



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 940 Eleanor St 37917

FILE NO.: 4-G-18-HZ

DISTRICT: Fourth and Gill H-1

MEETING DATE: 4/19/2018

APPLICANT: Tricia Roelofs; Luke McLaurin (Owners)

LEVEL OF WORK: Level II. Construction of addition

PROPERTY DESCRIPTION: Queen Anne (c. 1900)

Two-story frame with weatherboard wall covering. Hip roof with lower cross gables, asphalt shingle roof covering. One-over-one double-hung windows. On -story full front porch with round columns with Ionic capitals, dentil molding under shed porch roof, tongue-and-groove floor, beadboard ceiling. Exterior side brick chimney. Brick foundation. Irregular plan. Projecting one-story bay on front elevation under porch roof One-story rear porch with columns and second-story rear addition with shed-roof and balcony with round wood posts and weatherboard balustrade.

► **DESCRIPTION OF WORK:**

This project involves modifications to the existing front and back porches of the home. The front porch will be renovated to replace the existing 41-inch turned balustrade with 36-inch 2x2 square balustrade, and replace the deteriorated porch floor with tongue-and-groove. The back porch will be renovated to match the materials and balustrade design of the front porch, with the following additional renovations: (1) demo of hipped and shed-roofs of rear and side porches; (2) addition of 3:12 hipped-roof screened-in back porch that will extend 10'-9" from the now-existing back porch. The porch will be 20 feet wide (extending an approximate 6 additional feet south) and will cover an existing small window; (3) removal of inaccessible and rotting third-floor porch to accommodate the roof of the new screened-in first-level back porch; (4) addition of stairs from the existing back porch to allow yard access; and (5) the addition of lighting and expansion of the existing concrete slab in the backyard to create a usable area under the new screened-in back porch addition. The area underneath the stair case will be screened from Caswell with vertical wood slats with a decorative diamond pattern.

► **APPLICABLE DESIGN GUIDELINES:**

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Rehabilitation and New Construction

1. Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate.
2. Porches visible from a street may not be completely enclosed.
3. New front porches in Fourth and Gill must be large enough to provide seating, i.e., six to eight feet in depth.

PORCHES

4. Details such as columns, posts, piers, balustrades and porch flooring must use materials that present a visually and physically appropriate appearance historically.

6. Screening porches may be acceptable if screening is translucent and the open appearance of the porch is maintained.



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 940 Eleanor St 37917

FILE NO.: 4-G-18-HZ

DISTRICT: Fourth and Gill H-1

ADDITIONS

1. Locate attached exterior additions at the rear or on an inconspicuous side of a historic building, limiting the size and scale in relationship to the historic building. Proportion is very important.
2. Design new additions in a manner that makes clear what is historic and what is new.
3. Consider the attached exterior addition both in terms of the new use and the appearance of other buildings in the Historic district. Design for the new work may be contemporary or may reference design motifs from the historic buildings. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, size, texture, scale, relationship of solids to voids, and color.
4. Place new additions, such as balconies or solar greenhouses, on non-character-defining elevations, and limit the size and scale in relationship to the historic building.
7. New work should not appear to be as old as the historic building. Do not duplicate the exact form, material, style, and detailing of the historic building in the new addition.
8. New additions should not cause a lessening or loss of historic character, including the historic building's design, materials, workmanship, location, or setting.

SECRETARY OF INTERIORS STANDARDS

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. Wherever possible, new additions or alterations to a structure shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

COMMENTS:

Information provided by the architects on the rear porch: The 1917 Sanborn Insurance maps and sheet #76 showing updates from 1950 show that the back porch is labeled as 1 story (see attachment: "1950 Sanborn_940 Eleanor").

This indicates that the second floor porch was added sometime after 1950. A Google Street View image from 2007 that shows the back of your house (see attachment "940 Eleanor_street view 2007").

In the 2007 view, the upper back porch is existing, but it has a knee wall instead of a railing AND it has a staircase connecting to the first-floor porch.

The reconfiguration implies that it was likely a later addition that was built when there was a second-floor apartment. It appears that the staircase and knee wall were removed as part of the renovation in 2007, since neither appear in the later Google Street Views.



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 940 Eleanor St 37917

FILE NO.: 4-G-18-HZ

DISTRICT: Fourth and Gill H-1

STAFF FINDINGS:

- 1) The house is a contributing structure in the Fourth and Gill H-1 Overlay and National Register Historic District.
- 2) The indication of the 1917 Sanborn map indicates that a 2-story porch did not exist at that time. The second-level porch (prior to 2007) had a staircase connecting to it, and it's likely that it was later-added for access to a second-story apartment, possibly for the 1982 World's Fair.
- 3) The late added second-level porch has not acquired significance in its own right.
- 4) The screened in porch will be added to the rear of the house, but since the house is on the corner of Eleanor and Caswell (which is a dead end), the screened-in porch will be very visble. Another screened-in porch was approved for the house at the corner of Luttrell and Caswell, one block west.
- 5) The proposed wooden materials and details of the new porch are in keeping with those on the main house. However, the porch balustrade have square 2x2 pickets so as not to conflict with the round columns of the front porch and to retain simplicity on the rear porch (as shown in submitted 3-D rendering). The 6x6 square posts with trim on the back porch are appropriately more simple than the fluted round columns of the front porch.
- 6) Although the hipped roof over the side porch appears to be an early or original configuration, the new porch roof will also be hipped and npt extend any further out into the side yard. The new side porch roof will be supported by the same type of fluted round columns and the fascia will retain the same detailing, including the dentil molding, as the current side porch.
- 7) The new rear porch is appropriately scaled to the rear and side facades of the house.

► STAFF RECOMMENDATION:

Approval with the condition that the front and rear balustrade are constructed with nominal 2x2 pickets rather than turned (as shown in submitted 3-D rendering).

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. **NAME OF APPLICANT:** Tricia Roelofs and Luke McLaurin

Address: 940 Eleanor Street Knoxville, TN 37917

Telephone: 202.436.6043 E-mail address: tricia.roelofs@gmail.com

Relationship to Owner: Owner

2. **NAME OF OWNER:** Same as above

Address: _____

Telephone: _____ E-mail address: _____

3. **LOCATION OF PROPERTY:**

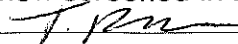
Address: 940 Eleanor Street Tax ID/Lot/Parcel No: 081MK013

4. **LEVEL OF WORK** (circle Level)

- Level I** Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA
- Level II** Major replacement of materials or architectural elements; construction of addition or outbuilding
- Level III** Construction of a new primary building; subdivision of individually designated property
- Level IV** Demolition or relocation of a contributing structure

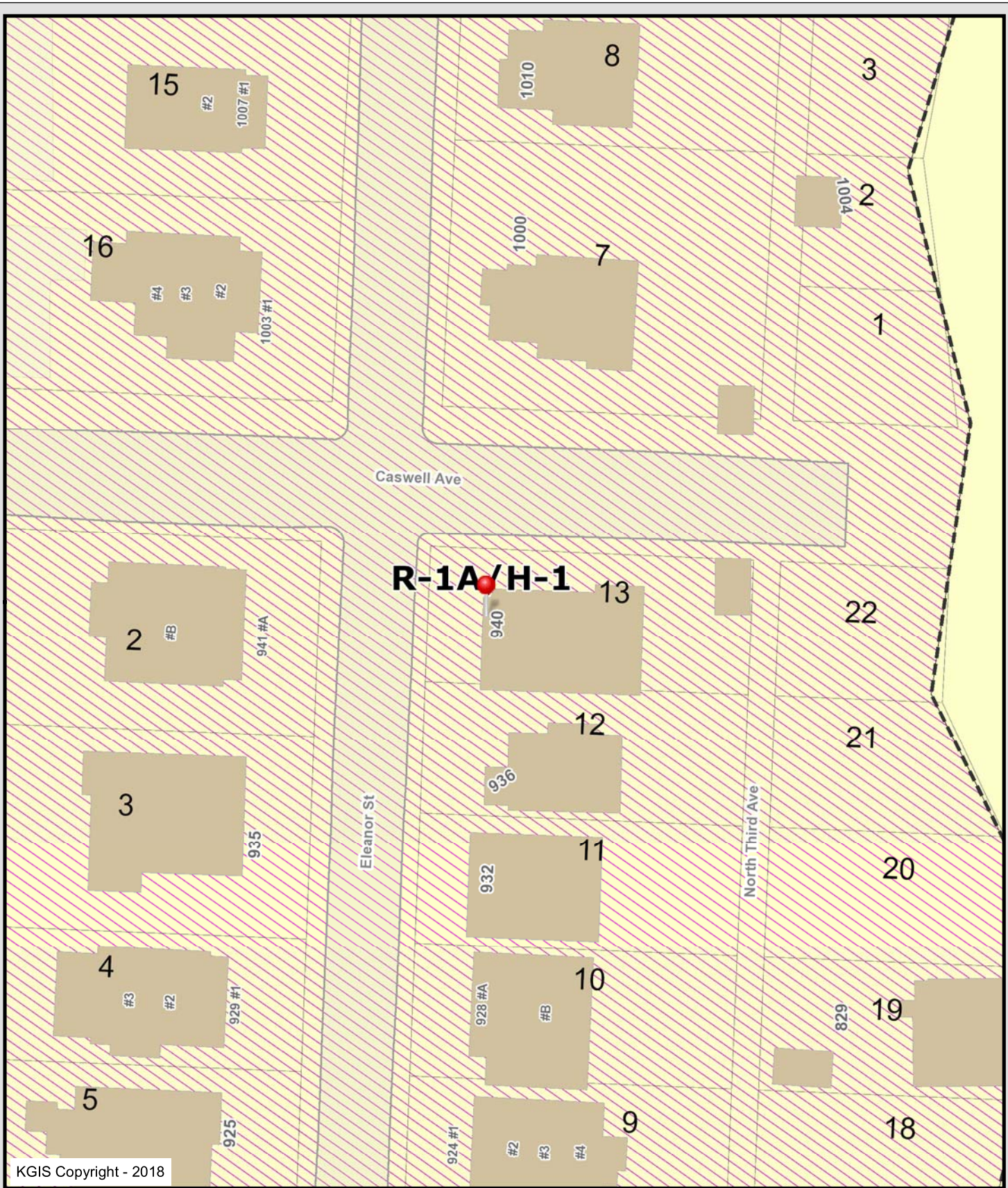
5. **DESCRIPTION OF WORK:** (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

This project involves modifications to the existing front and back porches of the home. The front porch will be renovated to add new railings and flooring to replace the current railings and flooring, which are beginning to deteriorate. The back porch will be renovated in the same manner as the front porch, with the following additional renovations: (1) addition of screened-in back porch, that will extend from the now-existing back porch; (2) removal of the inaccessible and rotting third-floor porch to accommodate the roof of the new screened-in back porch; (3) addition of stairs from the existing back porch to allow yard access; and (4) the addition of lighting and expansion of the existing concrete slab in the backyard to create a usable area under the new screened-in back porch addition.

