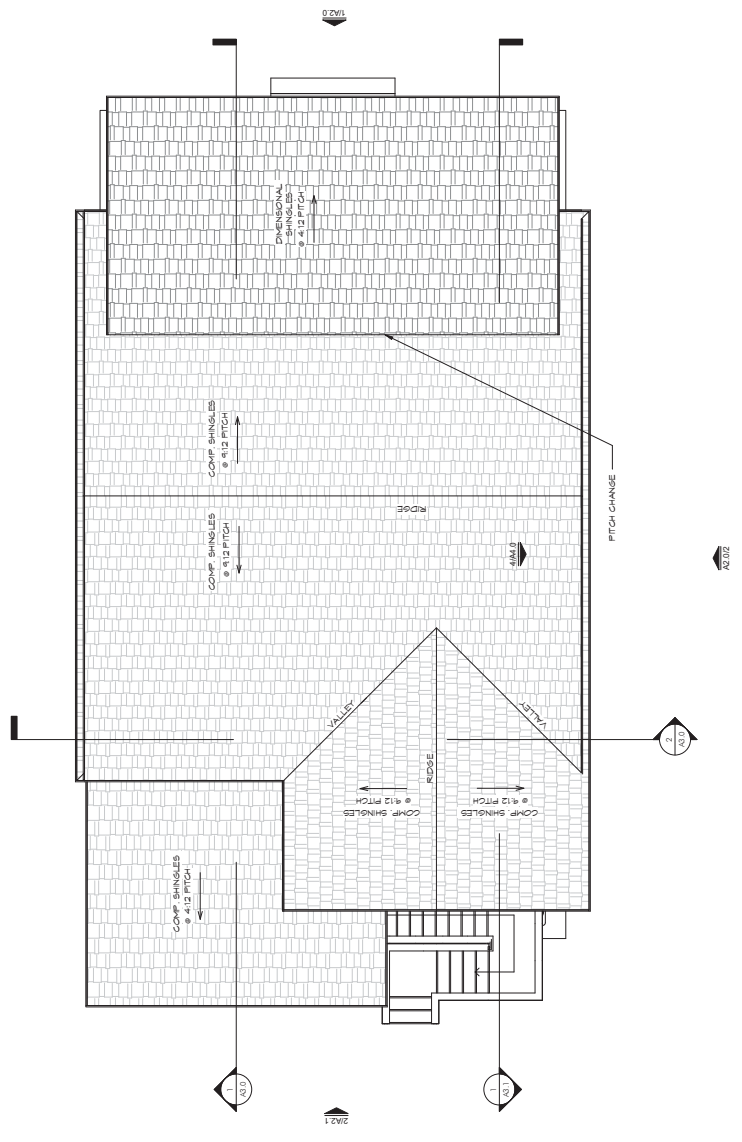
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A2.1/1

