



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 605 Caswell St 37917

FILE NO.: 9-O-17-HZ

DISTRICT: Fourth and Gill H-1

MEETING DATE: 10/19/2017

APPLICANT: Sue. G. Russell (owner)

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Queen Anne (c. 1895)

Two-story frame with weatherboard wallcovering. High-pitched hip roof with lower cross gables, and imbricated shingles on front gable. Two interior offset side brick chimneys. Replacement 6/6 double-hung windows. One-story full front porch with late replacement deck-type balustrade and late -added sawn work between porch wood support posts. Two-story bay on front elevation. Irregular plan. (contributing)

► **DESCRIPTION OF WORK:**

Install a transom window over the existing door - a fixed glass, single-light, framed in directly above the door to bring the height of the door up to the height of the windows. The approximately 41 lineal feet of balustrade on the front porch will be refined with horizontal banding on the upper front and bottom that matches the dimension of the trimboards existing on the interior side. The proposed banding will conceal the beveled ends of the balusters. The current balusters are spaced 5 ½" apart and do not meet the current code allowing no greater than a 4-inch spacing between them. Additional balusters will be placed in between the existing.

The former deck has been dismantled. Only the floor of the bottom deck remains along with two vertical members and a lateral which will support the metal roof to be used in the proposed screened-in porch. The screened-in porch is proposed to:

- 1) utilize the same footprint as the remaining lower deck: 11' deep x 14' wide,
 - 2) be capped with a 5-V crimp metal roof attached to the side of the house on a ledger board, and;
 - 3) will slope at the minimum required 3:12 ratio for a metal roof.
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► **APPLICABLE DESIGN GUIDELINES:**

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

ENTRANCES

2. It may be appropriate to design or construct a new entrance if the historic one is missing. Any restoration should be based on historical, pictorial and physical documentation and should be compatible with the historic character of the building and with adjacent buildings. It should not create a false historic appearance. Entrances should not be removed when rehabilitating a building, either in adapting to a new use or continuing a historic one.

7. Missing doors should be replaced with new doors appropriate for the style and period of the building. In replacing missing original doors, replacement doors should mimic doors typical for that architectural style, including materials, glazing, and pane configuration.



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PORCHES

The individual design elements of the neighborhood porches - turned wood posts, railings and balusters, heavy wood columns, wood ceilings and floors reinforce the style of the houses. These individual details should be repaired and preserved, or replicated if good documentation of the original porch exists. Properly proportioned porches are important . . . in Fourth and Gill.

1. Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate.
2. Porches visible from a street may not be completely enclosed.

SECRETARY OF INTERIORS STANDARDS

Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

COMMENTS:

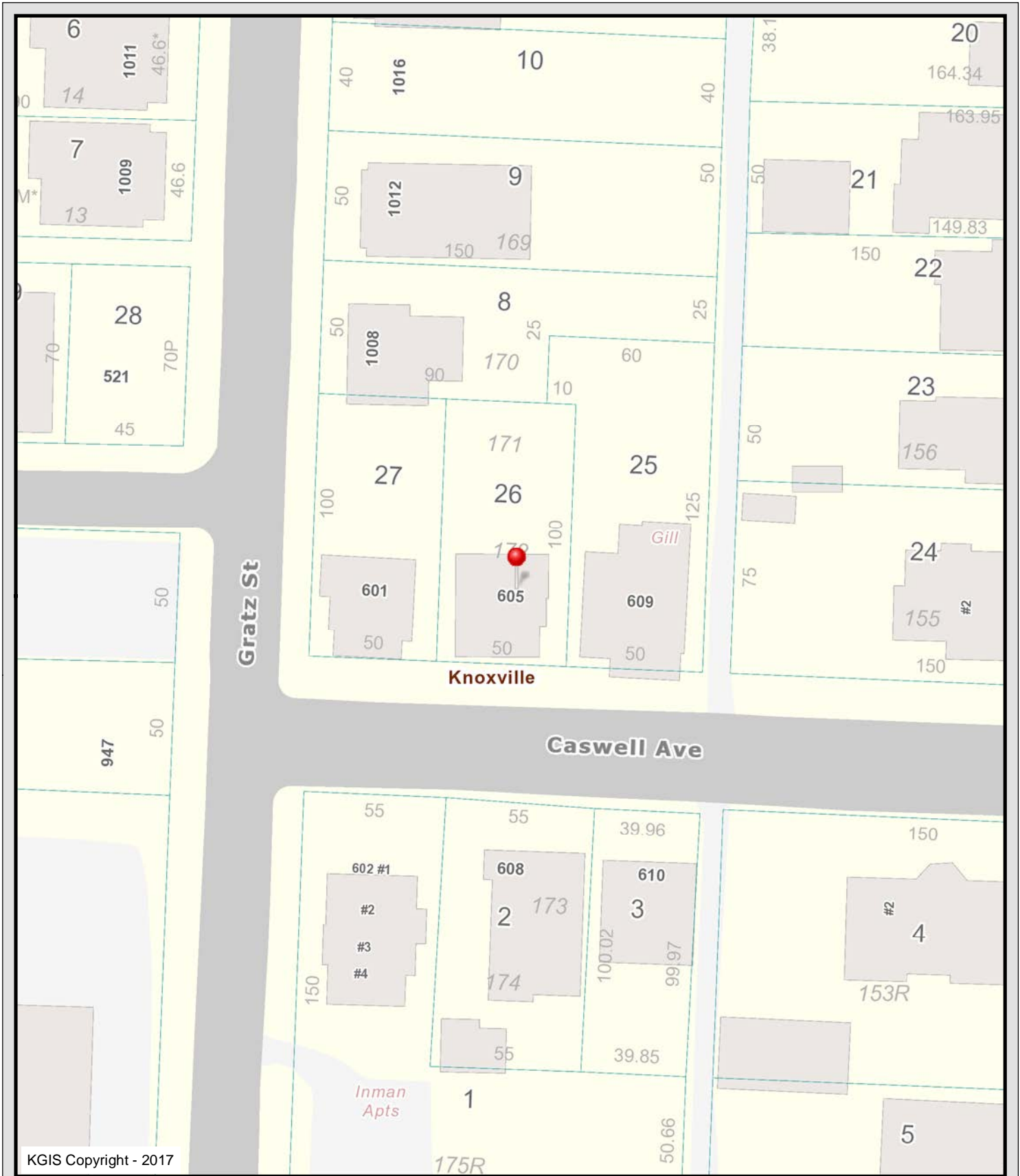
The owner has decided not to replace the door at this time (which was proposed in the original application.)

STAFF FINDINGS:

1. There is physical evidence on the house in its change of siding type and window height to indicate that a transom existed over the entry door, and this is a very typical and common characteristic by the current configuration and not proportionate to the house.
2. The screened-in porch on the rear elevation will not be seen from the front street right-of-way and will not destroy historic fabric. The late wooden deck and steps that were removed were not of historical importance. The 5 V-groove metal roofing, while not appropriate on a historic front porch, is not inappropriate on a rear porch.
3. The proposed trim boards on the rails of the front balustrade to conceal the ends, and extra balusters will somewhat improve the appearance of the inappropriate replacement balustrade. However, balusters typically have ~4 inches between them, and the proposed will have only 1 3/4 inches. Therefore a mock-up of the baluster should be provided along with examples of historic balustrades with similar balusters spacing.

► **STAFF RECOMMENDATION:**

Approval with the condition that the proposed baluster-spacing of 1-3/4 inches be checked for historic appropriateness.