6. **SIGNATURE OF APPLICANT:**  Date: 4-2-18

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or Fax: 865-215-2068. **Incomplete applications will not be accepted.**

FOR STAFF USE ONLY			
Date Received	<u>4/2/18</u>	Approved	Disapproved
Date Acted On		Approved As Modified	

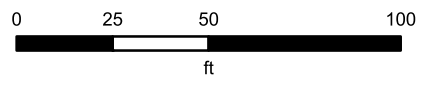


KGIS Copyright - 2018

940 Eleanor Street
Fourth and Gill H-1 Overlay

Printed: 4/12/2018 at 10:48:28 AM

Knoxville - Knox County - KUB Geographic Information System



KGIS makes no representation or warranty as to the accuracy of his map and its information nor to its fitness for use. Any user of this map product accepts the same AS IS ,WITH ALL FAULTS, and assumes all responsibility for the use thereof, and futher covenants and agrees to hold KGIS harmless from any and all damage, loss, or liability arising from any use of this map product.

back porch
shown as 1
story in 1950





940 Eleanor – Front and north side



940 Eleanor – Front façade



940 Eleanor - North side of wrap-around back porch



940 Eleanor – Rear and north sides



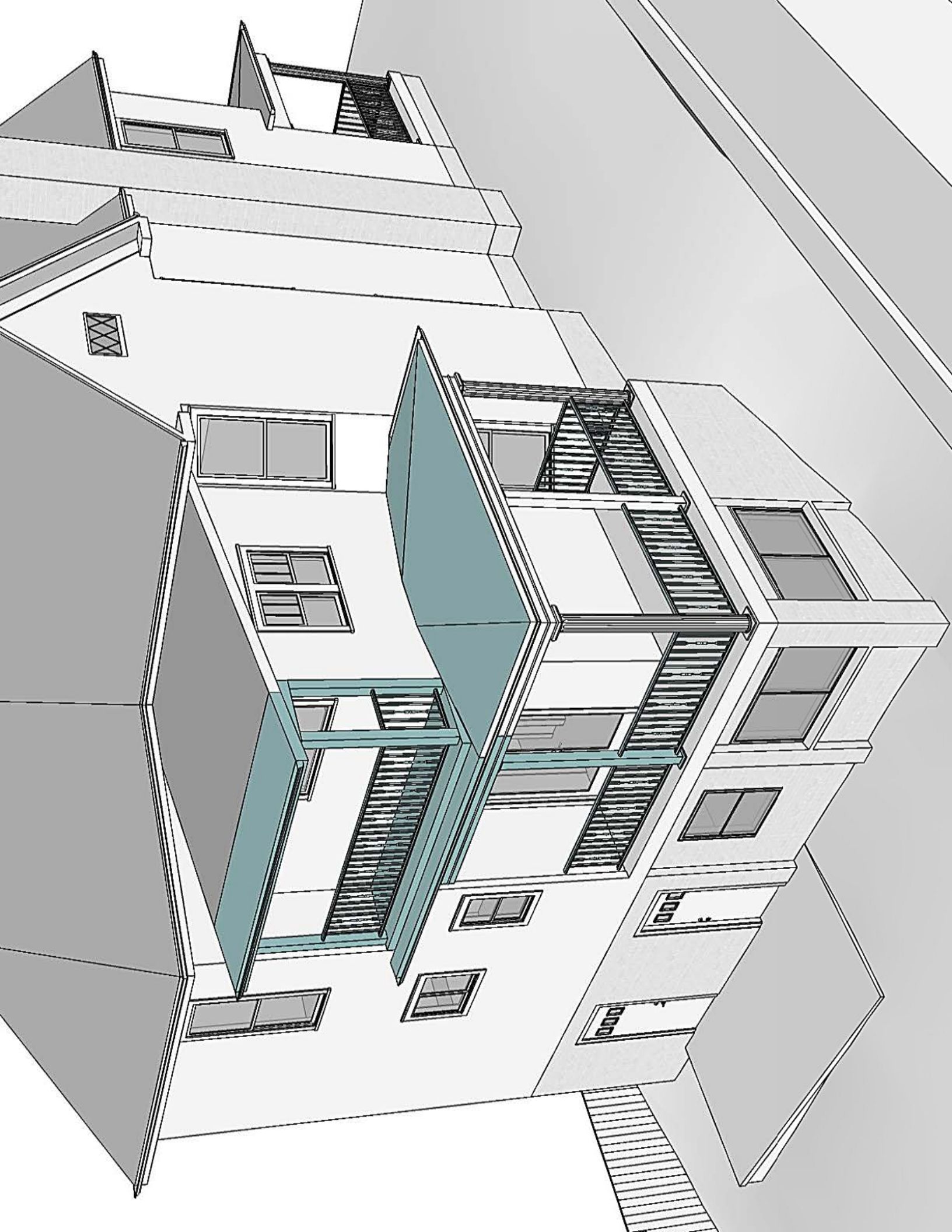
940 Eleanor - Upper and lower back porches (current)

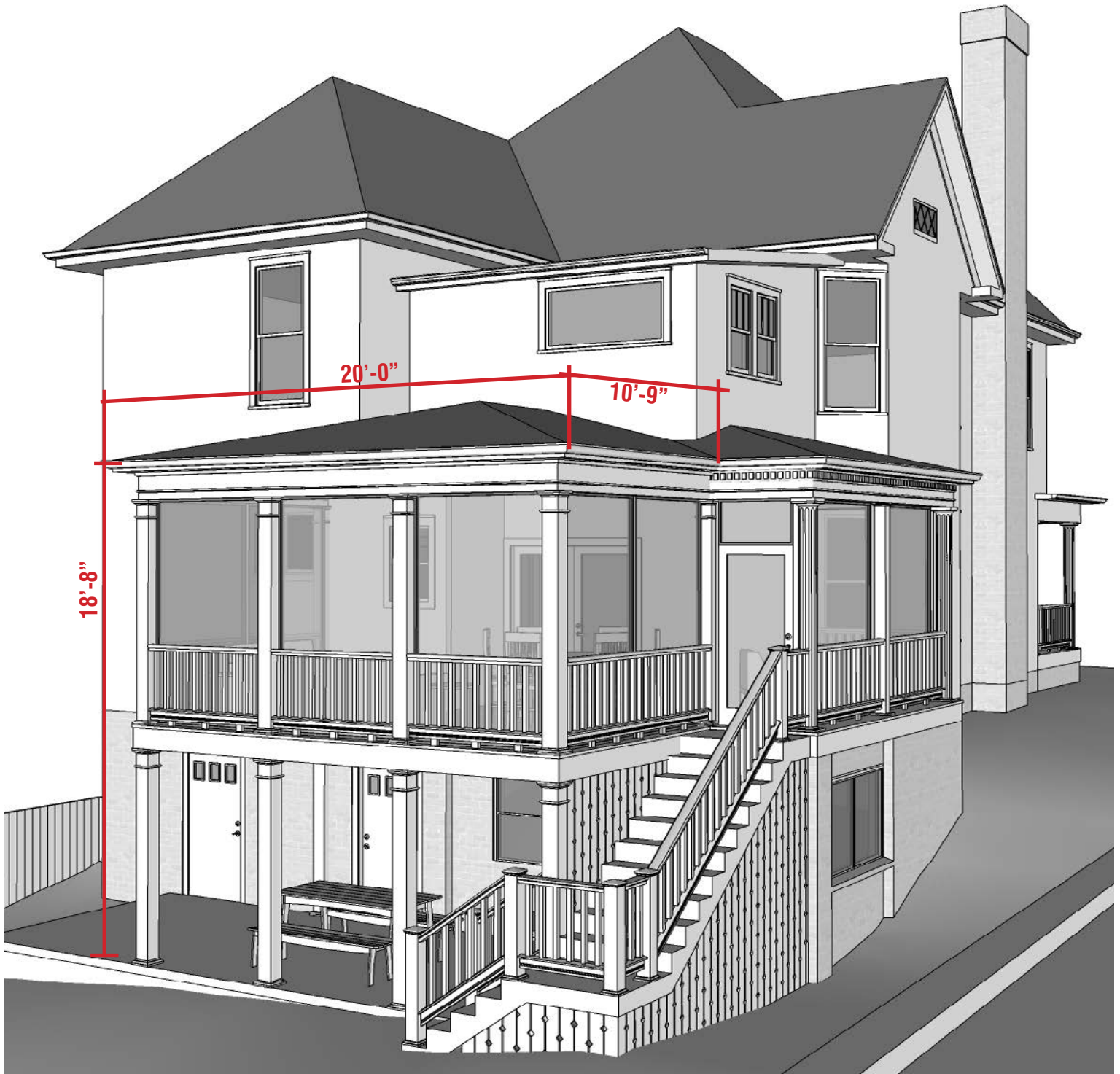


940 Eleanor - Close-up view of upper porch (current)



940 Eleanor - North and rear (east) sides showing stairs and knee wall in a 2007 Google photo





18'-8"

