



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 116 E Jackson Ave 37902

FILE NO.: 9-H-17-HZ

DISTRICT: E. Jackson Avenue H-1

MEETING DATE: 9/21/2017

APPLICANT: Jim Klouaris (owner)

LEVEL OF WORK: Level II. Major replacement of materials or architectural elements

PROPERTY DESCRIPTION: Vernacular Commercial (c. 1925)

Two-story, two-bay, brick warehouse sub-type. It was originally used as a feed store, and later as an herb shop, cleaners, barber shop, and furniture store. Currently the owners are renovating it into an architectural and design office and residence on the second floor and retail space downstairs. The front façade appears to have been altered from a flush store-front façade to a recessed drive-in loading area supported by a brick-faced post. This is assumed because of the change of brick type and bond on only the front façade of the building. The first floor contains a diagonally recessed wood frame display window and entry door with garage door in the east bay. The west bay contains a set of double doors and an entry door to the upper level. The second floor contains several stylized Chicago style windows. (One central large pane with two smaller side panes, very popular during the early 1900's.) These wood frame windows have brick lintels and sills. Above this is a simple cornice with enlarged dentils. Separating the first and second floors is a simple wood cornice. Four skylights flood the second floor with light.

► **DESCRIPTION OF WORK:**

Reconstruct storefront that was removed from along sidewalk edge and recreated as a recessed storefront in more recent years. Proposed design based on photographic and physical evidence, and historic documentation. Utilize new metal storefront framing and wood for entry door frame and bulkhead. Opening in storefront without door to remain in right end of storefront to allow for Knoxville Utility Board access to meters.

► **APPLICABLE DESIGN GUIDELINES:**

Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings

STOREFRONTS: RECOMMENDED

The removal of inappropriate, nonhistoric cladding . . . and other later alterations can help reveal the historic character of a storefront.

Designing and constructing a new storefront when the historic storefront is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material and color of the historic building.

STOREFRONTS: NOT RECOMMENDED

Removing or radically changing original storefronts -and their features- which are important in defining the overall historic character of the building so that, as result, the character is diminished.

Removing historic material from the storefront to create a recessed façade.

Secretary of the Interior's Standards for Rehabilitating Historic Buildings

2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided.



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3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old design, color, texture, and other visual qualities and, where possible, materials. Replacement or missing features shall be substantiated by documentary, physical or pictorial evidence.

COMMENTS:

STAFF FINDINGS:

1. The building is designated as an individual historic local H-1 Overlay landmark property. It is also a contributing property within the Jackson Avenue Warehouse Extension National Register Historic District.
2. Relocating the recessed storefront to the edge of the sidewalk is justified primarily since the physical evidence in the materials and architectural/structural components of the building indicate that this was the original location of the storefront:
 - Evidence of more recent infill brick where façade was removed
 - Evidence of remaining early brick at original street-face facade
 - Evidence of more recent poured concrete on floor
 - Non-historic bulkhead on recessed facade
 - Evidence of new concrete poured as a base for recessed façade
 - Added column for cut ceiling-beam support
 - Evidence of uncut ceiling-beam going through the façade
 - Evidence of cut ceiling-beam against façade
3. There is also photographic evidence of the storefront configuration of similar-era buildings in the area.
4. The Main Street Manual by the National Trust for Historic Preservation states that: "In the 1920s and 1930s a variety of new materials were introduced into the storefront, including aluminum and steel framing elements. During this period, design elements were simplified and streamlined.
5. The proposed metal materials for framing for the large storefront windows and transoms, and wood for the bulkhead and entry door frame are appropriate materials and appropriately scaled based on the specifications.



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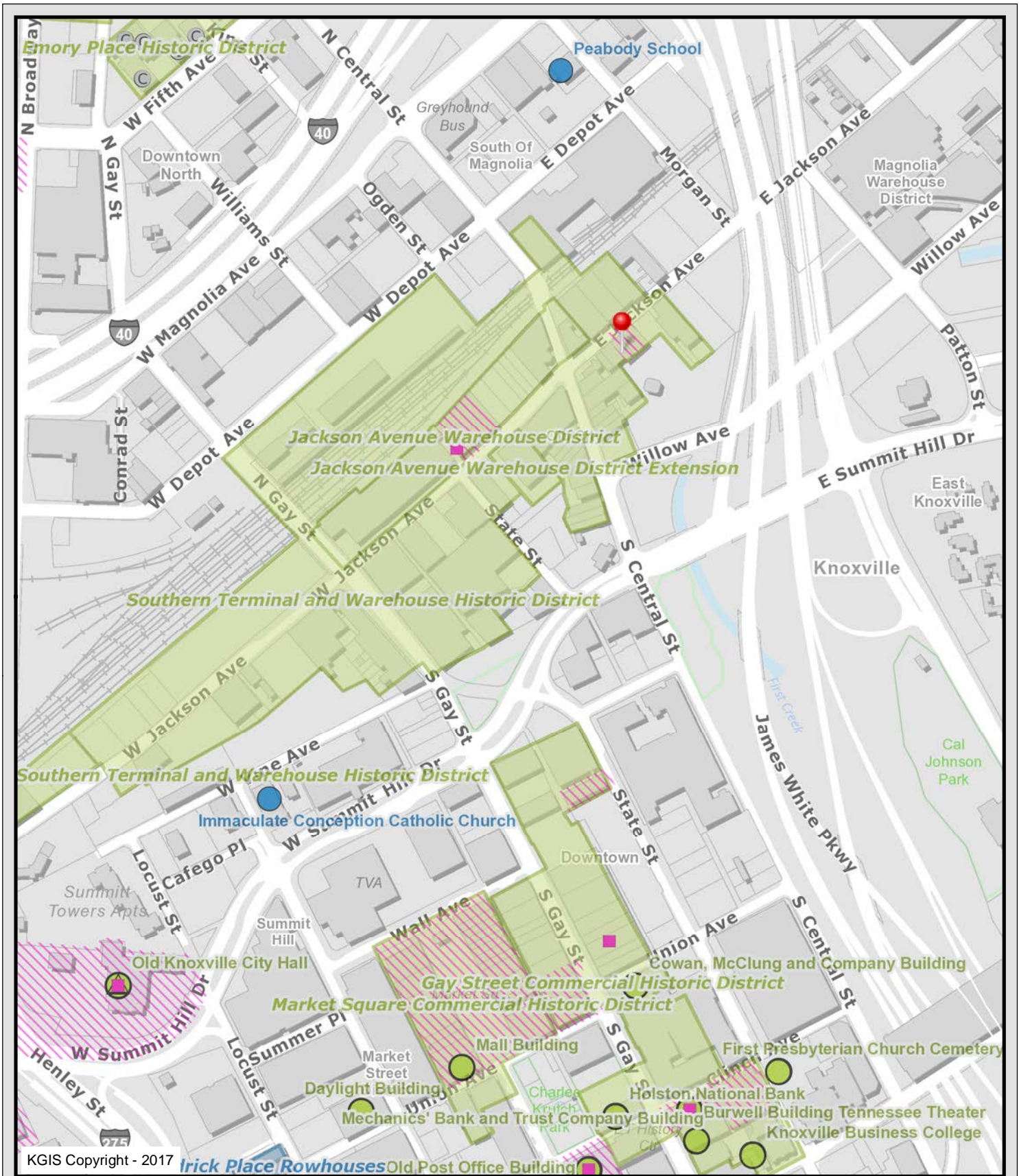
6. The scale and sectional divisions of the proposed storefront are appropriately proportional and scaled based on designs for similar-era buildings.