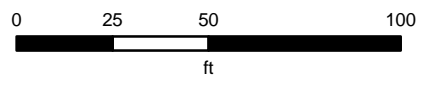


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605 Caswell Avenue
 FOURTH AND GILL H-1 OVERLAY

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Knoxville - Knox County - KUB Geographic Information System



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APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION

Please print all information:

1. APPLICANT NAME: SUE G Russell

Address: 605 Caswell Ave

Telephone: 828 778 7747 E-mail address: SUEGRUSSELL@

Relationship to Owner: Self ATT. NET

2. OWNER NAME: Same

Address: _____

Telephone: _____ E-mail address: _____

3. LOCATION OF PROPERTY:

Address: 605 Caswell Ave Tax ID/Lot/Parcel No: _____

4. LEVEL OF WORK (circle Level)

Level I Routine repair: replacement of deteriorated materials in-kind; removal of artificial siding; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure or a late addition; renewal of COA

Level II Major replacement of materials or architectural elements; construction of an addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

SEE ATTACHED

6. SIGNATURE OF APPLICANT: [Signature]

Date: 9/5/17
10/10/17

Incomplete applications cannot be accepted.

Mail application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902; or Fax: (865) 215-2068; or E-mail to Kaye.Graybeal@knxvznc.org
Phone: (865) 215-3795

FOR STAFF USE ONLY			
Date Received	Approved	Disapproved	Approved As Modified
Date Acted On			

5. Description of Work

A Certificate of Appropriateness has been issued for both roofing and guttering, a building permit issued and finalized. Additional work is listed below.

1. Restore transom over front door
2. Front porch railing
3. Rear double deck partial dismantle, conversion to screened-in porch

Restore transom over front door. The current door is not original and is a standard 6' 8" door. Also, it is shorter than flanking windows with a disconcerting

result. It is possible the original door was taller and matched the height of the flanking windows. Supporting evidence exists in that the wood siding on the house above the door is slightly thinner (modern era milling) compared with the remainder of the siding on the house in the door area. Additional evidence of an original transom is found inside. Upon entering the house to the left is the living room and as is shown below, there is evidence of a transom over



the passageway. A fixed transom window, single light, framed in directly above the door would bring the height of the door up to the height of the windows. It is not unreasonable to consider that there was a matching transom over the front door. And, finally, transom windows

Application Certificate of Appropriateness - 605 Caswell Avenue, 4th & Gill District 10/19/17

occur on every house on Caswell Avenue between Gratz and Luttrell, for example, 610 Caswell Avenue, pictured here. Apparently, it was the norm.



See Attachment 1 for dimensioning.

2. Front porch railing. The approximately 41' of balustrade on the front porch can be refined with both the introduction of



horizontal banding on the upper front and bottom that matches the dimension of the boards on the interior side. The proposed banding will conceal the attachment ends of the balusters. The current pickets are spaced 5 1/2" apart and do not meet the current code requirement of no more than 4" of spacing in between. Additional pickets would be placed in between

all existing pickets with the following spacing pattern:

Wall ... 2 1/8" space ... 1.5" picket...2 1/8" space ... 1.5" picket... 2 1/8" space ... 1.5" picket

A Gratz Street house exhibits a similar, compressed pattern:



Application Certificate of Appropriateness - 605 Caswell Avenue, 4th & Gill District 10/19/17

3. **Rear double deck partial dismantle, conversion to screened-in porch.** In the mid-1990s, double decks were installed at 605 Caswell Avenue, a window on the second floor removed and replaced by a door to that level deck. By then, the property had become a rental, decks likely installed to attract college student renters. The result, below, was not subtle.



Application Certificate of Appropriateness - 605 Caswell Avenue, 4th & Gill District 10/19/17

The deck has since been dismantled, the wood carefully removed for re-use. Only the floor of the bottom deck remains along with two vertical members and a lateral which will support the metal roof to be used in porch creation. The footprint of the existing deck will not be increased for the screened porch but remains at 11' deep, 14' wide. **And, no architecturally significant elements will be obscured by the addition of the porch.**

The dismantled deck is shown below and three scaled drawings (east, west and south elevations) are included as **Attachments 2, 3, and 4.** The proposed porch roof is 5-v crimp black metal



T

EVEN WITH TOP OF WINDOW

5"

GLASS

8"