20'-0"

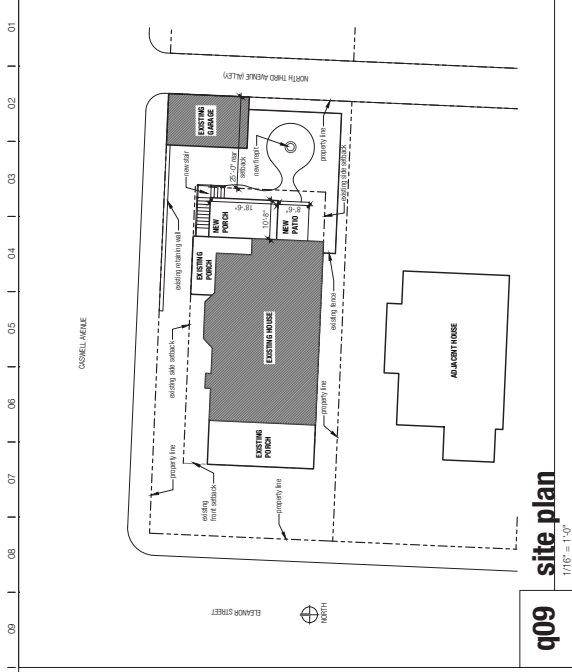
10'-9"

ROELOFS-MCLAURIN RESIDENCE

SCREENED PORCH

Construction Drawings

The Historic Fourth & Gill Neighborhood
Knoxville, Tennessee



**ROELOFS
MCLAURIN
RESIDENCE**
SCREENED PORCH

the historic Fourth & Gill
neighborhood

Knoxville, Tennessee

client:
Todd Rowles & Lisa McLaurin
940 Elmore Street
Knoxville, TN 37917

architect:
open door
ARCHITECTURE
810 Luttrell Street
Knoxville, Tennessee 37917
www.opendoorarchitect.com

project contact:
Sean Martin | 865.598.6993

17008

DATE: March 23, 2018
DRAWING PURPOSE: checklist
REVISIONS:

A1.0

cover sheet, site plan, symbols
legend, general notes, general
zoning information, and codes

All drawings must adhere to the adopted Fourth & Gill Historic District Design guidelines.
A. Contractor shall adhere to the adopted Historic Zoning Ordinance.
Contact City-Code Dept. (865-218-2300) for more information.

Certificate of Appropriateness

File number: 12-E-17-HZ **Expiration Date:** December 20, 2020

Work Items: Additions; Porch Elements; Roofing; Siding; Windows

Description of Work:

1. A new year of addition north side of the house, modifications to the existing 2-story, one-bay screened porch (north side of the house) and construction of a replacement front roof.

Project scope includes:

Re-roofed addition, (2018) and porch on south side to be demolished and replaced with a new addition (125 SF (approx)) clad in wood lap siding on first level and with cedar shingles on second level (see site and profile to match the house's original siding with brick foundation to match original house. Newer salvaged oak-cladding windows used in the lower pitched than existing hipped roof and covered with interlocking metal clad roofing.

Replace second-floor screened porch on north side of house with shingles match main 2'-0" on the north side and frame in with pilasters and board-and-batten keep walls 5/8" depicted in submitted drawings. Roofing to be interlocking metal clad roofing.

Reconstruct exterior roof on the large based on historical photos as close as possible. Reconstruct exterior roof on the large based on historical photos as close as possible. The roof structure will be constructed of wood. The roof covering of the central cap will be of cedar shingles to match original and the metal finish will be as closely matched as possible to the original.

Zoning:

This property zoned by the City of Knoxville as RH-1A (H-1)

In a densely residential district / historic nearby district

Permitted use: Single-family, single-unit detached

any use permitted in an R-1, low-density residential district

accessory buildings and structures

Revised setbacks:

All buildings shall be set back from the street front yard lines and lot lines to comply with the following yard requirements:

front: 25'-0"

side: 5'-0"

rear: 25'-0"

Maximum lot coverage: total lot coverage (main & accessory buildings): 30% (see zoning variance information below)

Height Regulations:

main: 35'-0"

accessory building = 15'-0"

h18 general zoning information

Application filed for variance of requirements of the City of Knoxville Zoning Ordinance was considered by the Board of Zoning Appeals at the public hearing on 12/21/2017 at 4:00 PM, in the Small Assembly Room of the City/County Building, 470 Main Street, Knoxville.

Approved Variance:

File number: BZCF217VA **Open Door Architecture for 911 Luttrell St., Knoxville**

1. Increase the maximum permitted lot coverage from 30% to 27% per Article 4, Section 2.12.D.6.a.

2. Reduce the minimum required side yard setback for a two-story dwelling on a small lot of record from 5 ft to 4 ft 2 inches per Article 5, Section 5.01.02.B.4. Approval 12/21/2017, BZA Approval.

2. Reduce the minimum required side yard setback for a two-story dwelling on a small lot of record from 5 ft to 4 ft 2 inches per Article 5, Section 5.01.02.B.4. Approval 12/21/2017, BZA Approval.

RECAP FROM THE APPLICANT WITHIN THE VARIANCE REQUEST:

12/21/2017, BZA Withdrawal

CONDITIONS OF APPROVAL

1. Approved variances are limited to the variance request(s) as shown on the site plan submitted to the Board of Zoning Appeals.

2. A building permit may be issued on 01/05/2018 if no appeal is filed with NRC within fifteen (15) days after the BZA meeting.

a18 zoning variance information

a11 historic zoning information

a05 drawing index

a10 cover sheet, site plan, codes, general zoning information, zoning variance information, historic zoning information, and symbols legend

a11 overall renovation floor plans and general notes

a12 entangled basement renovation plan

a13 entangled 1st floor renovation plan

a14 basement and 1st floor reflected ceiling plans, ceiling legend

a15 foundation and framing plans

a16 exterior elevations - demolition

a17 exterior elevations and details

a18 overall section

a19 wall sections

q09 site plan

1/16" = 1'-0"

All General Contractor and Sub-Contractor construction work shall be in accordance with the following codes that have been adopted by the City of Knoxville:

- 2012 (RCC) International Residential Code
- 2012 (RCC) International Building Code
- 2012 (IMC) International Mechanical Code
- 2012 (IFC) International Fire Code
- 2011 (RCC) International Residential Code
- 2011 (RCC) International Building Code
- 2011 (RCC) International Fire Code

j05 codes

A10 cover sheet, site plan, codes, general zoning information, zoning variance information, historic zoning information, and symbols legend

A11 overall renovation floor plans and general notes

A12 entangled basement renovation plan

A13 entangled 1st floor renovation plan

A14 basement and 1st floor reflected ceiling plans, ceiling legend

A15 foundation and framing plans

A16 exterior elevations - demolition

A17 exterior elevations and details

A18 overall section

A19 wall sections



NORTH ARROW



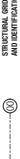
SPOT ELEVATION TAG



BREAK MARK



CONVENTIONAL GRID AND IDENTIFICATION #



SLOPE INDICATOR



ELEVATION TAG



SECTION TAG



DETAIL CALLOUT

a24 symbols legend

a18 zoning variance information

a11 historic zoning information

a05 drawing index

a10 cover sheet, site plan, codes, general zoning information, zoning variance information, historic zoning information, and symbols legend

a11 overall renovation floor plans and general notes

a12 entangled basement renovation plan

a13 entangled 1st floor renovation plan

a14 basement and 1st floor reflected ceiling plans, ceiling legend

a15 foundation and framing plans

a16 exterior elevations - demolition

a17 exterior elevations and details

a18 overall section

a19 wall sections

2 01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24

**ROELOFS
McLAURIN
RESIDENCE**
SCREENED PORCH

the historic Fourth & Gill
neighborhood
Knoxville, Tennessee

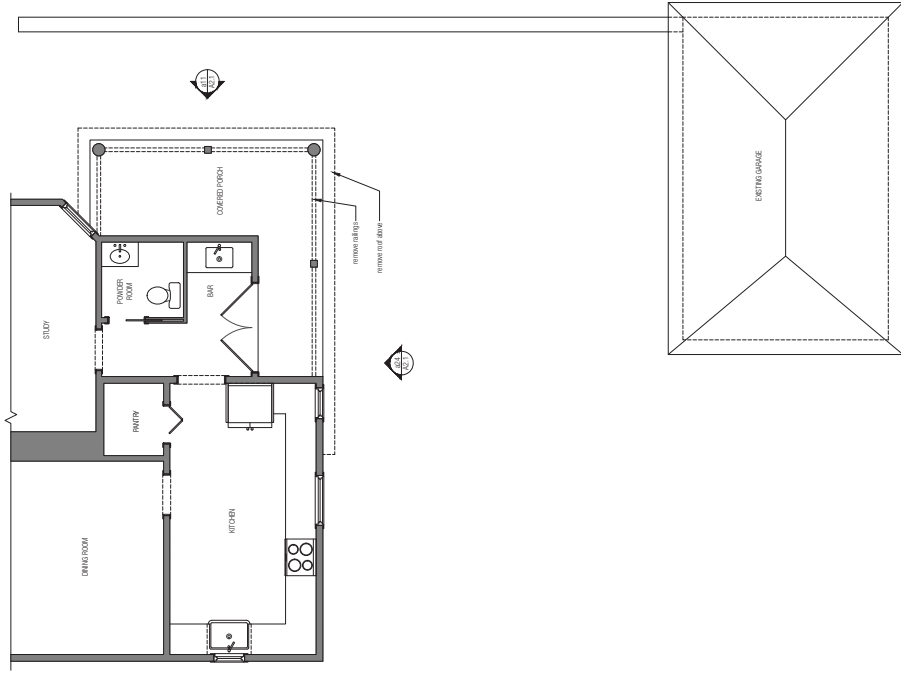
8. All salvagable materials valuable or historic in nature to be retained by the owner unless specifically identified or arranged otherwise.
9. Handle and dispose of debris, materials, and trash in accordance with all applicable codes, standards, and regulations.
10. Demo contractor to have all affected areas broom-sweep clean for new construction to begin.
11. General Notes also apply to demolition work.