7. No exterior historic materials will be removed or damaged by the proposed renovation plan.

8. The project meets the Secretary of the Interiors Guidelines for Rehabilitating Historic Buildings - i.e. Commercial Storefronts (included in this report).

► **STAFF RECOMMENDATION:**

Approval of the proposal. Specific wood-framed door design to be approved by staff if requested to deviate from submitted renderings.



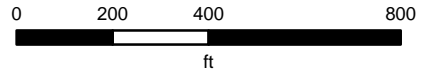
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Jackson Avenue Warehouse NR District

116-118 E Jackson Avenue H-1 Overlay

Knoxville - Knox County - KUB Geographic Information System

Printed: 9/14/2017 at 9:19:50 PM



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**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. **APPLICANT NAME:** JIM KLONARIS

Address: 719 LUTHER ST, KNOXVILLE, TN 37917

Telephone: 865 679 8159 E-mail address: JIM.KLONARIS@GMAIL.COM

Relationship to Owner: TENANT

2. **OWNER NAME:** LEIGH BURCH III

Address: _____

Telephone: _____ E-mail address: _____

3. **LOCATION OF PROPERTY:**

Address: 116-118 EAST JACKSON AVE Tax ID/Lot/Parcel No: _____

4. **LEVEL OF WORK** (circle Level)

- Level I Routine repair; replacement of deteriorated materials in-kind; removal of artificial siding; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure or a late addition; renewal of COA
- Level II Major replacement of materials or architectural elements; construction of an addition or outbuilding
- Level III Construction of a new primary building; subdivision of individually designated property
- Level IV Demolition or relocation of a contributing structure

5. **DESCRIPTION OF WORK:** (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

REMOVAL OF EXISTING STORE FRONT AND BRING FLUSH WITH SIMILAR STOREFRONTS OF ADJOINING PROPERTIES

6. **SIGNATURE OF APPLICANT:**  Date: 8/6/17

Incomplete applications cannot be accepted.

Mail application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902; or Fax: (865) 215-2068; or E-mail to Kaye.Graybeal@knoxmpc.org
Phone: (865) 215-3795

FOR STAFF USE ONLY			
Date Received _____	Approved _____	Disapproved _____	Approved As Modified _____
Date Acted On _____			

As requested by the (HZC) Historic Zoning Commission, please find the enclosed application and overview describing the proposed work for the space currently known as 116-118 East Jackson Avenue.

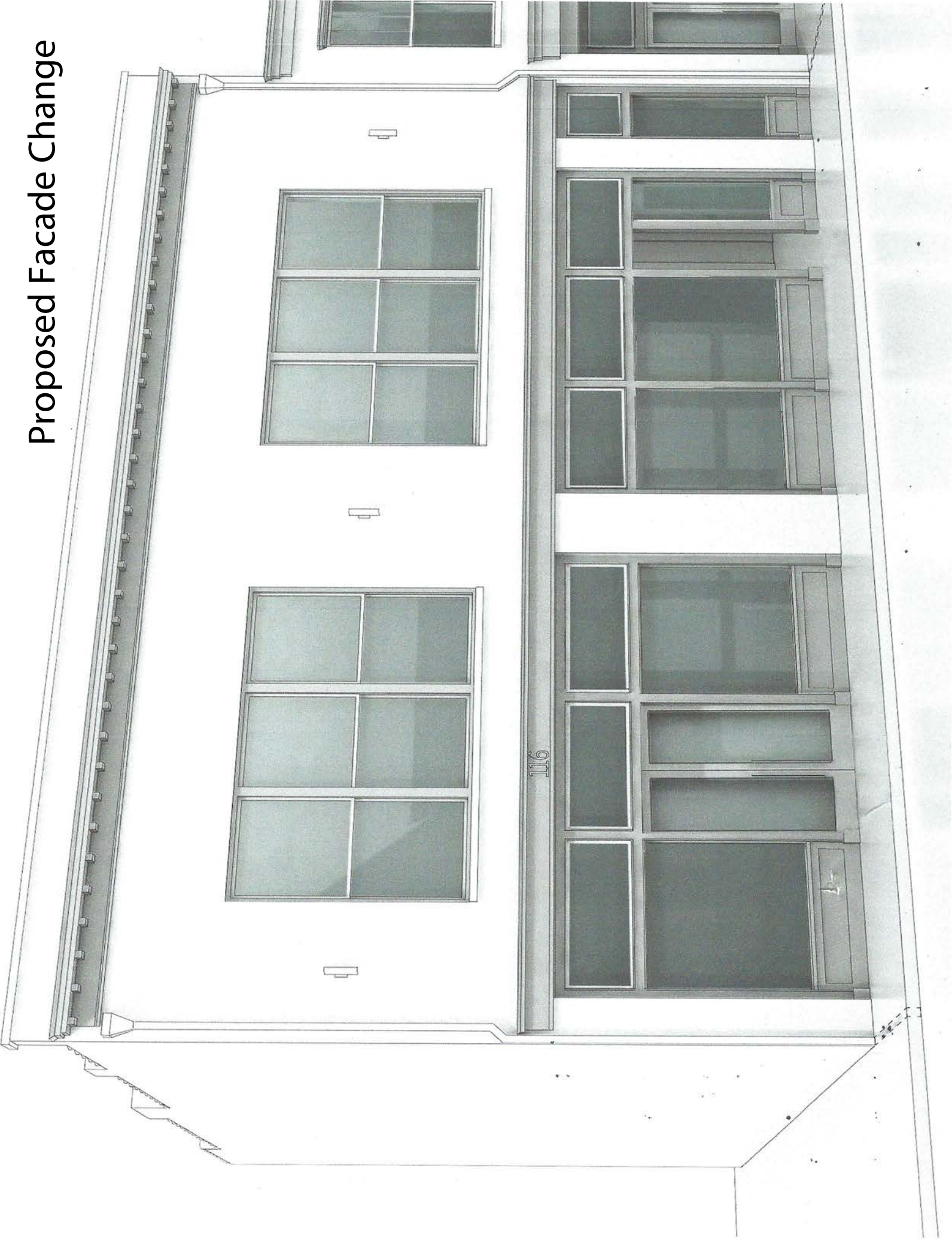
Additionally, please note the additional attached:

- A. Detailed drawing of current and proposed building footprint
- B. Current dimensioned elevation
- C. Proposed dimensioned elevation
- D. Rendering of proposed elevation
- E. Photos of existing structure (thumb drive)

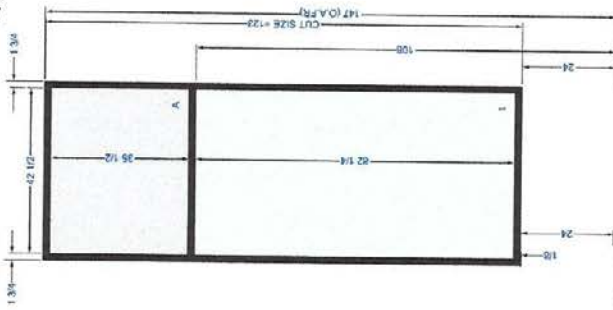
Description of proposed work includes moving the existing Façade which is currently recessed, back to its original location which is clearly evidenced at the front of the building.

This evidence can be seen in multi areas in the attached photos. We are proposing a simple store front mostly glass that was more appropriate to the time of the building construction for the period of the original structure between 1925 and 1930.

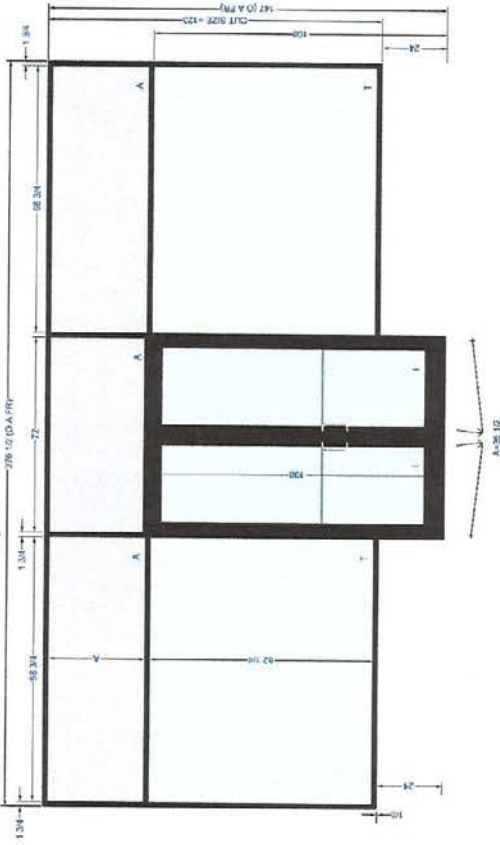