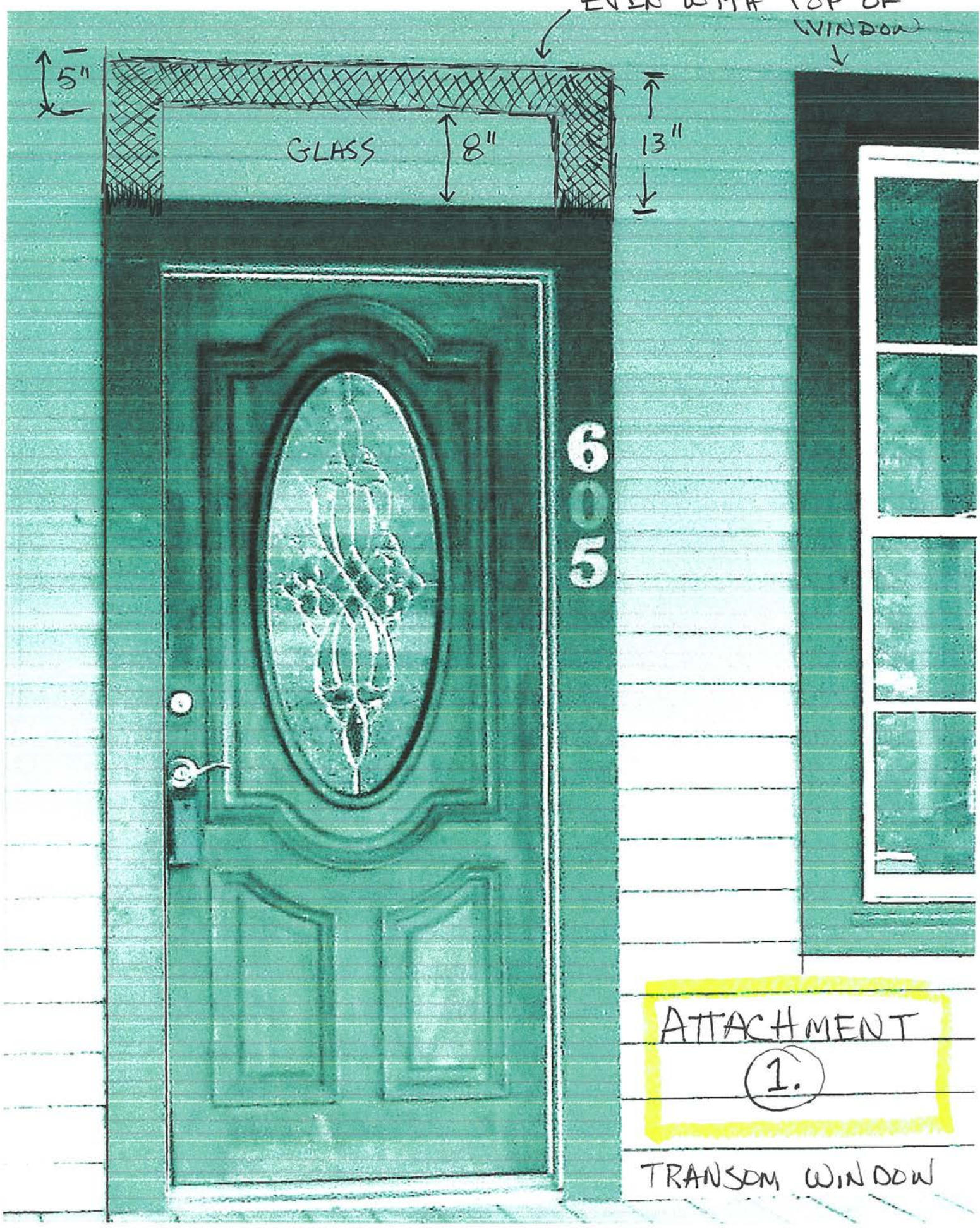
13"