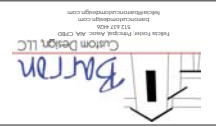


1 ROOF PLAN  
1/4" = 1'-0" (22634) 1/8" = 1'-0" (11x17)

- ROOF LAYOUT ONLY - VERIFY W/STRUCTURAL
- VERIFY ATTIC VENTILATION W/LOCAL REQUIREMENTS



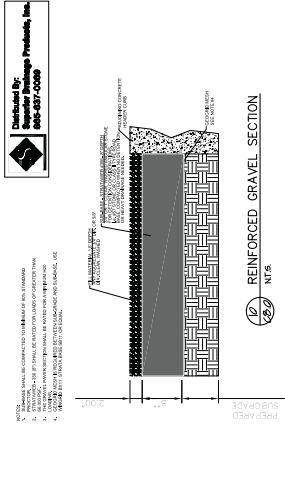
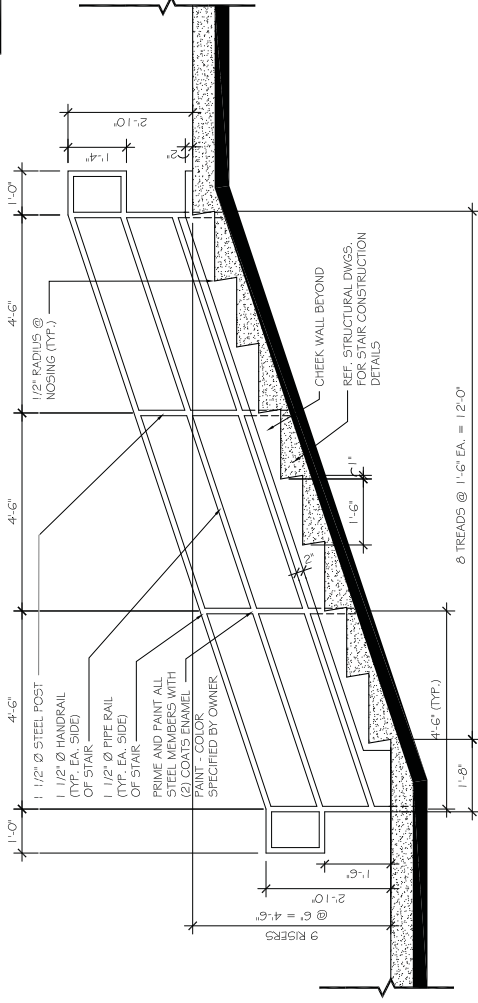
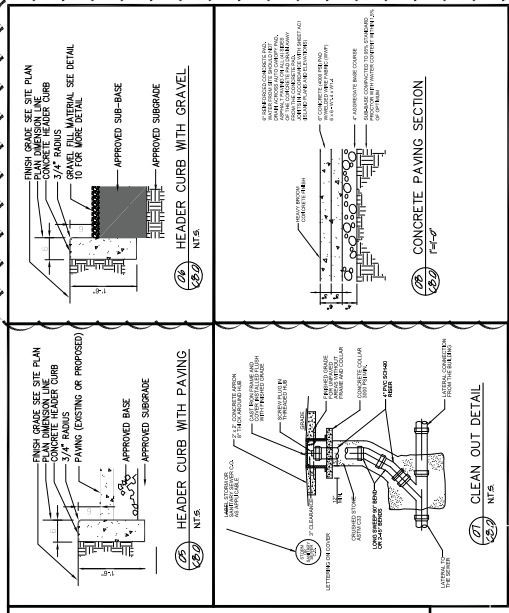
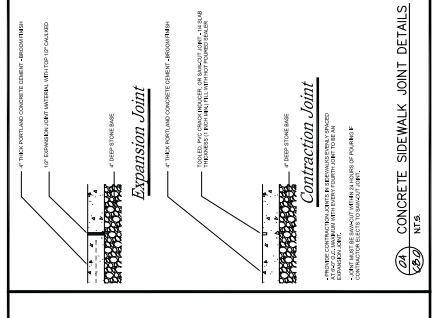
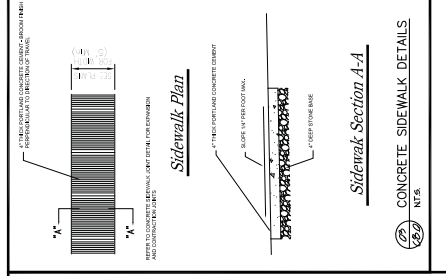
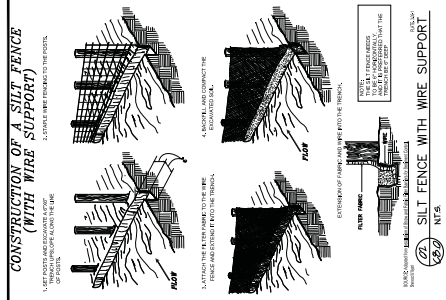
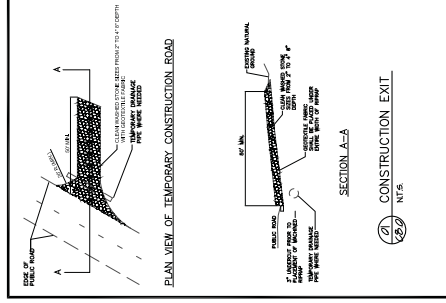
Haken Holdings  
1519 & 1523 Forest Avenue  
Knob Hill, Tennessee



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5.21.18	Preliminary	
6.6.18	Electrical	
6.20.18	Final Set	
6.26.18	Revision	
7.13.18	Final	
7.27.18	Revision	

Drawn By	JC
Checked By	FF
Date	6.26.18

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1313 Kalmia Road  
Knoxville, TN 37909  
Phn: 865.566.0185  
Fax: 888.485.7005