Proposed Facade Change



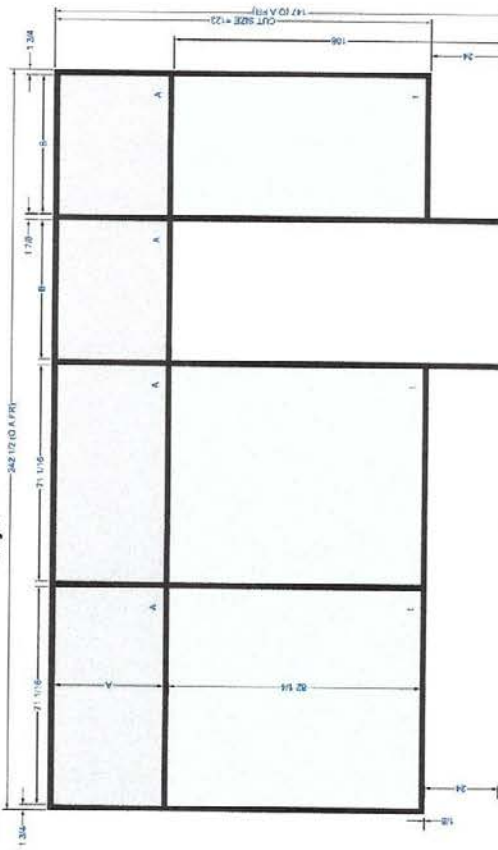
RIGHT Qty: 1



left with door Qty: 1



Center Qty: 1



AW-35 122 S-45 3M



RBT

Project Name: 116 East Jackson Copy 1

8/18/2017 9:06 AM

Frame Set Name: LEFT

Frame Name: left with door

Metal Group: M450 CG/SS/OG STOPS UP

D/S: 1 **Frame Type:** Standard

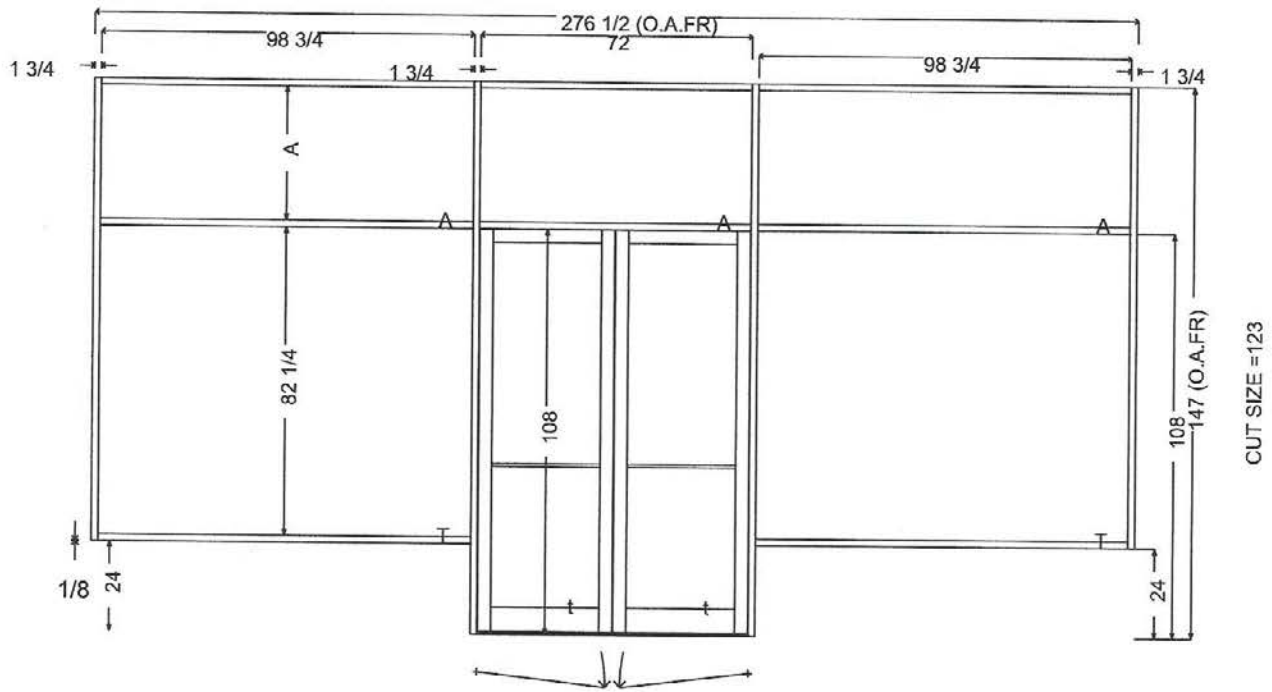
Required: 1 **Panels:** 3 **Rows:** 2

Frame Width: 276 1/2

Frame Height: 147

Back Member Color: #29 BLACK : PERMANODIC

Face Member Color: #29 BLACK : PERMANODIC



A=35 1/2



RBT

Project Name: 116 East Jackson Copy 1

8/18/2017 9:06 AM

Frame Set Name: Center

Frame Name: Center

Metal Group: M450 CG/SS/OG STOPS UP

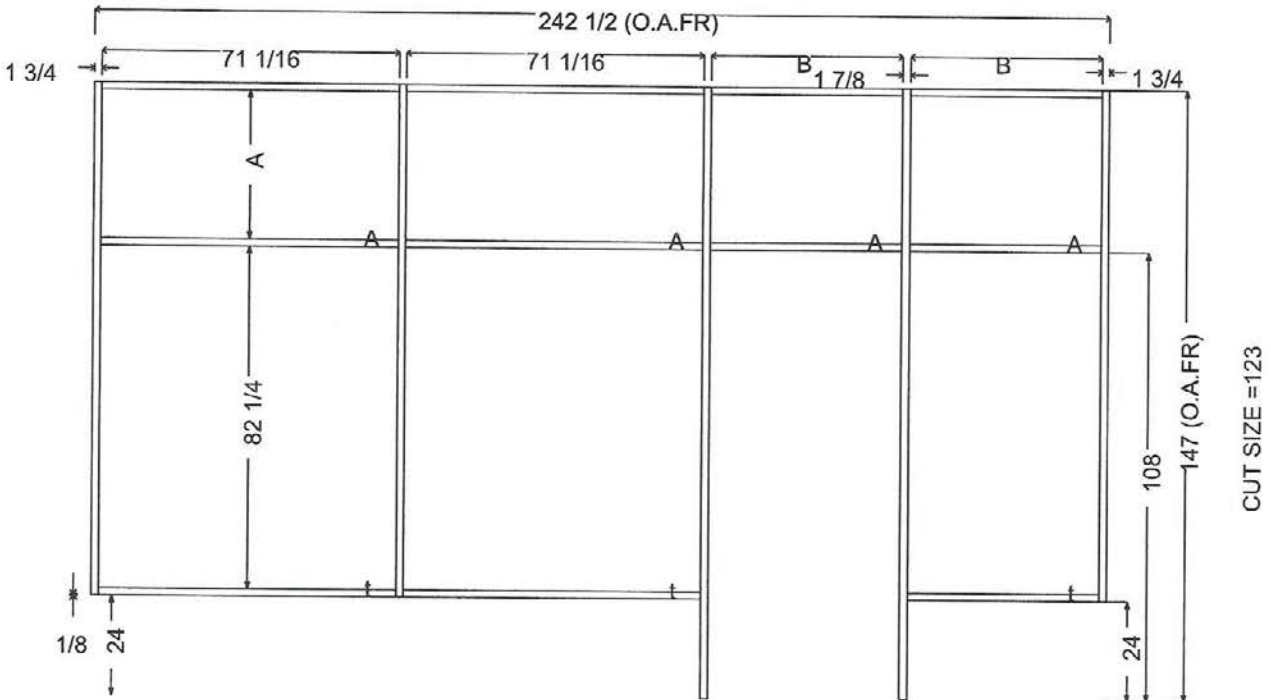