605

ATTACHMENT

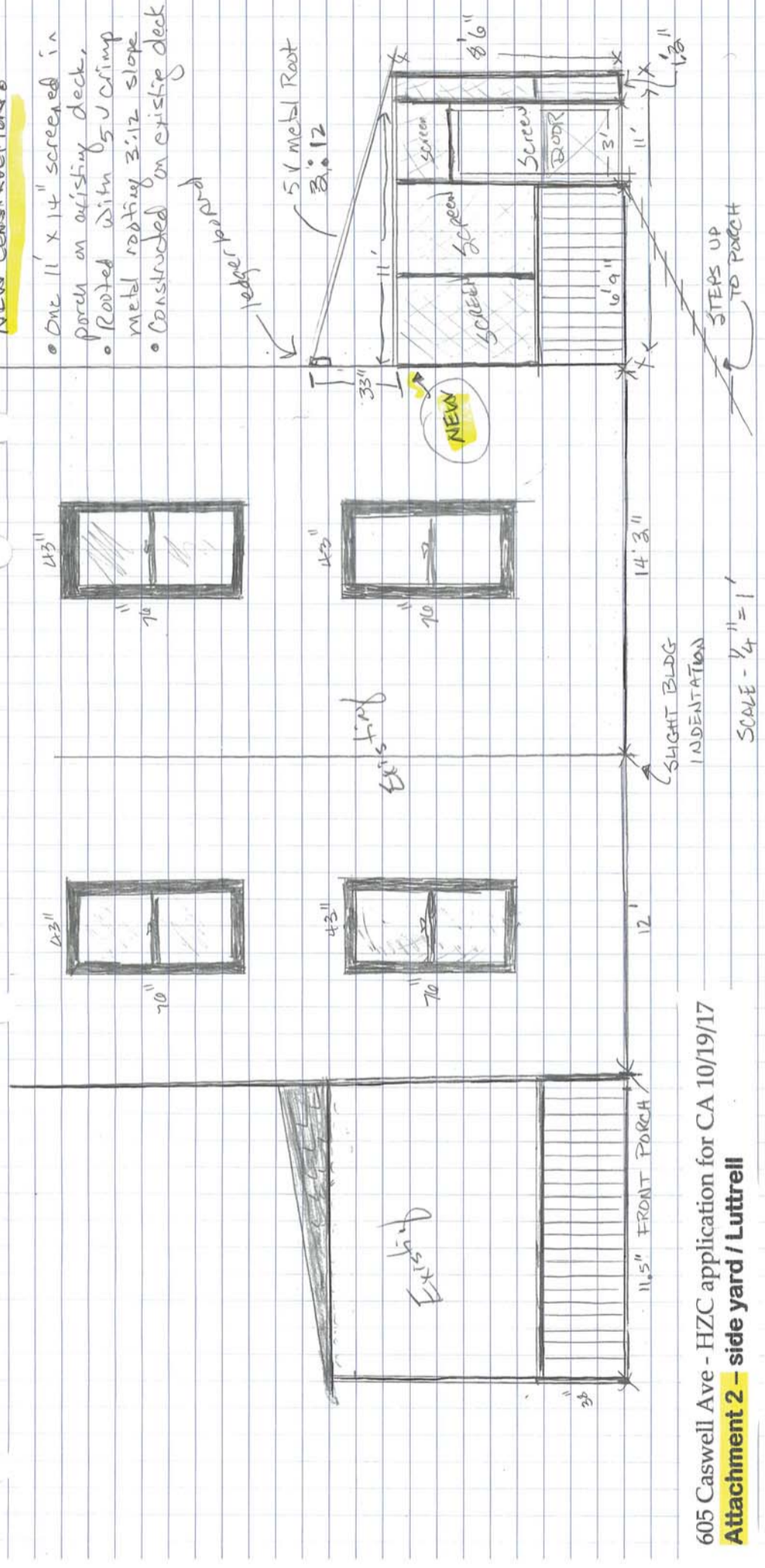
1.

