



**KNOX COUNTY HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 10817 Second St 37934
DISTRICT: Concord HZ

FILE NO.: 10-E-17-HZ

MEETING DATE: 10/19/2017

APPLICANT: Lisa Beer & Steffan Wigert (Owner)

LEVEL OF WORK: Level II. Demolition of noncontributing structure

PROPERTY DESCRIPTION: Folk Victorian (c. 1887)

Heavily altered one-story frame with aluminum siding. Off-center front gable asphalt shingle roof. Six-over-six double-hung replacement windows. Brick foundation. Front stoop with hipped roof and 6x6 posts. One remaining of formerly two interior offset brick chimneys. (NC)

▶ **DESCRIPTION OF WORK:**

Demolish one-story frame house which is non-contributing due to architectural alterations.

▶ **APPLICABLE DESIGN GUIDELINES:**

Village of Concord Design Guidelines, adopted by the Knox County Commission on October 22, 2001.

"The purpose of this district is not to discourage development, but to encourage sympathetic new development that respects the historic architecture and setting of the Village." (p. 3)

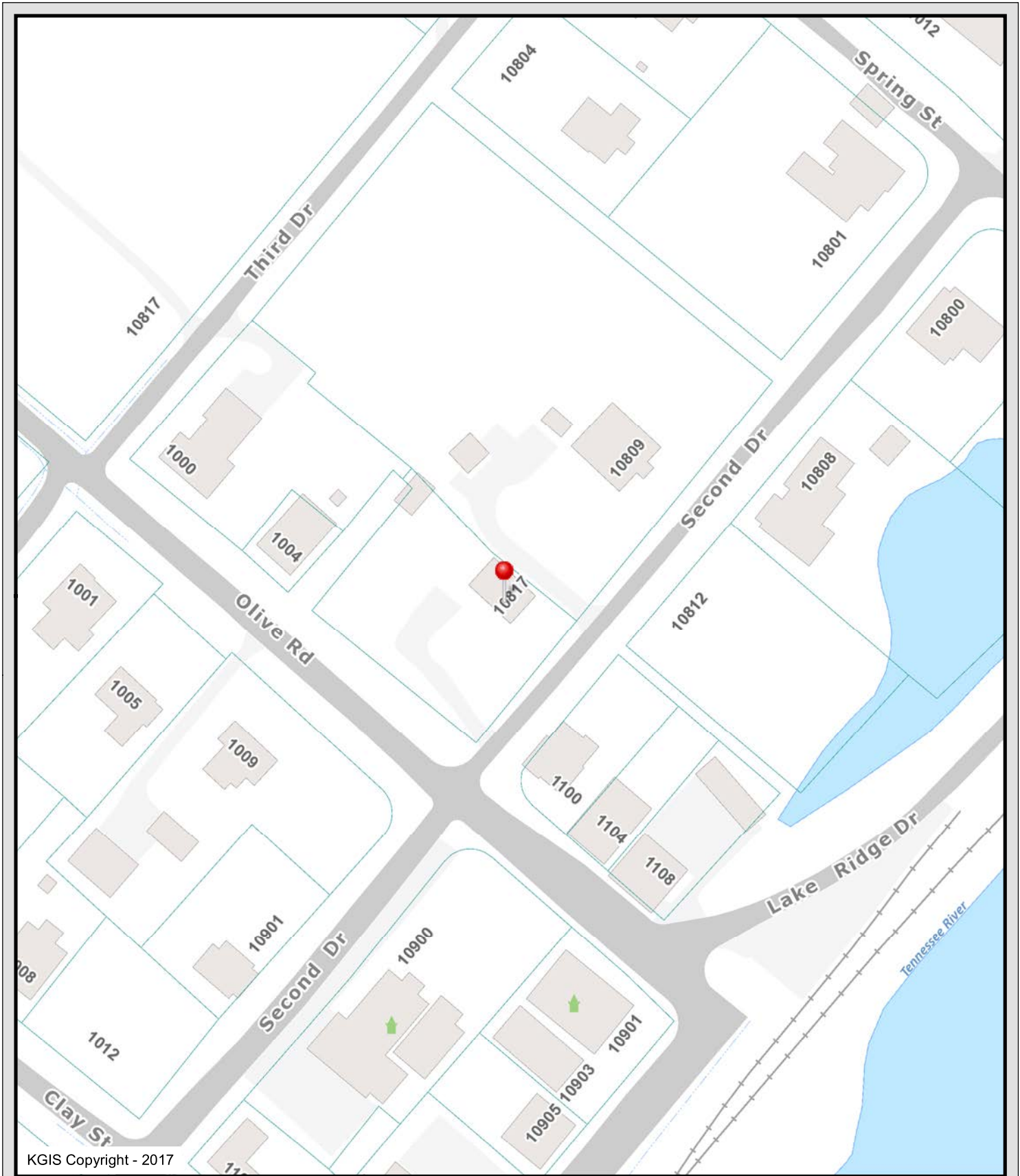
COMMENTS:

STAFF FINDINGS:

- 1) The house is listed as a non-contributing property in the 1987 National Register nomination due to being heavily altered. The c. 1887 version was an front-gable-and-wing, L-shaped Folk Victorian with a covered front porch.
- 2) The original form of the house is no longer discernable from the front and the exterior materials and windows are recent.
- 3) The house has been assessed by a professional contractor to have an inadequate, minimal foundation that is not repairable. The floor joists are too close to the ground and the framing has extensive water and termite damage.
- 4) The Old Concord Neighborhood Association has provided a memo dated October 1st agreeing that the foundation is not salvageable and that the house may be demolished.

▶ **STAFF RECOMMENDATION:**

Approval

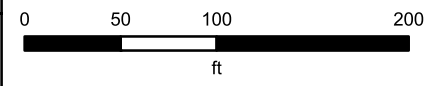


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10817 SECOND DRIVE
 Village of Concord HZ

Printed: 10/12/2017 at 9:06:18 PM

Knoxville - Knox County - KUB Geographic Information System



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September 13, 2017

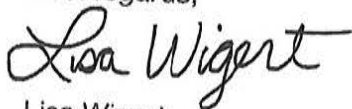
Lisa and Steffan Wigert
10817 Second Drive
Knoxville, TN 37934

Knox County Code Administration & Inspection
Suite 547 City Count Building
400 Main Street
Knoxville, TN 37902

To Whom It May Concern;

This letter is in regards to the application for the demolition of the house located at 10817 Second Drive, Knoxville, TN 37934. We purchased the two bedroom one bath house as our primary residence and our intention was to renovate the house and bring it up to code. However, after meeting with a contractor to evaluate the sagging floor, it was determined that the house's minimal foundation was not repairable and the house would have to be moved on to a newly constructed foundation. Upon further inspection, contractors found interior framing and floor joists broken, and extensive water and termite damage. In order for the house to be moved and a new foundation placed, the chimney would have to be removed, a new roof placed, and this is along with new windows, doors, drywall, plumbing, flooring and joists, etc. The cost of this renovation would greatly exceed the cost of simply demolishing the structure and building a new house meeting all code requirements. For this reason, we are requesting permission to remove the current structure from the property in order to build a new house which meets historic neighborhood standards.

Best regards,



Lisa Wigert
(865) 635-6244



and Steffan Wigert
(865) 317-0328









Steffan Wigert
865-317-0328

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- IMG_3438.JPG 798 KB
- IMG_3439.JPG 635 KB
- IMG_3440.JPG 834 KB

Wigert property 10817 2nd drive

From: steffancw <steffancw@yahoo.com>
To: christineclark@fastmail.fm
Cc: Lisa Beer RN / Wife <berehere@yahoo.com>
Subject: Wigert property 10817 2nd drive
Date: Wednesday, September 13, 2017 1:39 PM
Size: 5.8 MB

There are around the 'foundation' where water has been running under the house. The one shot is looking down from the floor showing where a 2x4 was fashioned as a joist support. Others looking under the house showing zero space between the ground and structure.









Kaye Graybeal <kaye.graybeal@knoxmpc.org>

Permission to demolish "blue house"

1 message

Carol Russell <cabelrussell@gmail.com>

Sun, Oct 1, 2017 at 7:38 PM

To: Lisa Wigert <berehere@yahoo.com>, Kaye Graybeal <kaye.graybeal@knoxmpc.org>

Dear Lisa and Steffan,

I'd like to report that there were no objections from the Concord community to your request to demolish the house at 10817 Second Drive. Some expressed regret that the house was not salvageable. It was built around 1887. Old timers of Concord remember John Bowman's blacksmith shop on the west portion of the lot near Olive Road. Charlie and Pauline Benson bought the house in 1955 and lived there for many years while they operated Benson Grocery Store on Olive Road.

Several people wanted to be reassured that new construction on the lot adhere to the guidelines of the historic overlay. We always appreciate Kaye Graybeal's input and guidance in these issues.

Best wishes as you take on this big project,

Carol Russell, President

Old Concord Residents Association

BCC - Residents of Concord were blind copied on this message.

From: Carol Russell [mailto:cabelrussell@gmail.com]

Sent: Thursday, September 28, 2017 4:46 PM