D/S: 1 **Frame Type:** Standard

Required: 1 **Panels:** 4 **Rows:** 2

Frame Width: 242 1/2 **Frame Height:** 147

Back Member Color: #29 BLACK : PERMANODIC

Face Member Color: #29 BLACK : PERMANODIC



A=35 1/2 B=45 3/4



Project Name: 116 East Jackson Copy 1

Frame Set Name: right

Metal Group: M450 CG/SS/OG STOPS UP

Required: 1 Panels: 1 Rows: 2

Back Member Color: #29 BLACK : PERMANODIC

8/18/2017 9:06 AM

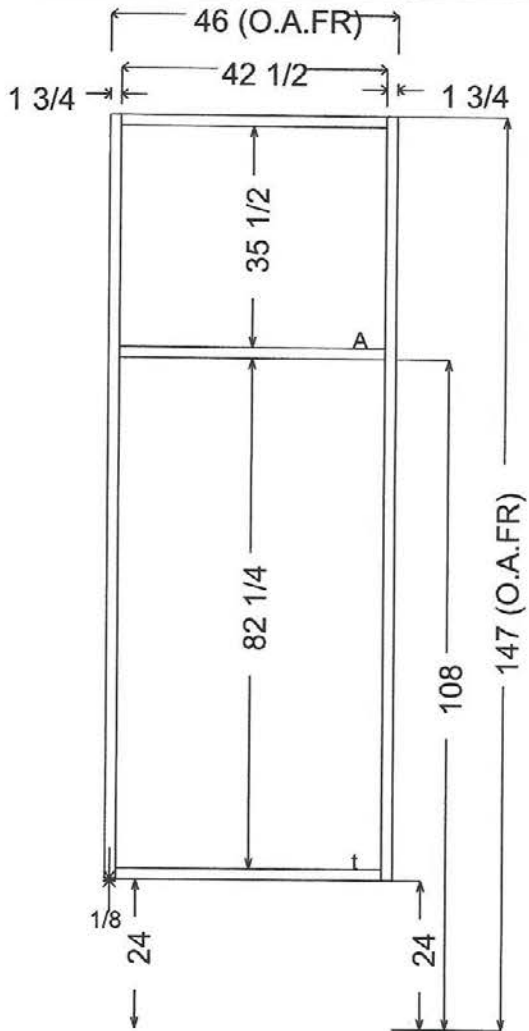
Frame Name: RIGHT

D/S: 1 Frame Type: Standard

Frame Width: 46

Frame Height: 147

Face Member Color: #29 BLACK : PERMANODIC



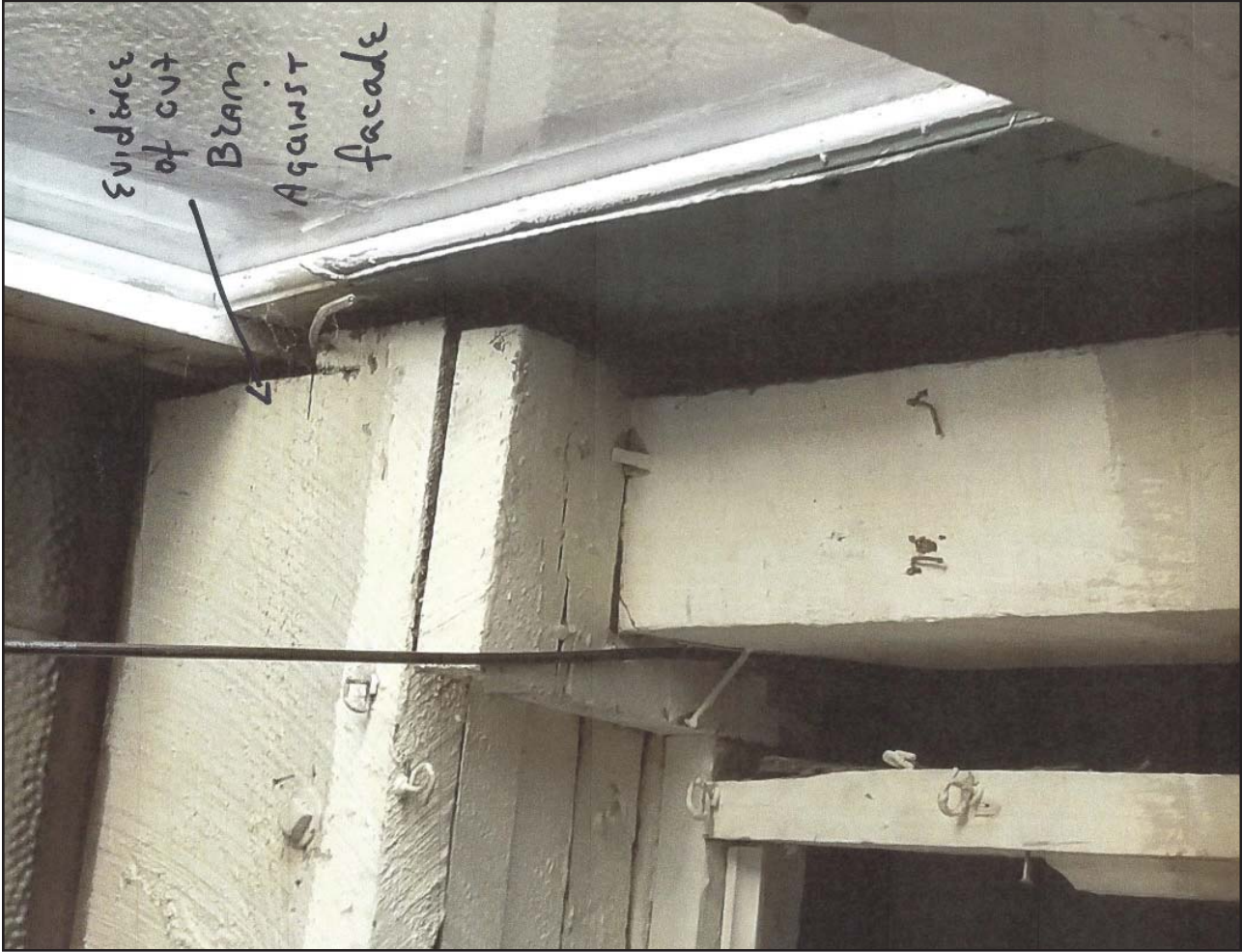
CUT SIZE = 123



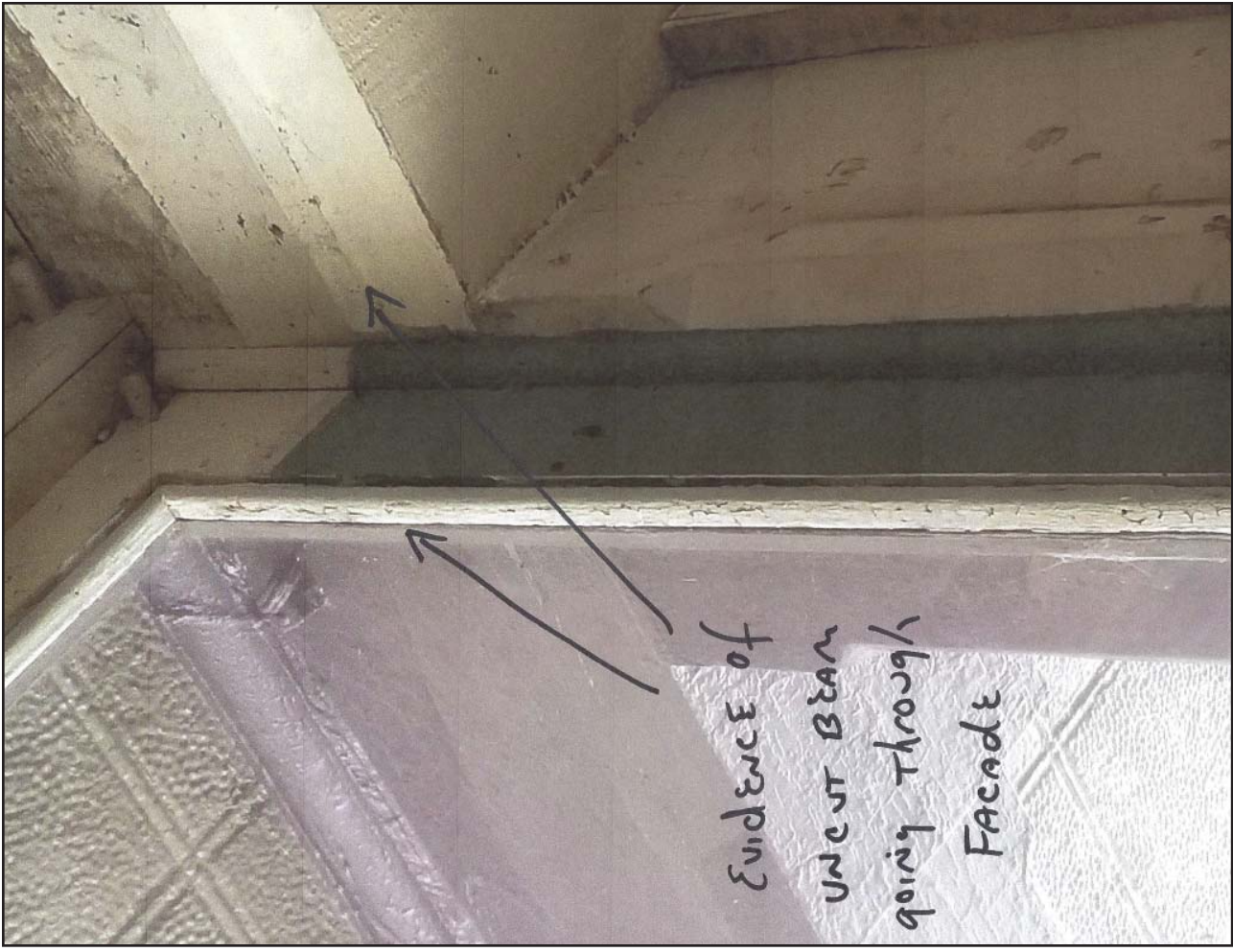
Existing as of 8/27/17
118 E. Jackson Avenue