TRANSOM WINDOW

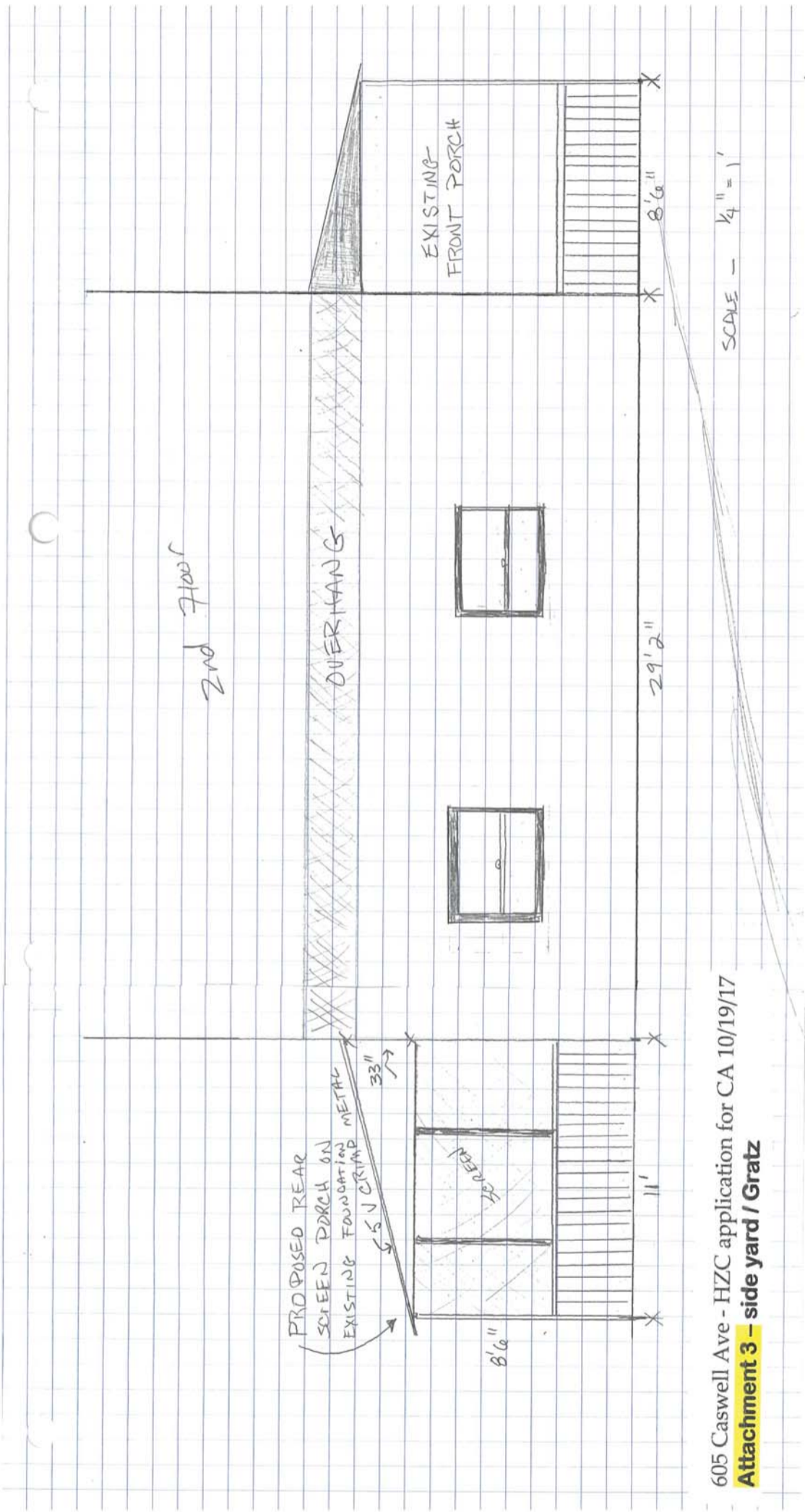


NEW CONSTRUCTION 8

- One 11' x 14" screened in porch on existing deck.
- Routed with 5 V crimp metal roofing 3:12 slope
- Constructed on existing deck