5. The contractor, during the course of the work in the existing building, may uncover existing construction, hereinafter requested to view, that is in need of replacement or removal. Whenever such a situation is encountered, the contractor shall call the conditions to the architect's attention.
6. Patch all finishes to match existing, including but not limited to, gypsum board, plaster, wood trim, covers, base, panels, existing in color, texture, thickness, etc. In satisfaction of owner prior to installation. Provide other materials to match existing where required.
7. Level all existing floors as required to receive new floor finishes. Install required transition pieces to be worn various floor finishes. Match existing where possible.

1. Remove all existing constructions and finishes necessary for the completion of the work as depicted in the contract documents including, but not limited to, items shown with dashed lines.
2. Provide necessary disconnects, caps, and alterations to existing mechanical and electrical systems as required. Provide access where applicable.
3. No demolition or removal of components shall reduce current level of security and building protection exposed to weather.
4. Contractors to verify, prior to removal, that no structural supporting floor, roof or ceiling joists are designated for removal. Do not alter or remove structural members without permission of the architect.

u24 not used

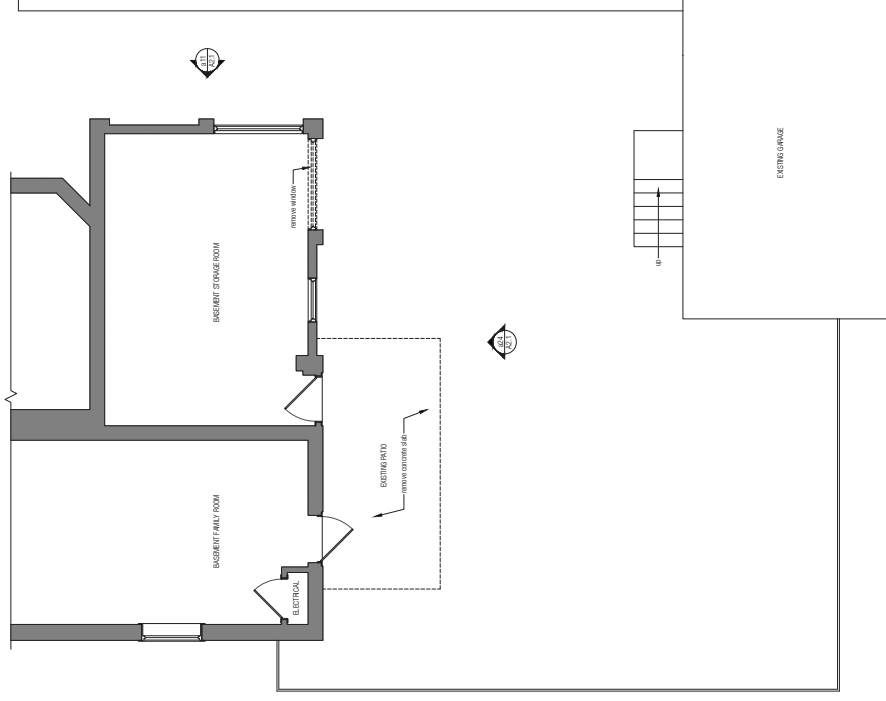
u12 demolition notes



a24

demolition floor plan - 1st floor

1/8" = 1'-0"



a12

demolition floor plan - basement

1/8" = 1'-0"

client:
Troy Rowles & Lisa McLaurin
940 Blank Street
Knoxville, TN 37917

architect:
open door
ARCHITECTS PLLC
810 Laurel Street
Knoxville, Tennessee 37917
www.opendoorarchitects.com

project contact:
Sean Martin | 865.398.6993

17008

DATE:	March 23, 2018
DRAWING PURPOSE:	contract
REVISIONS:	

A1.1

demolition plans and notes

2

Y

X

W

V

U

T

S

R

Q

P

O

N

M

K

J

I

H

G

F

E

D

C

B

A

01

02

03

04

05

06

07

08

09

10

11

12

13

14

15

16

17

18

19

20

21

22

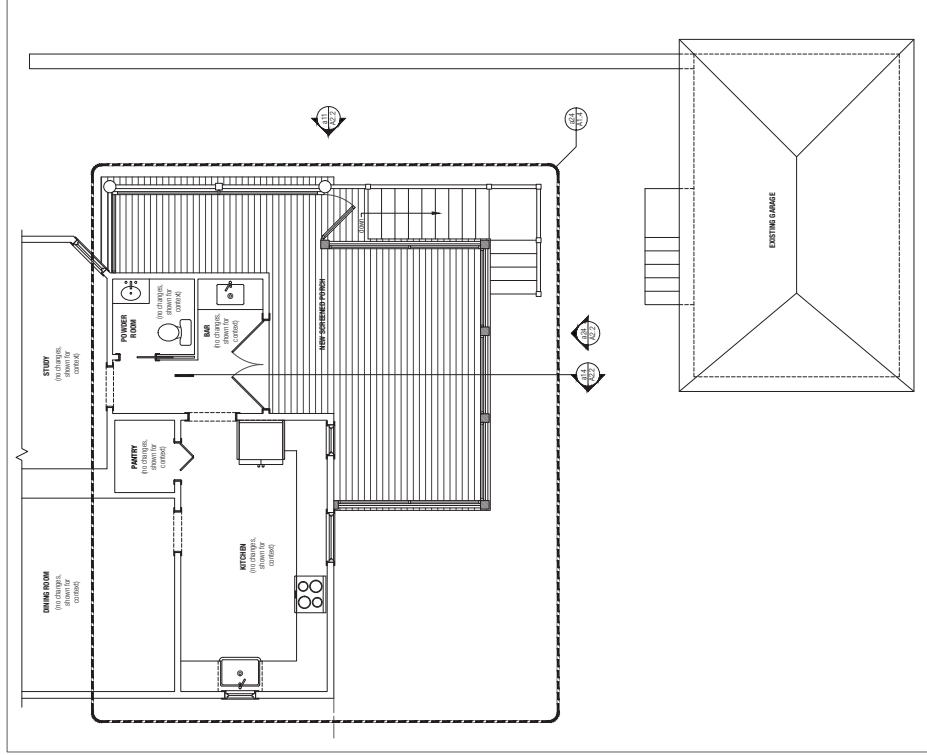
23

24

1. Work shall be conducted by the contractor in accordance with all applicable building codes having jurisdiction as of the date the permit is issued for this project. The contractor shall report any discrepancies between codes and contract documents to the architect prior to work.
2. Contractor shall file all applications, pay for all necessary permits, and secure certificates of occupancy for the project.
3. The contractor shall carefully examine all contract documents, including but not limited to structural, electrical, mechanical, plumbing, and fire protection specifications. Any discrepancy shall be brought to the attention of the architect prior to proceeding with the work.
4. Work that deviates from the contract documents is the sole responsibility of the contractor and shall be corrected as required at no additional expense to the owner.
5. Contractor shall prevent interruption to building services in occupied areas. Notify owner 24-hours in advance to acquire approval for services interruption. Contractor shall contact architect to obtain additional dimensions as needed.
6. Contractor shall keep the job free of debris, and make final cleanup to the satisfaction of the owner. Contractor shall be responsible for removal of all construction debris from project site and shall provide dumpsters as required.
7. Existing HVAC equipment may not be sized sufficiently to condition new, additional space. Contractor shall verify HVAC requirements with a licensed mechanical contractor and install appropriate HVAC equipment after cost has been approved by owner.
8. Contractor shall verify all conditions and dimensions of site. The owner shall be responsible for obtaining, or if any conditions are discovered, the contractor shall verify that contractor shall notify the architect for clarification prior to proceeding with the work.
9. Contractor shall not scale any drawings in the contract documents. Given dimensions shall always take precedence. Contractor shall contact architect to obtain additional dimensions as needed.
10. Unless otherwise noted, locate door jambs 4" from inside corners.
11. Contractor shall be responsible for the protection of all existing buildings and other installations that are to remain intact. While performing the specified work.
12. The design of safety and egress detection heads, strobes, etc. is the sole responsibility of the contractor. Walls which support pipes, rafters, etc. and are laterally supported by same shall be braced until all construction is completed.
13. All penetrations by ductwork, piping, or other openings, provide appropriate load-carrying limits or headers installed over the openings.
14. Contractor shall provide and coordinate the location of solid wood blocking with walls as required to provide for secure installation of all wall mounted cabinets and built-in shelves. Blocking in exterior walls to be fire treated.
15. Provide wood blocking and utilities necessary for items not in contract (N.I.C.). Coordinate with owner for exact locations of owner furnished items.
16. Finish all openings and penetrations around pipes, conduits, and floors with approved, non-combustible materials.
17. Contractor to provide owner with color and material samples for approval of all finishes prior to installation.