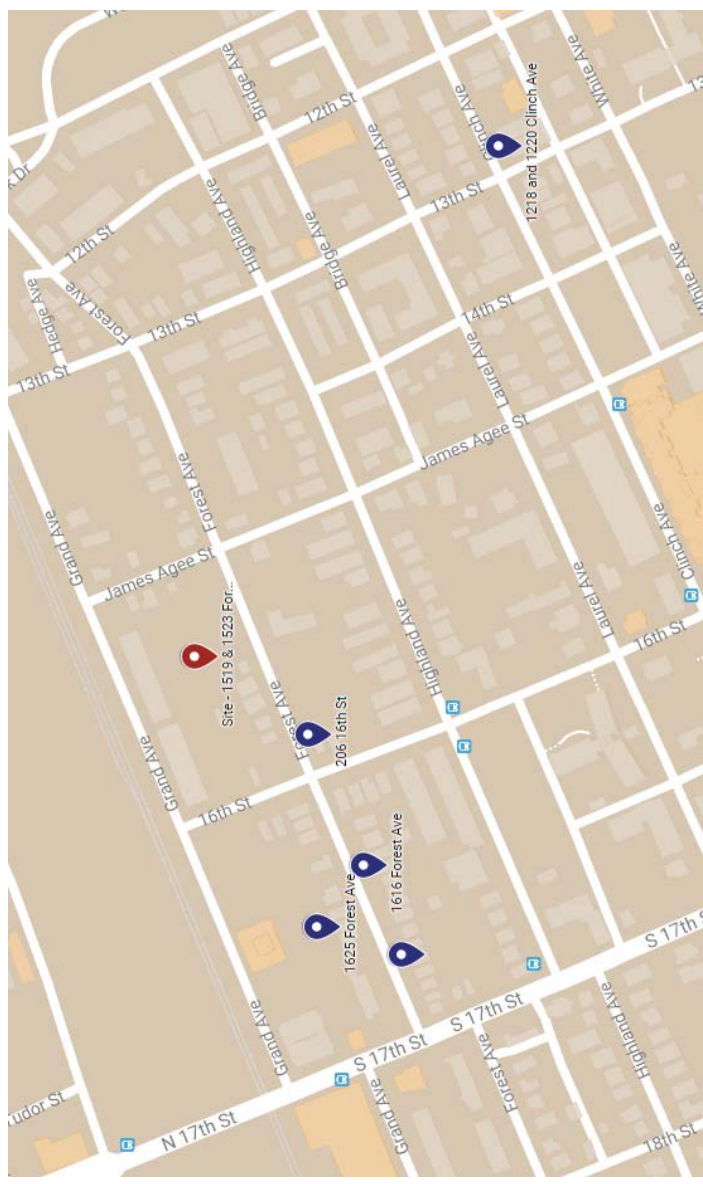
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TITLE:	DETAIL SHEET	DRAWN BY:	THF	SHEET NO.	
LOCATION:	1519 & 1523 Forest Ave Knoxville, Tennessee 37916	CHECKED BY:	THF	FILE NAME:	C8.0
Owner:	CLT Map 94, Insert K, Group J, Parcels 17 & 18, Block 10121	JOB NUMBER:	2168	ISSUE DATE:	06/18/2018
	Halden Knoxville Development LLC				

# Same Elevation Projects, Knoxville, TN

-  Site - 1519 & 1523 Forest Ave
-  1218 and 1220 Clinch Ave
-  1616 Forest Ave
-  1625 Forest Ave
-  1634 Forest Ave
-  206 16th St