605 Caswell Ave - HZC application for CA 10/19/17
Attachment 2 - side yard / Luttrell

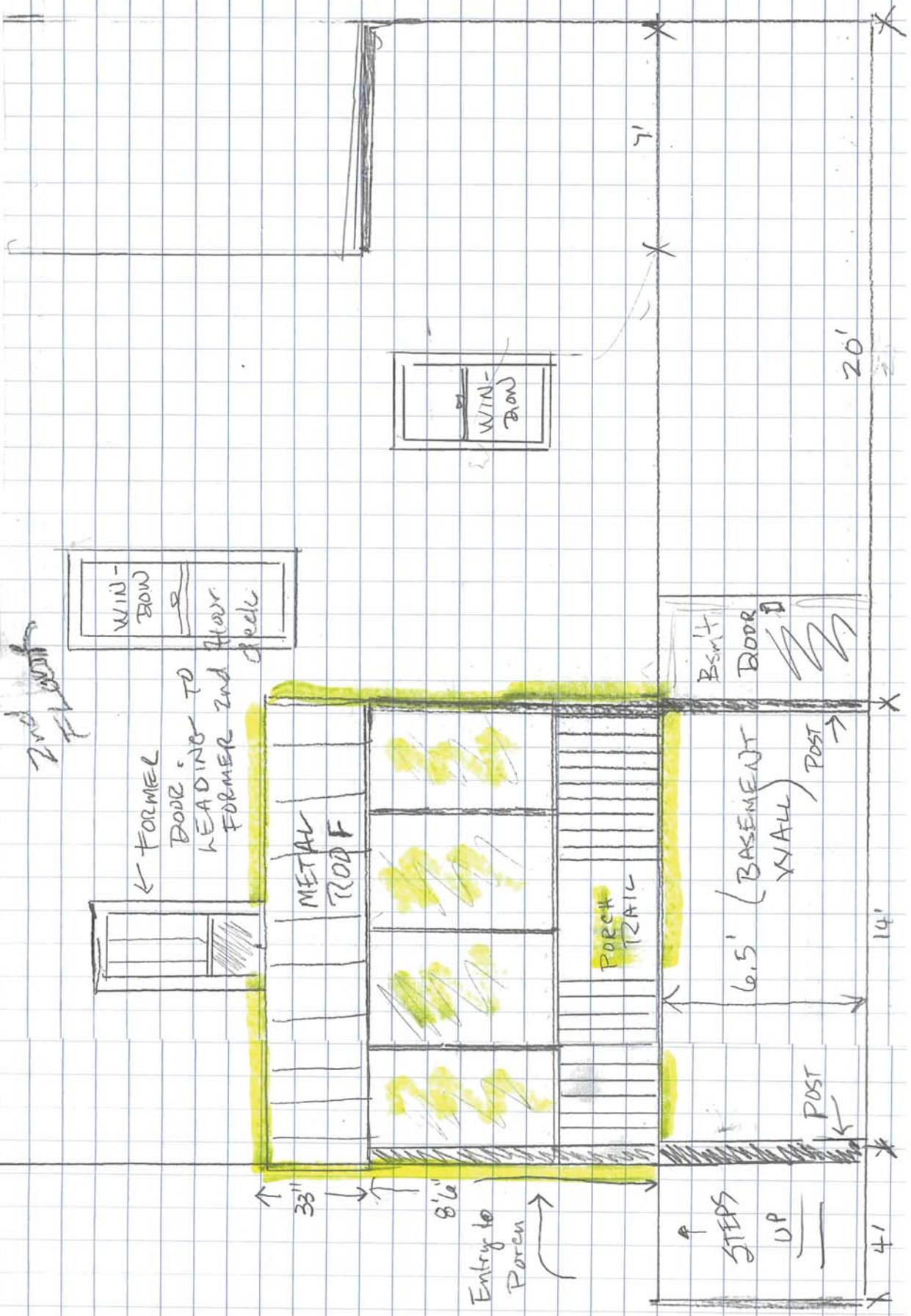


605 Caswell Ave - HZC application for CA 10/19/17
Attachment 3 - side yard / Gratz

SCALE - 1/4" = 1'

605 Caswell Ave - HZC application for CA 10/19/17

Attachment 4 - Rear yard





605 Caswell Avenue