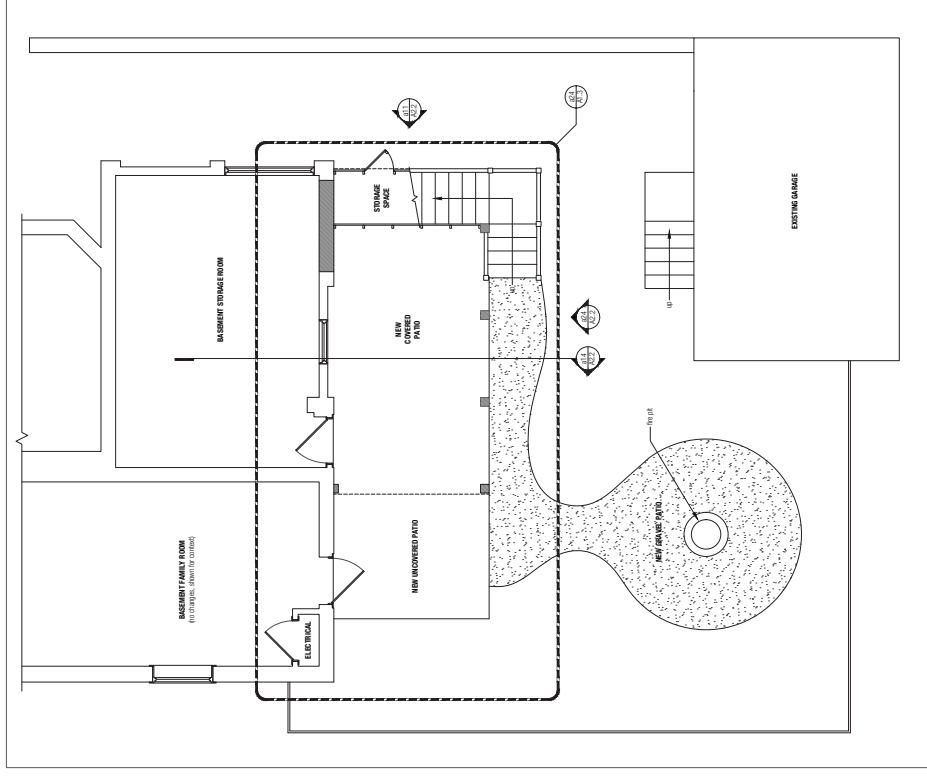
u24 not used

u15 general notes



a20 overall floor plan - 1st floor

1/8" = 1'-0"



a10 overall floor plan - basement

1/8" = 1'-0"

**ROELOFS
McLAURIN
RESIDENCE**
SCREENED PORCH
neighborhood

the historic Fourth & Gill
neighborhood
Knoxville, Tennessee

client:
Todd Rowles & Lisa McLaughlin
940 Blank Street
Knoxville, TN 37917

architect:

open door
ARCHITECTS
810 Laurel Street
Knoxville, Tennessee 37917
www.opendoorarchitect.com

project contact:
Sean Martin - 865-596-6909

17008

DATE:

March 23, 2018

Drawing purpose:

contract

revisions:

A1.2

overall renovation floor plans and
general notes

**ROELOFS
McLAURIN
RESIDENCE**
SCREENED PORCH

the historic Fourth & Gill
neighborhood
Knoxville, Tennessee

client:
Todd Rowles & Lisa McLaurin
940 Blank Street
Knoxville, TN 37917

architect:
open door
ARCHITECTS
810 Laurel Street
Knoxville, Tennessee 37917
www.opendoorarchitects.com

project contact:
Sean Martin | 865.596.6909

17008

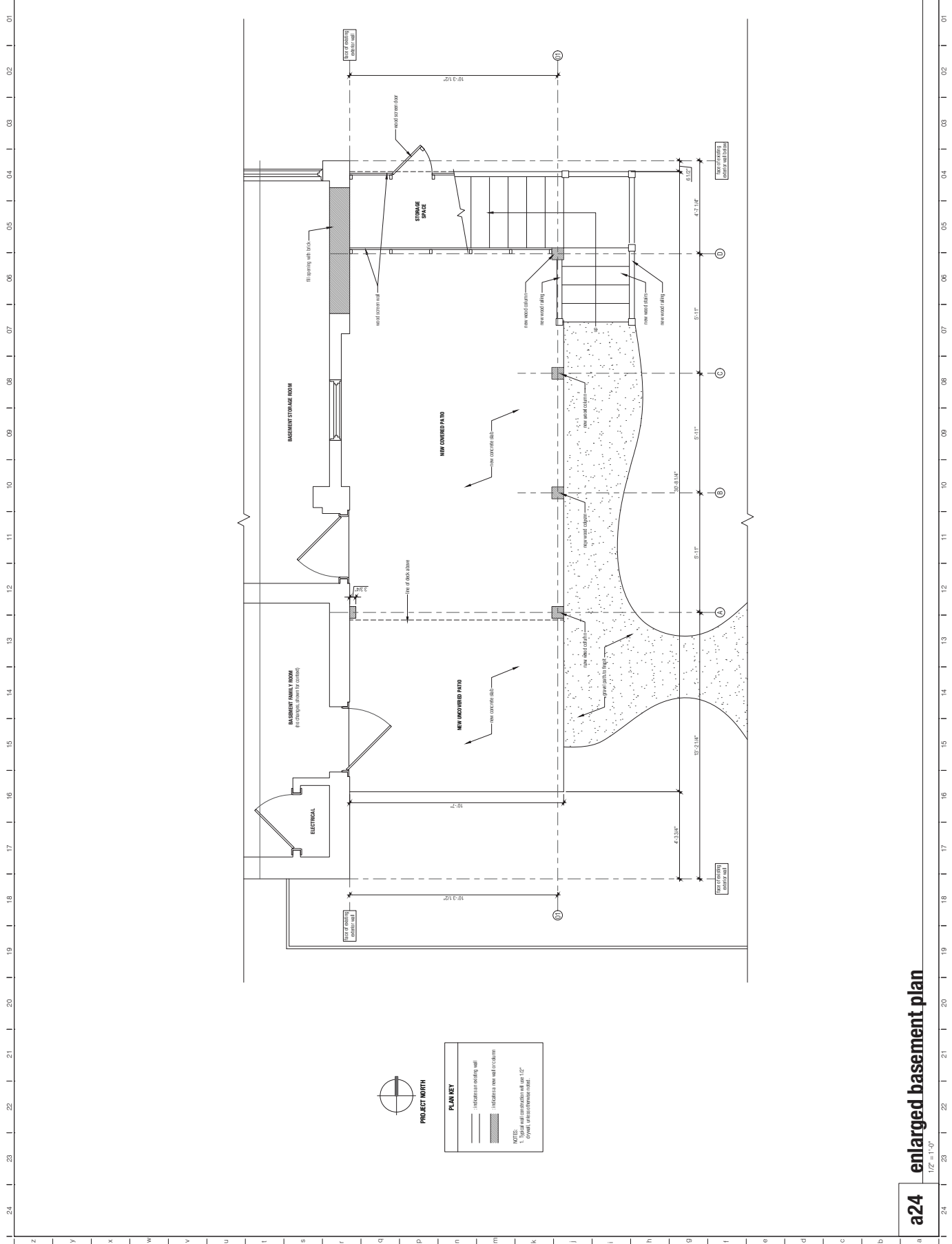
DATE:
March 23, 2018

DRAWING PURPOSE:
Final

REVISIONS:

A1.3

enlarged basement renovation
plan



a24 enlarged basement plan

1/8" = 1'-0"

**ROELOFS
McLAURIN
RESIDENCE**
SCREENED PORCH

the historic Fourth & Gill
neighborhood
Knoxville, Tennessee

client:
Todd Rowles & Lisa McLaurin
940 Blank Street
Knoxville, TN 37917

architect:
open door
ARCHITECTS PLLC
810 Laurel Street
Knoxville, Tennessee 37917
www.opendoorarchitect.com

