



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 2032 Jefferson Ave 37917

FILE NO.: 6-J-16-HZ

DISTRICT: Fourth and Gill H-1

MEETING DATE: 6/16/2016

APPLICANT: Spencer and Emily Hall (owners)

LEVEL OF WORK: Level II. Construction of addition

PROPERTY DESCRIPTION: Craftsman (c. 1910)

Two-story frame with aluminum siding. Front-gable roof with side shed dormers and asphalt shingle covering. One-story full -façade front porch with replacement wrought iron columns. One-over-one double-hung windows. Interior central chimney. Brick foundation. Rectangular plan. (Contributing)

► **DESCRIPTION OF WORK:**

Construct one-story frame addition with hyphen-type connector to existing addition on west rear of main house. Match the features of the existing house including wood 3/1 double-hung windows, 6/12 pitched asphalt-shingled roof with cedar shingles in the gable, and a parge-coated masonry foundation. Side with fiber cement board siding. Construct wood deck within recess created by hyphen extending from main house. Wood deck surrounded by 36-inch high balustrade with 2-sq-inch wood balusters set into the top and bottom rail with no overlapping ends. The wood deck balustrade will match that on the front porch.

► **APPLICABLE DESIGN GUIDELINES:**

Edgewood-Park City Design Guidelines, adopted by the Knoxville City Council on July 29, 1997.

ADDITIONS

- 12) New additions must be located at the rear or on an inconspicuous side of a historic building, limiting the size and scale in relation to the historic building.
- 13) New additions must be designed so that it is clear what is new and what is old, but must be compatible in terms of mass, materials, size, texture, scale, relationship of solids to voids and color.
- 14) New additions shall not alter the basic character of the building, or cause a lessening of historic character.

COMMENTS:

STAFF FINDINGS:

- 1) The main house is a contributing structure within the historic zoning overlay. The house currently has a non-original rear addition.
- 2) While the addition has a somewhat larger footprint (relative to the main house) than additions typically approved by the HZC, a portion of the square footage is contained within a narrow "hyphen"-type connector which offsets the addition from the main house. The offset preserves the appearance of the original mass of the main house. The addition is one-story which helps the massing of the addition to not overpower that of the main house. Additionally, the lot is larger than typical in the district so that its development does not appear as dense as it would on a more narrow typical-sized lot.



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- 3) The offset from the main house helps to ensure that the new construction is distinguished from the old.
 - 4) The addition does not alter or lessen the basic historic of the building, and does not destroy historic materials or features.
 - 5) The gabled portion of the addition that is visible from the street is compatible in scale, mass, and design with the main house.
 - 6) The wood frame materials, 6/12 pitched roof with asphalt shingles and cedar shakes in the gable, 3/1 wood double-hung windows, and a parge-coated masonry foundation are compatible with the features and materials of the main house. The deck balustrade is compatible with that on the front porch. The fiber cement board is appropriate on new additions and will compatible with existing aluminum siding on the main house.

► **STAFF RECOMMENDATION:**

Based on the design guidelines and evidence submitted, staff recommends approval of this proposal.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. **APPLICANT NAME:** Spencer and Emily Hall

Address: 2032 Jefferson Avenue, Knoxville, TN 37917

Telephone: 865.963.6052 E-mail address: spencer.s.hall@gmail.com

Relationship to Owner: owners

2. **OWNER NAME:** same as above

Address: same as above

Telephone: same as above E-mail address: same as above

3. **LOCATION OF PROPERTY:**

Address: 2032 Jefferson Avenue, Knoxville, TN Tax ID/Lot/Parcel No: 082OA008/15

4. **LEVEL OF WORK** (circle Level)

Level I Routine repair; replacement of deteriorated materials in-kind; removal of artificial siding; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure or a late addition; renewal of COA


Level II Major replacement of materials or architectural elements; construction of an addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. **DESCRIPTION OF WORK:** (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

We are applying to add to the home in the back to extend the kitchen and add another bedroom/playroom and bathroom. We plan to use materials that match the existing home (double hung windows, dark asphalt shingle roof, poplar siding, and other materials that would match the existing structure. We have included a side view to provide context for what view someone might have of the new structure from up the street on the sidewalk. Other pictures of the existing home are included to provide additional context. While this is an expansion of 39% of the existing footprint, the surrounding homes are larger both from a footprint and living square footage perspective on both sides of us, and our home sits on a double lot.