Existing as of 8/27/17
116 E. Jackson Avenue



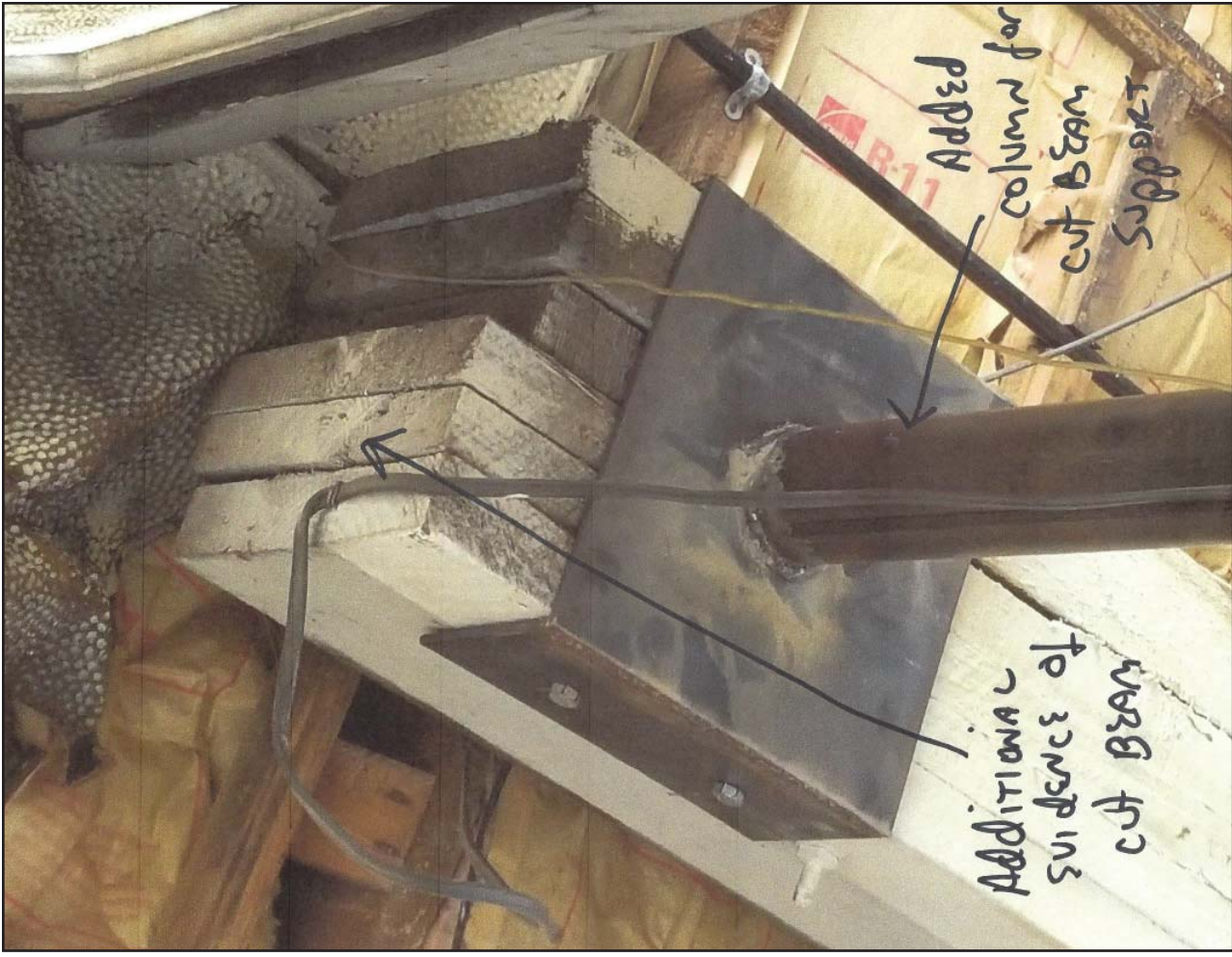
Evidence of cut beam against facade



Evidence of uncut beam going through facade

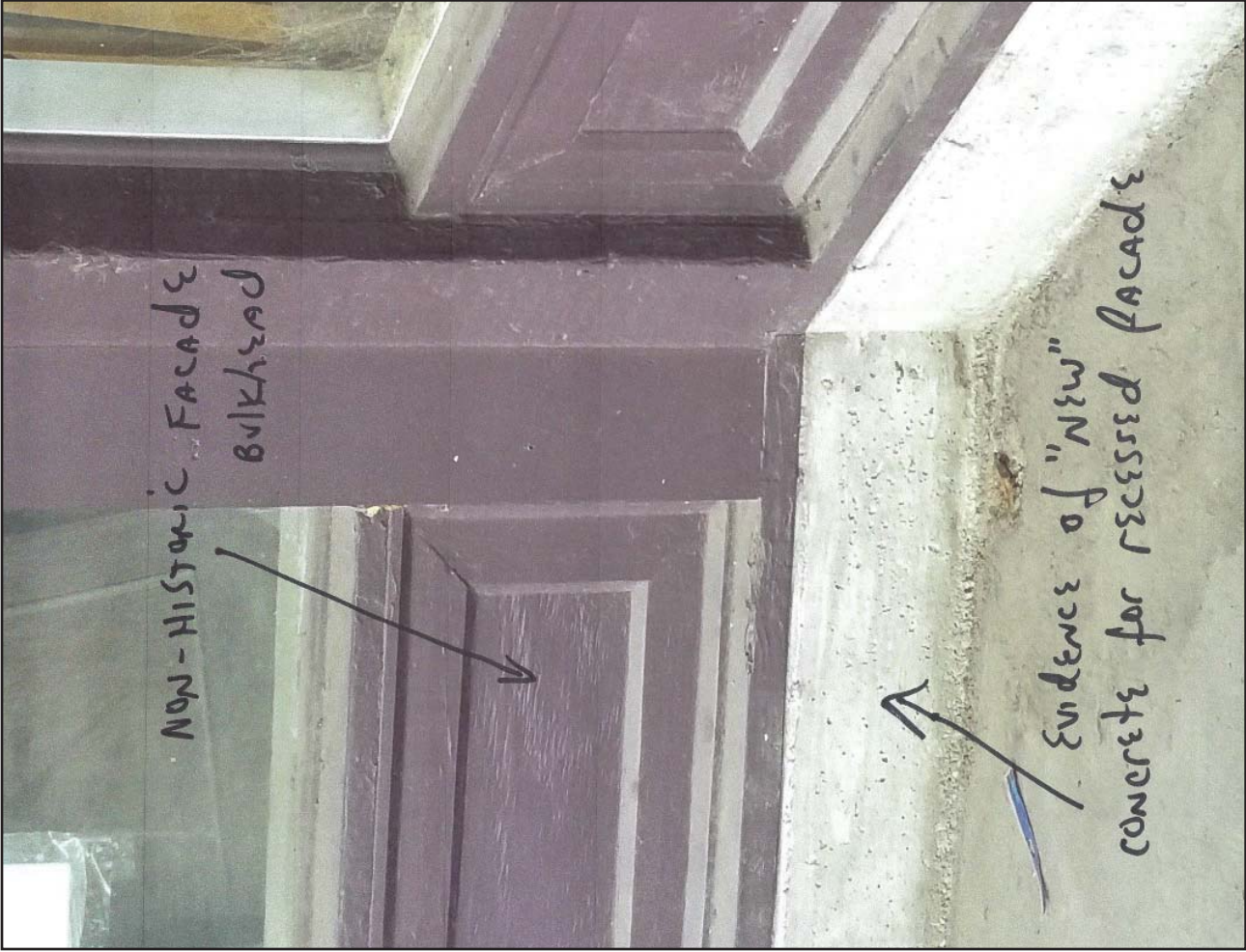


Additional evidence of cut beam



Additional evidence of cut beam

Added column for cut beam support



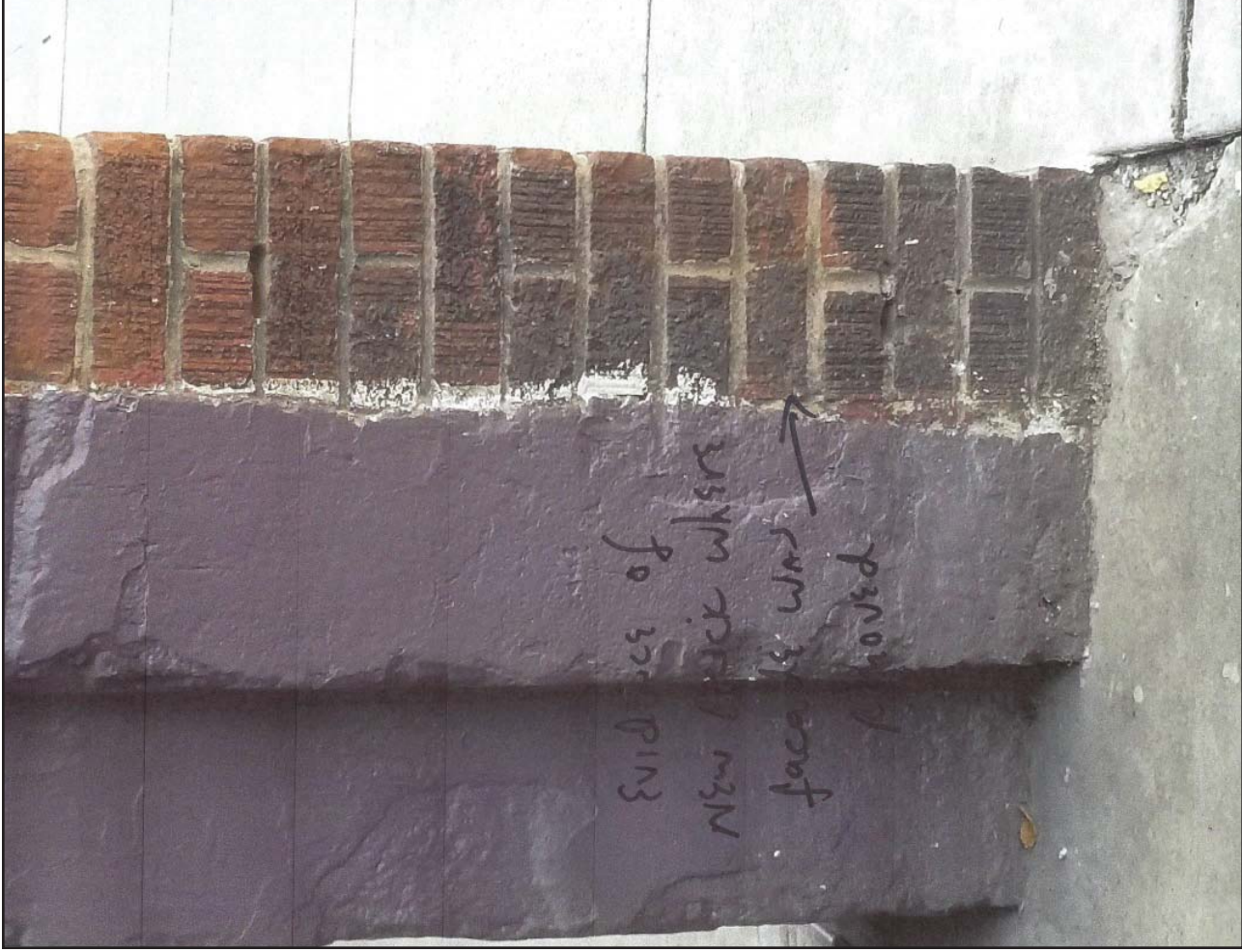
Non-historic facade bulkhead

Evidence of "new" concrete for recessed facade



Evidence of old brick original facade removed

Evidence of new concrete



Evidence of new brick where facade was removed



Evidence of where original facade was removed

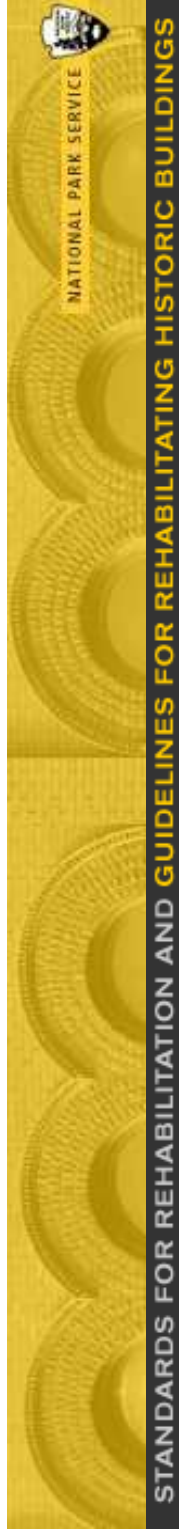
116 East Jackson Ave. - Facade



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ANTIQUES



EXTERIOR FEATURES

storefronts

Identify Protect Repair Replace Missing feature

Identify, Retain and Preserve

RECOMMENDED

Identifying, retaining, and preserving storefronts—and their functional and decorative features—that are important in defining the overall historic character of the building such as display windows, signs, doors, transoms, kick plates, corner posts, and entablatures. The removal of inappropriate, nonhistoric cladding, false mansard roofs, and other later alterations can help reveal the historic character of a storefront.



This Moderne storefront has gained significance over time and would be retained and preserved within the treatment. Rehabilitation. Photo: NPS files.

-GUIDELINES-

The Approach

Exterior Materials

Masonry

Wood

Architectural Metals

Exterior Features

Roofs

Windows

Entrances + Porches

Storefronts

Interior Features

Structural System

Spaces/Features/Finishes

Mechanical Systems

Site

Setting

Special Requirements

Energy Efficiency

New Additions

Accessibility

Health + Safety

THE STANDARDS

NOT RECOMMENDED

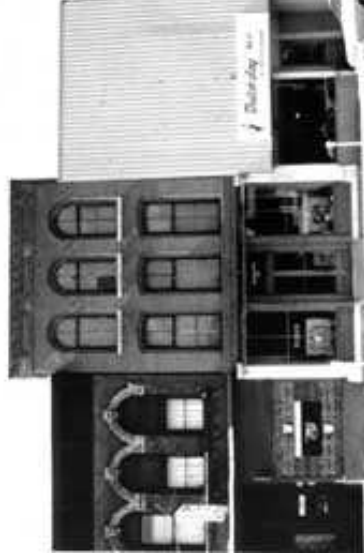
Removing or radically changing storefronts—and their features—which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Changing the storefront so that it appears residential rather than commercial in character.

Removing historic material from the storefront to create a recessed arcade.