project contact:
Sean Martin | 865.596.6909

17008

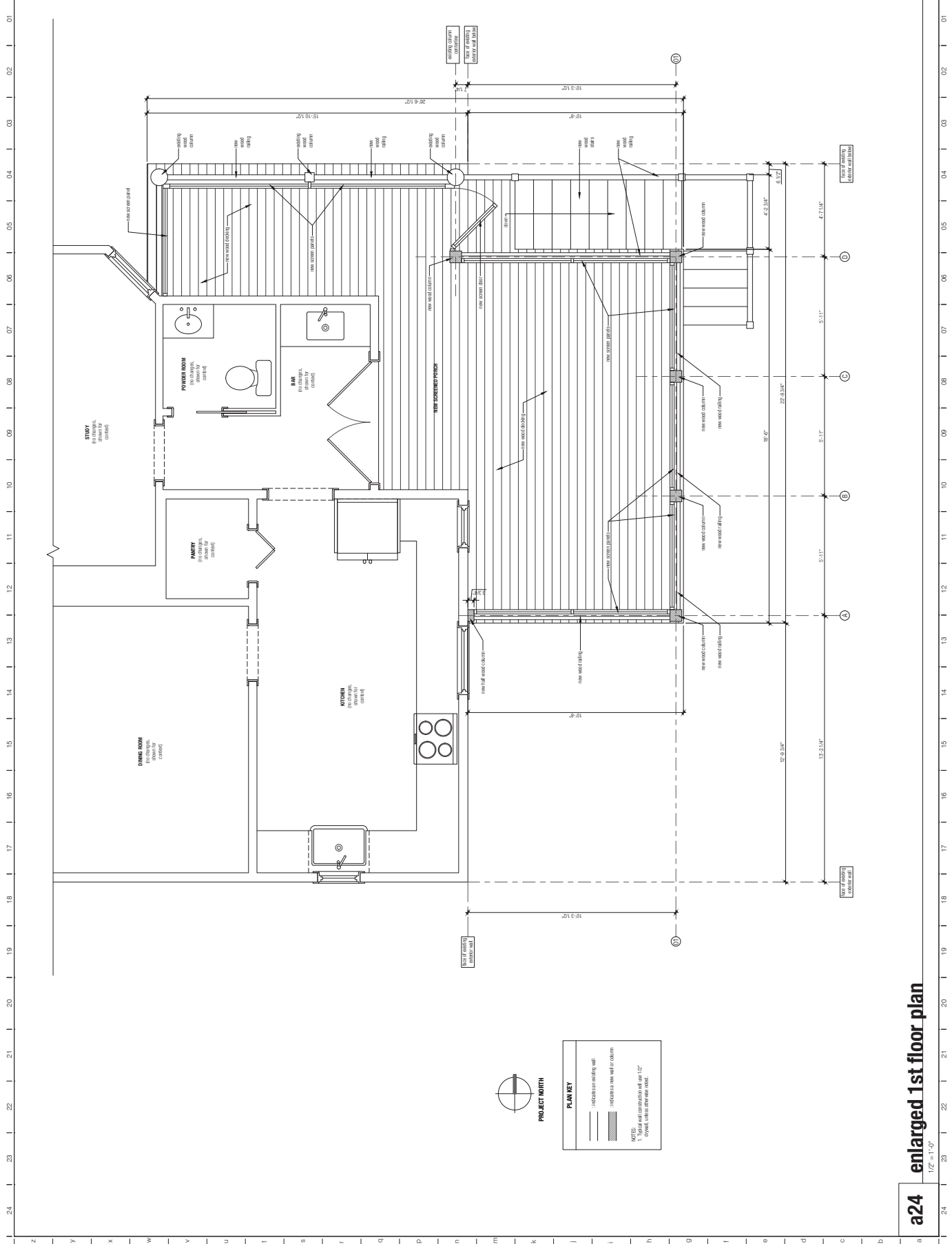
DATE:
March 23, 2018

DRAWING PURPOSE:
CHECKSET

REVISIONS:

A1.4

enlarged 1st floor renovation plan



a24 enlarged 1st floor plan

1/8" = 1'-0"

**ROELOFS
McLAURIN
RESIDENCE**
SCREENED PORCH

the historic Fourth & Gill
neighborhood
Knoxville, Tennessee

client:
Troy Rowles & Luke McLain
940 Blanker Street
Knoxville, TN 37917

architect:
open door
810 Laurel Street
Knoxville, Tennessee 37917
www.opendoorarchitect.com

project contact:
Sean Martin | 865.396.6903

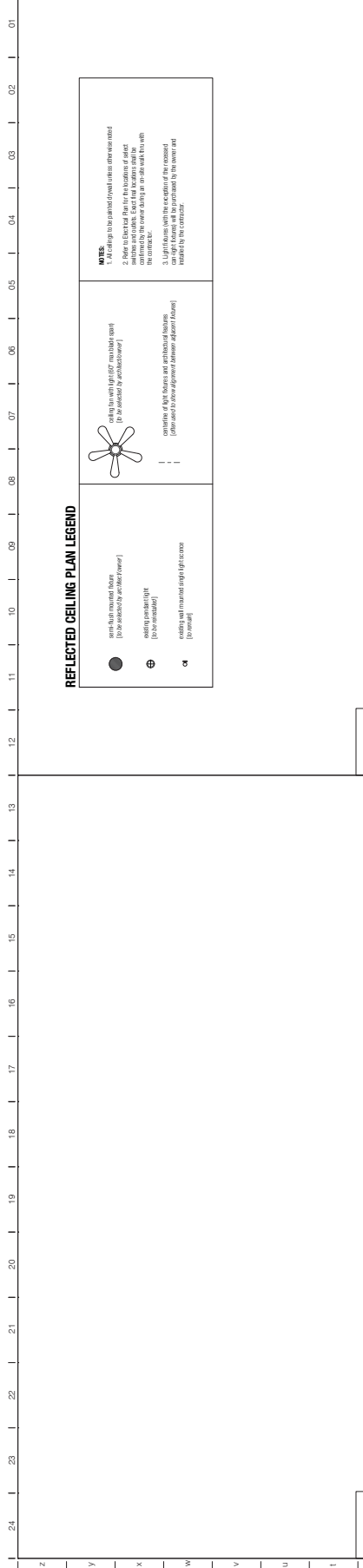
17008

DATE:
March 23, 2018

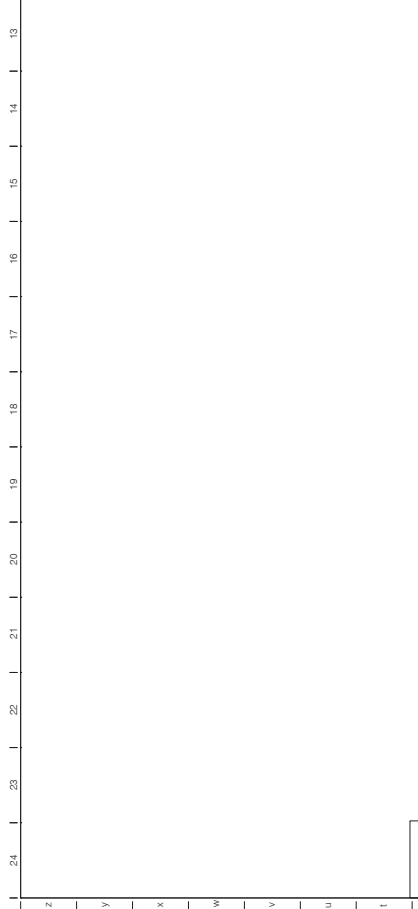
drawing purpose:
contract

revisions:

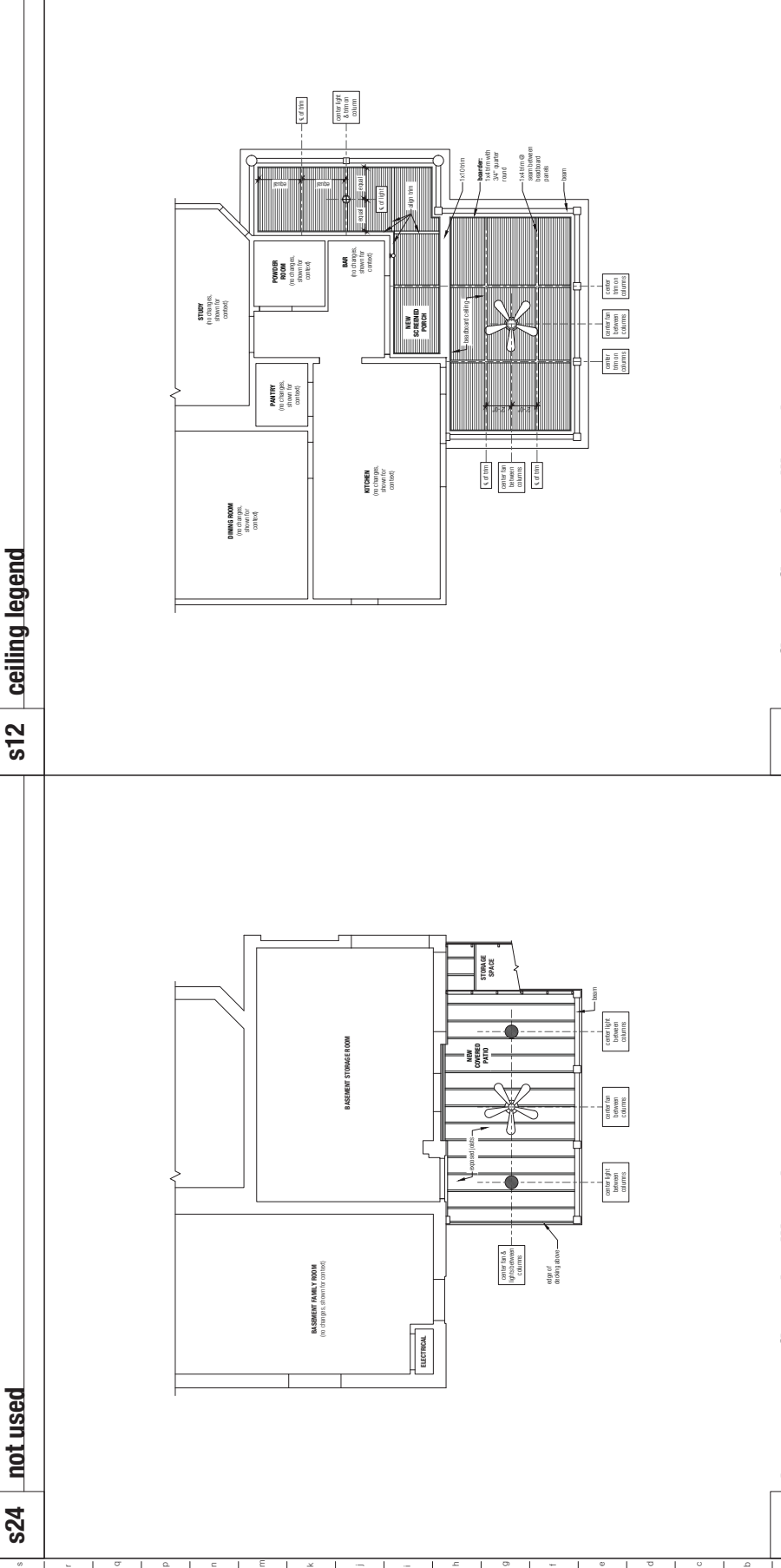
A1.5
basement and 1st floor reflected
ceiling plans, ceiling legend



s12 ceiling legend



s24 not used



a12 1st floor reflected ceiling plan

a24 basement reflected ceiling plan

**ROELOFS
McLAURIN**
RESIDENCE
SCREENED PORCH

the historic Fourth & Gill
neighborhood
Knoxville, Tennessee

client:
Todd Rowles & Lisa McLaurin
940 Blanker Street
Knoxville, TN 37917

architect:
open door
ARCHITECTS
810 Laurel Street
Knoxville, Tennessee 37917
www.opendoorarchitects.com