6. **SIGNATURE OF APPLICANT:**  Emily Hall Date: May 26, 2016

Incomplete applications cannot be accepted.

Mail application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902; or Fax: (865) 215-2068; or E-mail to Kaye.Graybeal@knoxmpc.org
Phone: (865) 215-3795

FOR STAFF USE ONLY			
Date Received	Approved	Disapproved	Approved As Modified
Date Acted On			

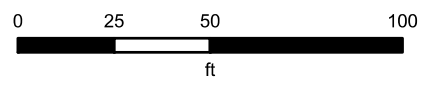


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2032 Jefferson Avenue
Edgewood-Park City H-1

Printed: 4/27/2016 at 11:30:42 AM

Knoxville - Knox County - KUB Geographic Information System



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2032 Jefferson – Front



2032 Jefferson – Side



2032 Jefferson – Rear 1



2032 Jefferson – Rear 2



2032 Jefferson – Rear 3



2032 Jefferson – Street view - Original



Hall Residence Addition

2032 Jefferson Ave.

ISSUE DATE: 4/28/16
REVISIONS:

Site &
Floor
Plans

A.1

General Notes:

1. All construction shall conform with the applicable codes, ordinances, and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
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Floor plan notes:

1. All dimensions are in feet and inches unless otherwise noted.
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Door and Window Notes:

1. Contractor to verify all door and window dimensions prior to installation.
2. All doors and windows shall be installed in accordance with the manufacturer's instructions.
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Electrical Lighting, Audio/Visual, Communications:

1. Contractor shall provide all necessary electrical, lighting, audio/visual, and communication services.
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Wood Framing notes:

1. All framing shall be in accordance with the applicable codes, ordinances, and regulations.
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Roof notes:

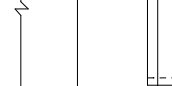
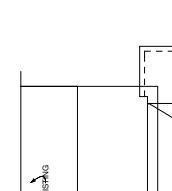
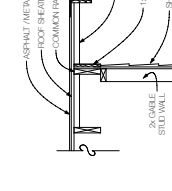
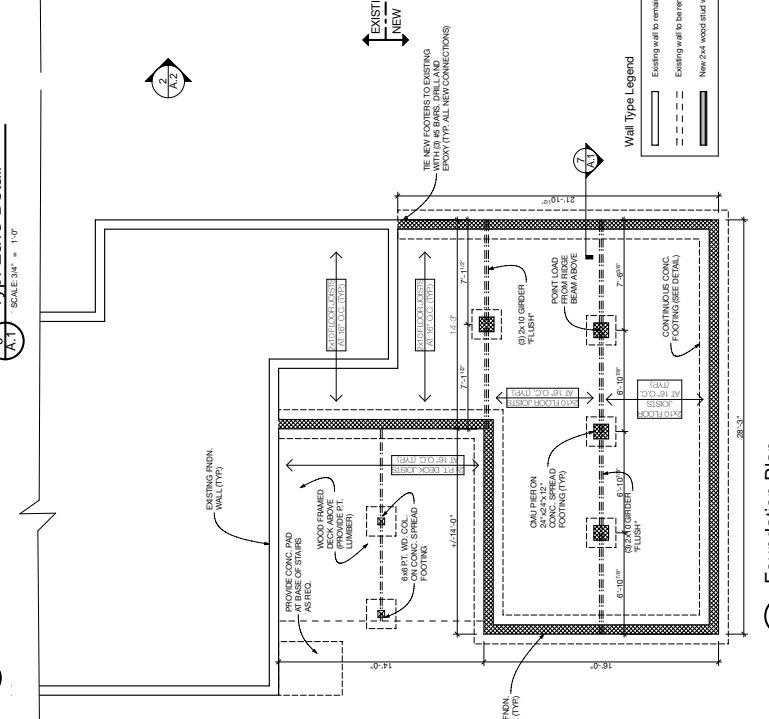
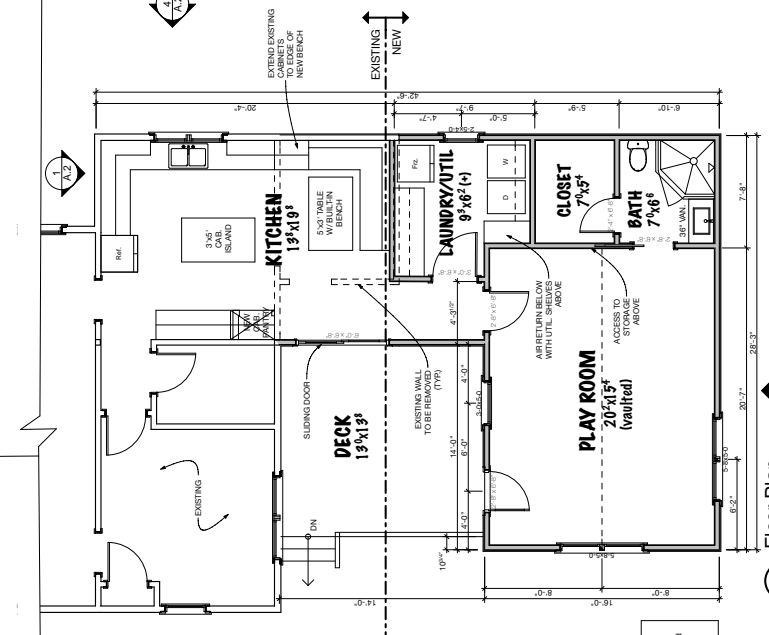
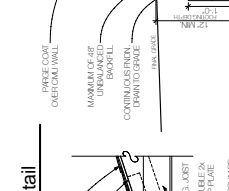
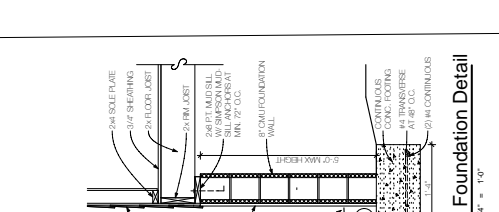
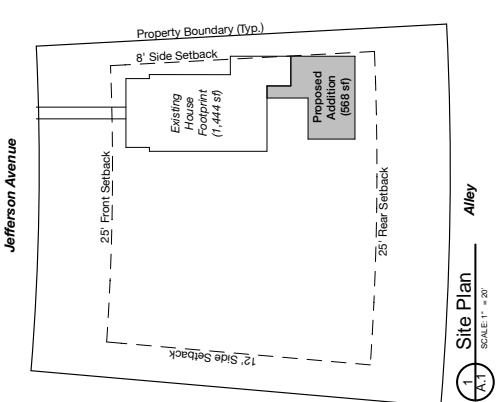
1. All roof framing shall be in accordance with the applicable codes, ordinances, and regulations.
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Foundation notes:

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Typical foundation wall:

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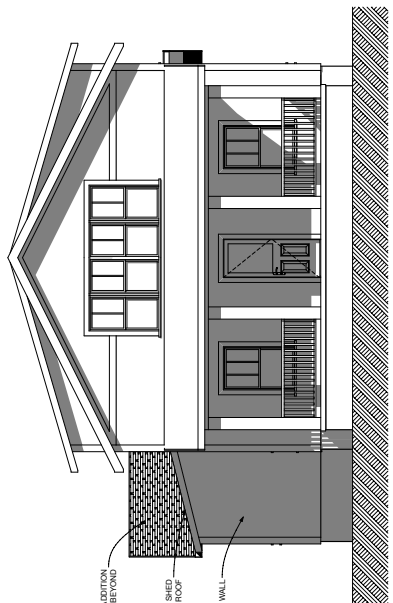
Hall Residence Addition