<https://drive.google.com/open?id=1XixvPGA9zvluVK7xxSQxmTRn2-J1Akg&usp=sharing>



1218 & 1220 Clinch Ave, Knoxville, TN



1616 Forest Avenue, Knoxville, TN



1625 Forest Avenue, Knoxville, TN



1634 Forest Avenue, Knoxville, TN

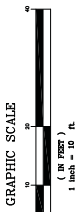
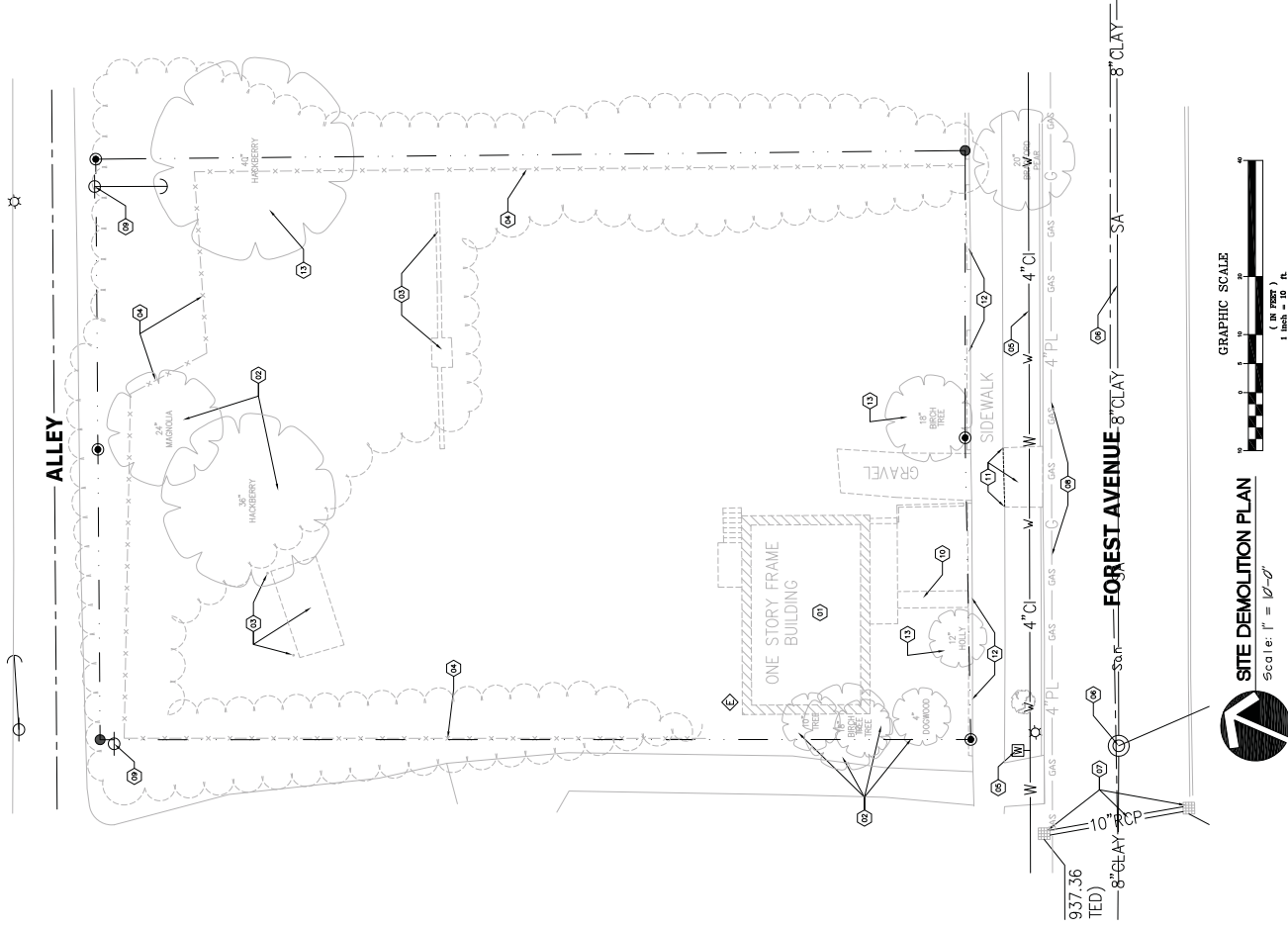




206 16<sup>th</sup> St, Knoxville, TN

**DEMOLITION PLAN CONSTRUCTION NOTES**

1. CONTRACTOR TO REMOVE EXISTING BUILDING AND PROPERLY DISPOSE OF OFF-SITE.
2. CONTRACTOR SHALL REMOVE EXISTING LANDSCAPING AND PROPERLY DISPOSE OF OFF-SITE.
3. CONTRACTOR SHALL REMOVE EXISTING FENCE AND PROPERLY DISPOSE OF OFF-SITE.
4. CONTRACTOR SHALL REMOVE EXISTING SANITARY SEWER STRUCTURES AND ALL ASSOCIATED LINES AT ALL TIMES.
5. CONTRACTOR SHALL REMOVE EXISTING WATER METERS, FIRE HYDRANTS AND ALL ASSOCIATED LINES AT ALL TIMES.
6. CONTRACTOR TO PROTECT EXISTING SANITARY SEWER STRUCTURES AND ALL ASSOCIATED LINES AT ALL TIMES.
7. EXISTING STORM PIPES AND STRUCTURES TO REMAIN AND TO BE PROTECTED AT ALL TIMES.
8. CONTRACTOR SHALL PROTECT THE EXISTING GAS MAIN, VALVES AND METERS AT ALL TIMES.
9. CONTRACTOR SHALL PROTECT OVERHEAD LINES AND POLES AT ALL TIMES.
10. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF EXISTING CONCRETE SIDEWALK.
11. CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING CONCRETE DRIVEWAY ENTRY AND PROPERLY DISPOSE OF OFF-SITE.
12. CONTRACTOR SHALL REMOVE THE EXISTING CONCRETE WALL ALONG THE EDGE OF THE SIDEWALK AND PROPERLY DISPOSE OF OFF-SITE.
13. CONTRACTOR SHALL PROTECT EXISTING LANDSCAPING AT ALL TIMES.