project contact:
Sara Martin | 865.596.8903

17008

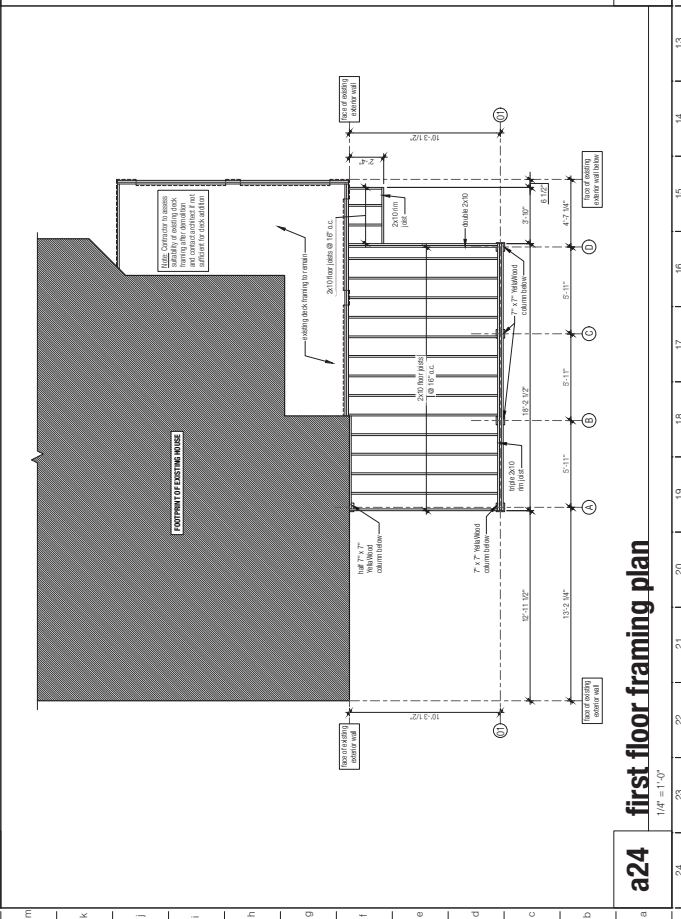
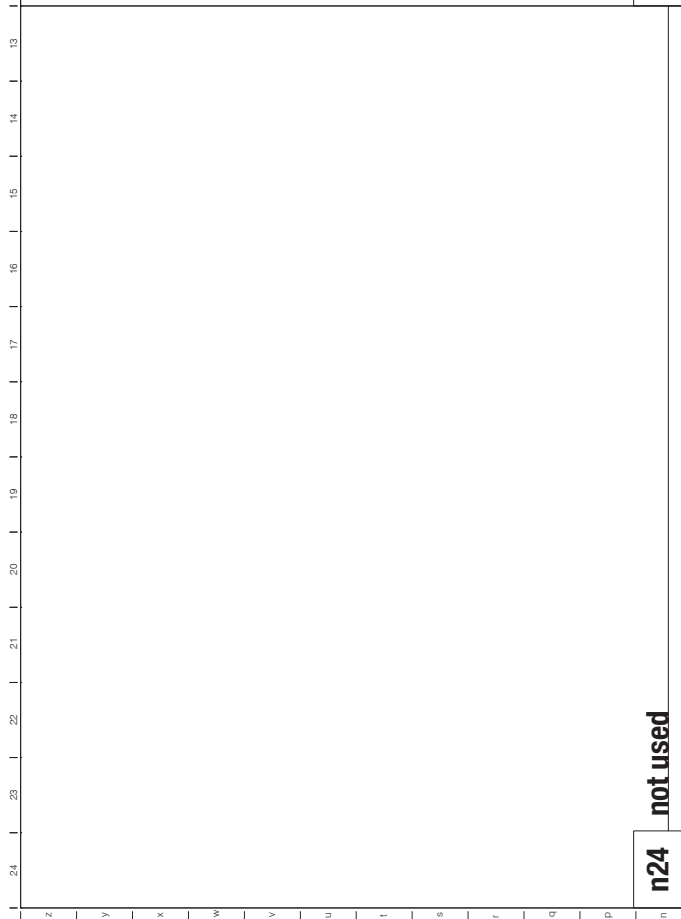
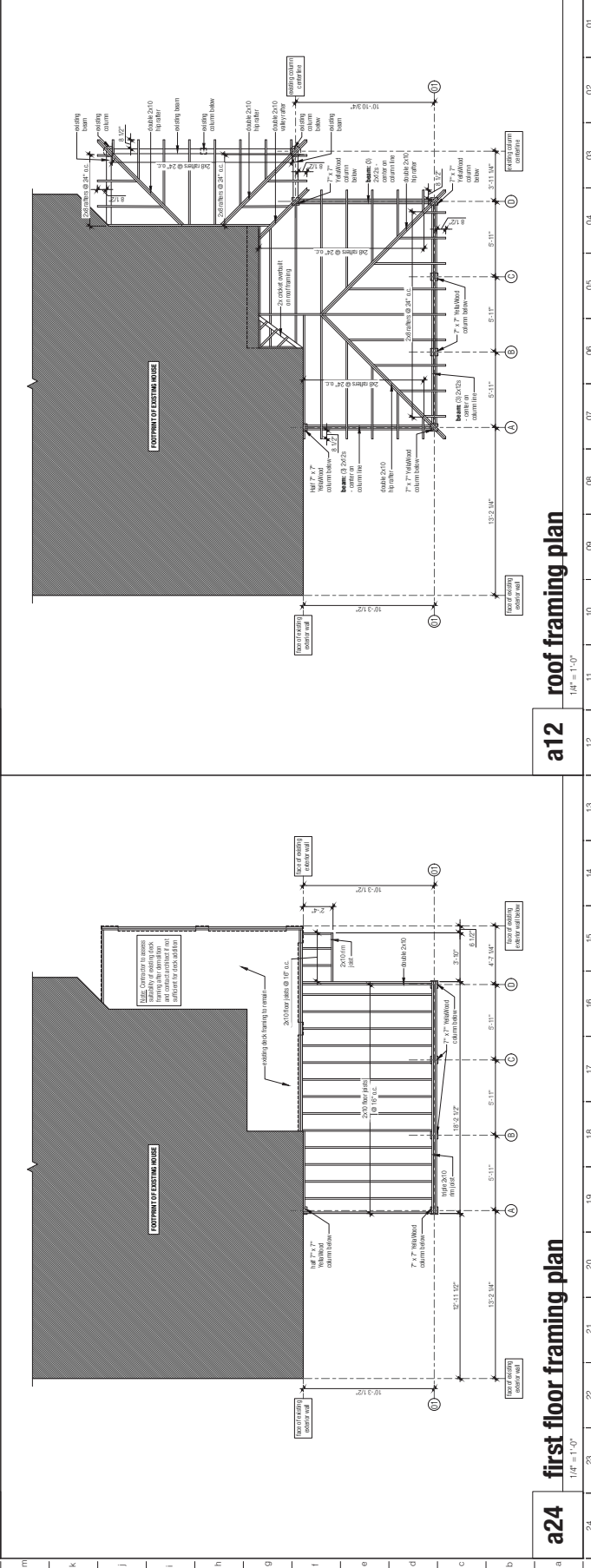
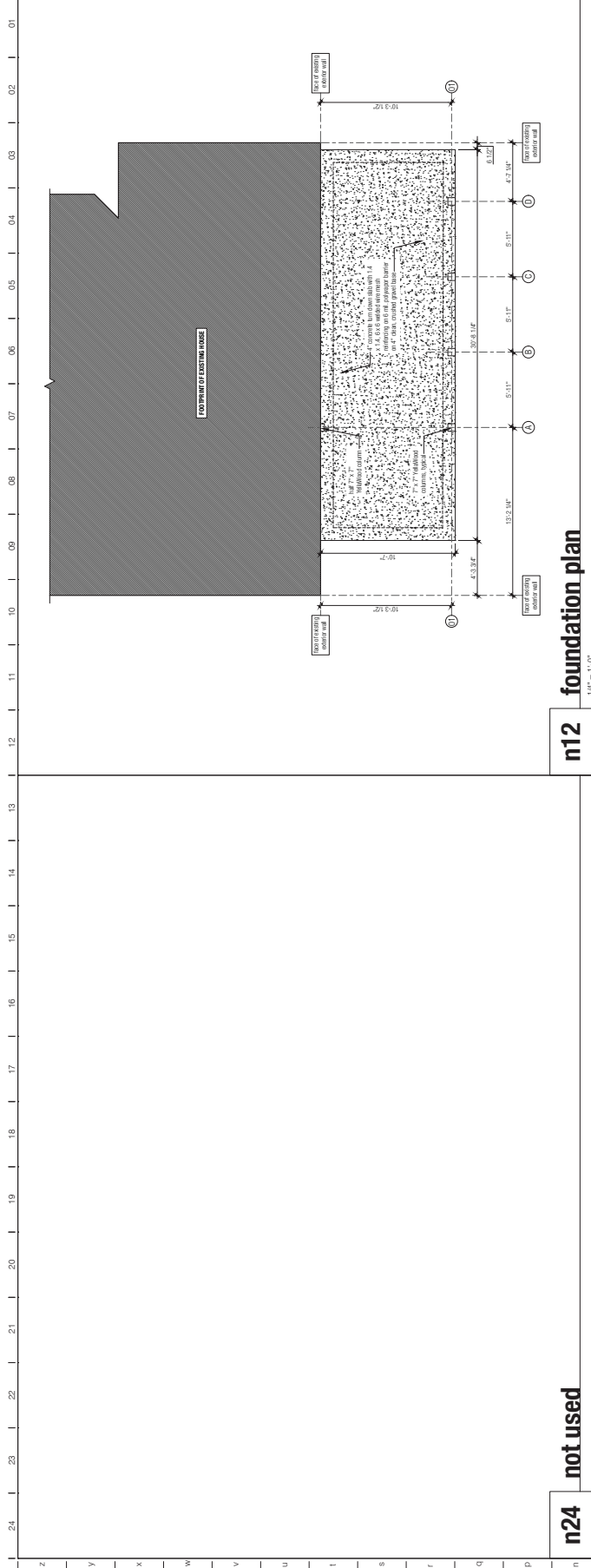
DATE:
March 23, 2018