Introducing coach lanterns, mansard designs, wood shakes, nonoperable shutters, and small-paned windows if they cannot be documented historically.

Changing the location of a storefront's main entrance.



This photograph shows the impact of inappropriate alterations on historic storefronts. The storefront on the right has been totally obscured by a "modern" front added in the 1950s. Photo: NPS files.

[top](#)

Protect and Maintain

RECOMMENDED

Protecting and maintaining masonry, wood, and architectural metals which comprise storefronts through appropriate treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coating systems.



The distinctive 19th century brick and wood storefront has been successfully maintained over time. Photo: NPS files.

Protecting storefronts against arson and vandalism before work begins by boarding up windows and installing alarm systems that are keyed into local protection agencies.

Evaluating the existing condition of storefront materials to determine whether more than protection and maintenance are required, that is, if repairs to features will be necessary.

NOT RECOMMENDED

Failing to provide adequate protection of materials on a cyclical basis so that deterioration of storefront features results.

Permitting entry into the building through unsecured or broken windows and doors so that interior features and finishes are damaged by exposure to weather or vandalism.

Stripping storefronts of historic material such as wood, cast iron, terra cotta, carrara glass, and brick.

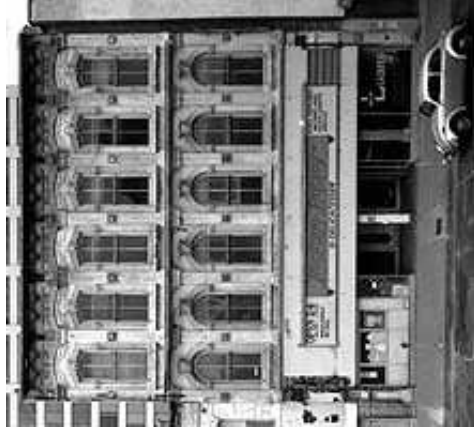
Failing to undertake adequate measures to assure the preservation of the historic storefront.

[top](#)

Repair

RECOMMENDED

Repairing storefronts by reinforcing the historic materials. Repairs will also generally include the limited replacement in kind—or with compatible substitute materials—of those extensively deteriorated or missing parts of storefronts where there are surviving prototypes such as transoms, kick plates, pilasters, or signs.



In the treatment, Rehabilitation, one option for replacing missing historic features is to use pictorial documentation and/or physical evidence to re-create the historic feature.