**SITE DEMOLITION PLAN**  
 Scale: 1" = 10'-0"  
 (OR 1/8")  
 1 inch = 10 ft

SEE COVER SHEET FOR LEGEND.



1313 Kalmia Road  
 Knoxville, TN 37909  
 Phn: 865.566.0185  
 Fax: 888.485.7005



REV	DESCRIPTION	BY	DATE
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

TITLE:	SITE DEMOLITION PLAN	DRAWN BY:	THE	SHEET NO.:	
LOCATION:	1519 & 1523 Forest Ave Knoxville, Tennessee 37916	CHECKED BY:	MAB	FILE NAME:	2168-2.0
	CLT Map 94, Inset K, Group J, Parcel 17 & 18, Block 10121			JOB NUMBER:	2168
	Owner: Halcon Knoxville Development LLC			ISSUE DATE:	06/18/2018

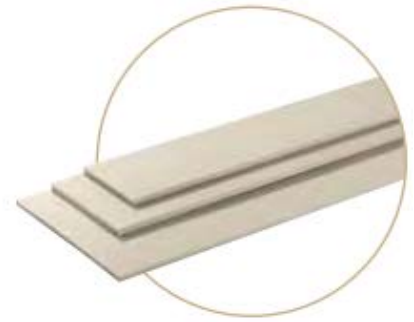
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# Smooth Finish Lap

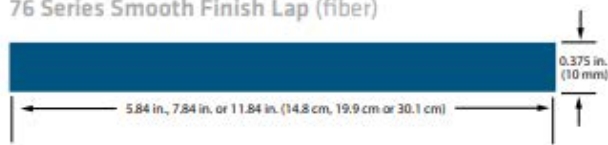
## A Traditional, Subtle Look

- Traditional look that accentuates the architectural features of any home
- Smooth finish for a clean appearance
- Pre-primed for exceptional paint adhesion
- 16' length can result in faster installation and fewer seams
- Treated engineered wood fiber substrate



Smooth finish

### 76 Series Smooth Finish Lap (fiber)



DESCRIPTION	LENGTH	ACTUAL WIDTH	MINIMUM THICKNESS	PID NUMBER	WEIGHT
76 Series Smooth Finish Lap (fiber)	16 ft. (192 in.)(4.9 m)	5.84 in. (14.8 cm)	0.375 in. (10 mm)	25919	2 psf
	16 ft. (192 in.)(4.9 m)	7.84 in. (19.9 cm)	0.375 in. (10 mm)	25920	2 psf
	16 ft. (192 in.)(4.9 m)	11.84 in. (30.1 cm)	0.375 in. (10 mm)	25921	2 psf



[Back to search results \(/products/product-info\)](#)

## 3540 Single-Hung Window



### Product Details:

- 2-7/8" frame depth
- 3/4" insulating glass
- 4-9/16", 6-9/16", and 7-9/16" wood extension jambs available
- Continuous head and sill mulling for twins and triples
- Flange frame available