DRAWING PURPOSE:
CHECKSET

REVISIONS:

A1.6

foundation and framing plans



z

y

x

w

v

u

t

s

r

q

p

o

n

m

k

j

i

h

g

f

e

d

c

b

a

01

02

03

04

05

06

07

08

09

10

11

12

13

14

15

16

17

18

19

20

21

22

23

24

**ROELOFS
McLAURIN**
RESIDENCE
SCREENED PORCH

the historic Fourth & Gill
neighborhood
Knoxville, Tennessee

client:
Todd Rowles & Luke McClain
940 Blanken Street
Knoxville, TN 37917

architect:
open door
ARCHITECTS
810 Laurel Street
Knoxville, Tennessee 37917
www.opendoorarchitects.com

project contact:
Sean Martin | 606.596.6909

17008

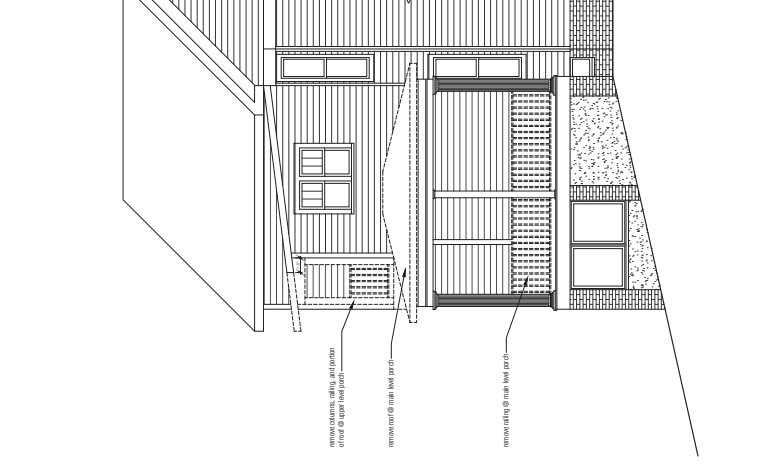
DATE:
March 23, 2018

DRAWING PURPOSE:
contract

REVISIONS:

A2.1

exterior elevations : demolition

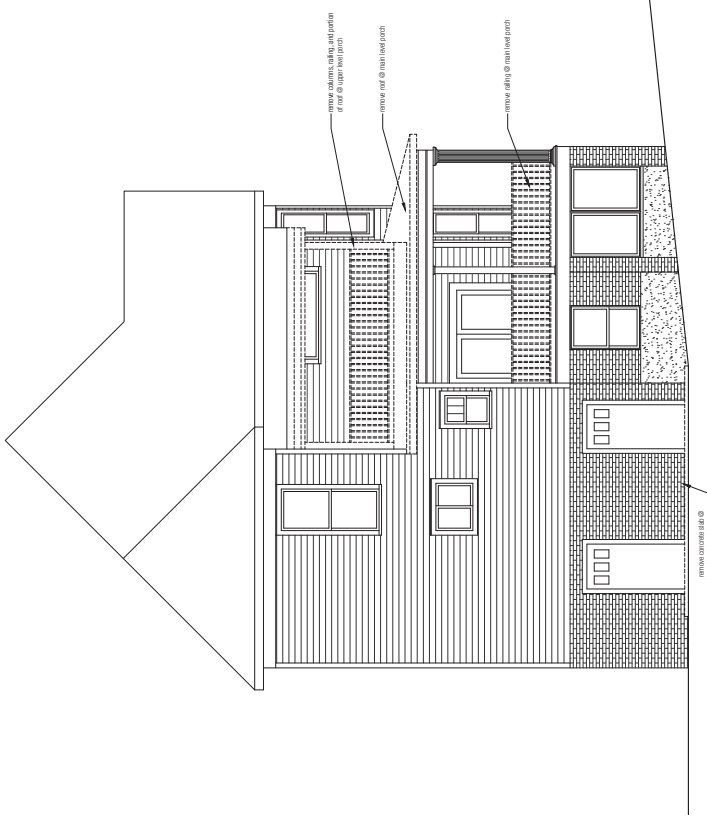


a11

south exterior elevation

1/8" = 1'-0"

DEMOLITION



a24

west exterior elevation

1/8" = 1'-0"

DEMOLITION

**ROELOFS
McLAURIN
RESIDENCE**
SCREENED PORCH

the historic Fourth & Gill
neighborhood
Knoxville, Tennessee

client:
Todd Rowles & Luke McLaurin
940 Blanker Street
Knoxville, TN 37917

architect:
open door
ARCHITECTS
810 Laurel Street
Knoxville, Tennessee 37917
www.opendoorarchitects.com

project contact:
Sean Martin | 606.596.6909

17008

DATE:
March 23, 2018

DRAWING PURPOSE:
contract

REVISIONS:

A2.2

exterior elevations and details



a11 south exterior elevation
1/4" = 1'-0"

a24 west exterior elevation
1/4" = 1'-0"

**ROELOFS
McLAURIN
RESIDENCE**
SCREENED PORCH

the historic Fourth & Gill
neighborhood
Knoxville, Tennessee

client:
Todd Bonds & Luke McClain
940 Blanker Street
Knoxville, TN 37917

architect:
open door
ARCHITECTS
810 Laurel Street
Knoxville, Tennessee 37917
www.opendoorarchitects.com

project contact:
Sean Martin | 606.596.6909

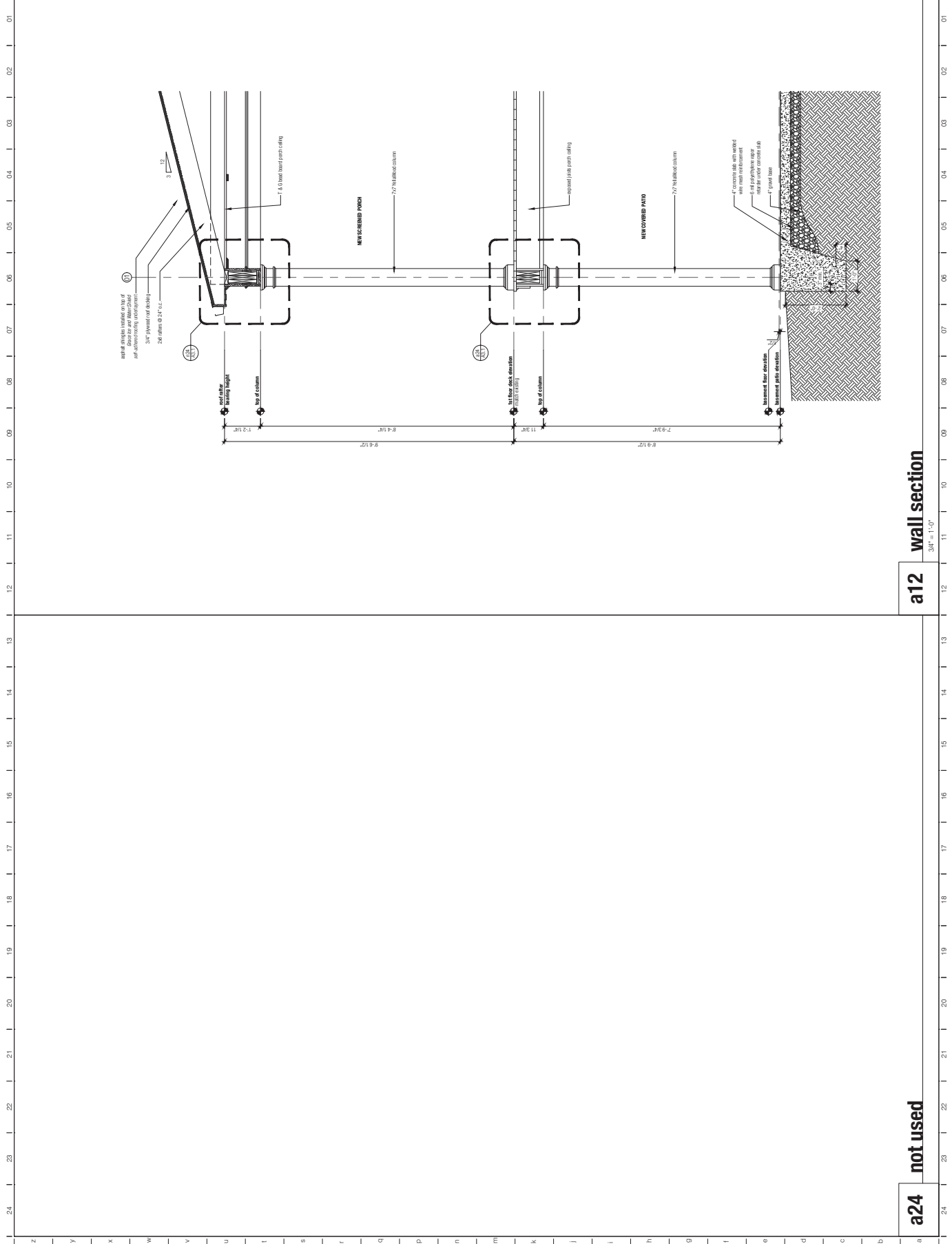
17008

DATE:
March 23, 2018

Drawing purpose:
consult

revisions:

A3.2
wall sections



a12 wall section
3/4\"/>

a24 not used