(a) In this example, the ornamental cornice of an 1866 limestone building was missing; and the ground level storefront had been extensively altered. (b) and (c) Based on the availability of photographic and other documentation, the owners were able to accurately restore the cornice and storefront to their historic configuration. A substitute material, fiberglass, was used to fabricate the missing pressed metal cornice, an acceptable alternative in this project. All work met the Standards.

NOT RECOMMENDED

Replacing an entire storefront when repair of materials and limited replacement of its parts are appropriate.

Using substitute material for the replacement parts that does not convey the same visual appearance as the surviving parts of the storefront or that is physically or chemically incompatible.

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Replace

RECOMMENDED

Replacing in kind an entire storefront that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model. If using the same material is not technically or economically feasible, then compatible substitute materials may be considered.

NOT RECOMMENDED

Removing a storefront that is unrepairable and not replacing it; or replacing it with a new storefront that does not convey the same visual appearance.

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The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Design for the Replacement of Missing Historic Features

RECOMMENDED

Designing and constructing a new storefront when the historic storefront is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

NOT RECOMMENDED

Creating a false historical appearance because the replaced storefront is based on insufficient historical, pictorial, and physical documentation.

Introducing a new design that is incompatible in size, scale, material, and color.

Using inappropriately scaled signs and logos or other types of signs that obscure, damage, or destroy remaining character-defining features of the historic building.

[HISTORICAL OVERVIEW](#) - [PRESERVING](#) - **[rehabilitating](#) - [RESTORING](#) - **[RECONSTRUCTING](#)****

[main](#) - [credits](#) - [email](#)