NO 2/16/12 8-E-18-N2

ALTERNATIVE MATERIAL EVALUATION FOR WORK ON HISTORIC BUILDINGS

Decision Matrix		SOI Considerations	Applicable SOI Standards	Environmental Considerations	Questions to Consider
Repair existing feature?	<ul style="list-style-type: none"> <li>Significance</li> <li>Location</li> <li>Distinctiveness</li> <li>Visibility</li> </ul>	<ul style="list-style-type: none"> <li>#2: Avoid altering features that characterize a property.</li> <li>#5: Preserve distinctive features that characterize a property.</li> </ul>	<ul style="list-style-type: none"> <li>Durability</li> <li>Embodied energy</li> </ul>	<ul style="list-style-type: none"> <li>Where is the feature located? Is the feature distinctive?</li> <li>How visible is the feature?</li> <li>What is the condition of the historic fabric?</li> <li>Are local tradespersons skilled in preservation available?</li> </ul>	
Replace the deteriorated feature with a new element matching the original in design and material?	<ul style="list-style-type: none"> <li>Compatibility</li> <li>Location</li> <li>Visibility</li> </ul>	<ul style="list-style-type: none"> <li>#5: Preserve distinctive features that characterize a property.</li> <li>#6: Replacement feature shall match in design, color, texture, visual qualities, and, where possible, materials.</li> </ul>	<ul style="list-style-type: none"> <li>Durability</li> <li>Embodied energy</li> <li>Energy efficiency</li> <li>Energy source</li> </ul>	<ul style="list-style-type: none"> <li>Can matching features be salvaged or secured from other locations for reuse?</li> <li>Does the proposed substitution replicate the original feature?</li> <li>Is there sufficient documentation to recreate the feature?</li> <li>Can parts of the existing feature be salvaged for reuse elsewhere?</li> </ul>	
Replace the feature with a new element of alternative materials, but matching the original in design?	<ul style="list-style-type: none"> <li>Compatibility</li> <li>Visibility</li> <li>Visual effect</li> <li>Documentation</li> </ul>	<ul style="list-style-type: none"> <li>#6: Replacement feature shall match in design, color, texture, visual qualities, and, where possible, materials.</li> </ul>	<ul style="list-style-type: none"> <li>Durability</li> <li>Embodied energy</li> <li>Energy efficiency</li> <li>Energy source</li> <li>Toxicity</li> <li>Recyclability</li> </ul>	<ul style="list-style-type: none"> <li>Does the proposed substitution replicate the original feature?</li> <li>How visible is the feature?</li> <li>What is the visual impact of the new material?</li> <li>Is the new material compatible with the existing fabric of the building?</li> <li>Can parts of the existing feature be salvaged for reuse elsewhere?</li> </ul>	
Replace the feature with a new element of new non-imitative materials?	<ul style="list-style-type: none"> <li>Compatibility</li> <li>Visibility</li> <li>Visual effect</li> <li>Reversibility</li> <li>Impact on historic fabric</li> </ul>	<ul style="list-style-type: none"> <li>#9: Do not destroy historic materials when constructing exterior alterations. Differentiate the new work from the old and protect historic integrity by requiring compatible architectural features.</li> </ul>	<ul style="list-style-type: none"> <li>Durability</li> <li>Embodied energy</li> <li>Energy efficiency</li> <li>Energy source</li> <li>Toxicity</li> <li>Recyclability</li> </ul>	<ul style="list-style-type: none"> <li>How visible is the feature?</li> <li>Is the new material compatible in scale and finish?</li> <li>What is the visual impact of the new material?</li> <li>How does the work affect perception of the building and existing historic fabric?</li> <li>Is the work reversible?</li> <li>Can parts of the existing feature be salvaged for reuse elsewhere?</li> </ul>	
Remove the existing feature and introduce a new one?	<ul style="list-style-type: none"> <li>Compatibility</li> <li>Visibility</li> <li>Visual effect</li> <li>Reversibility</li> <li>Impact on historic fabric</li> </ul>	<ul style="list-style-type: none"> <li>#9: Do not destroy historic materials when constructing exterior alterations. Differentiate the new work from the old and protect historic integrity by requiring compatible architectural features.</li> </ul>	<ul style="list-style-type: none"> <li>Durability</li> <li>Embodied energy</li> <li>Energy efficiency</li> <li>Energy source</li> <li>Toxicity</li> <li>Recyclability</li> </ul>	<ul style="list-style-type: none"> <li>How visible is the feature?</li> <li>Is the new feature compatible in scale and finish?</li> <li>What is the visual impact of the new feature?</li> <li>How does the work affect perception of the building and existing historic fabric?</li> <li>Is the work reversible?</li> <li>Can parts of the existing feature be salvaged for reuse elsewhere?</li> </ul>	

\* Adapted from Source: Becker, D., & Williams, J. "A Sustainability Framework for the Local Consideration of Alternative or Substitute Materials - Part II." The Alliance Review (Nov-Dec 2009), 11-17.