2032 Jefferson Ave.

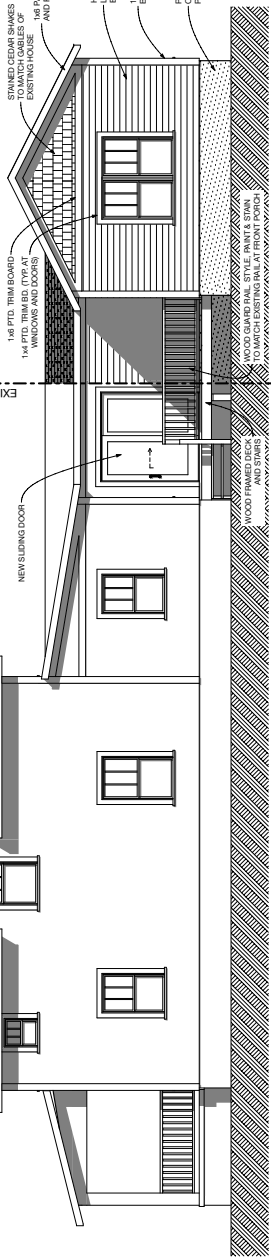
ISSUE DATE: 4/26/16
REVISIONS:

Elevations

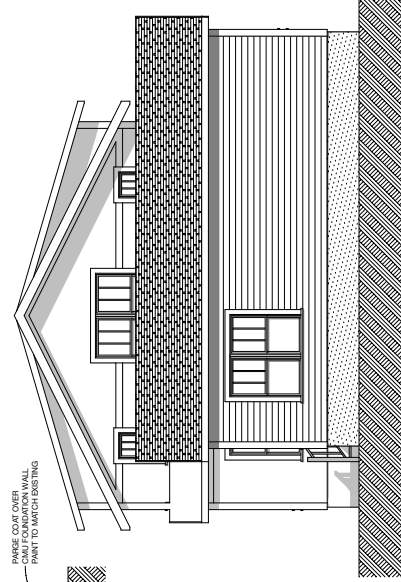
A.2



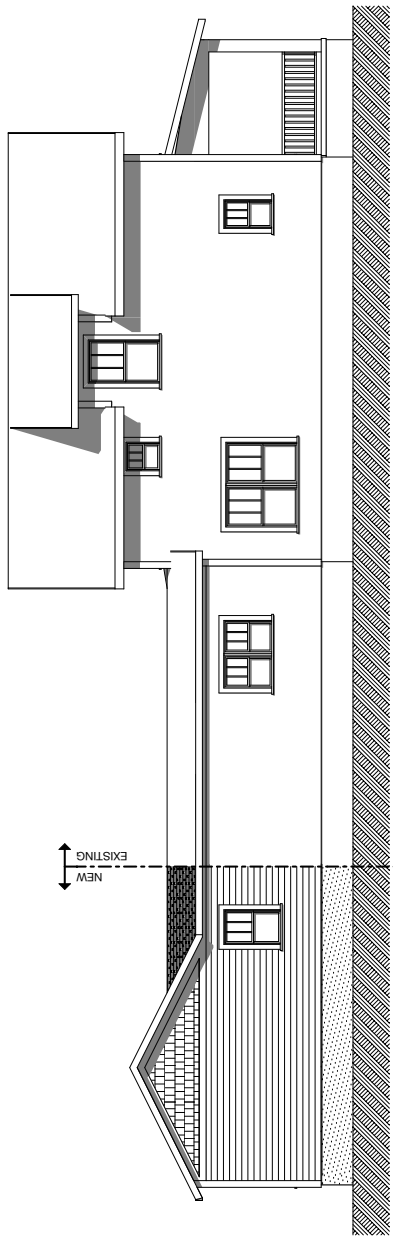
1
A.2
Front Elevation
SCALE: 1/4" = 1'-0"



2
A.2
Right Elevation
SCALE: 1/4" = 1'-0"



3
A.2
Rear Elevation
SCALE: 1/4" = 1'-0"



4
A.2
Left Elevation
SCALE: 1/4" = 1'-0"

2016, 2032 and 2036 Jefferson aerial



2032 and 2036 Jefferson aerial looking north from alley

