



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 800 W Blows Ferry Rd 37919
DISTRICT: Scenic Drive NC-1

FILE NO.: 6-I-16-HZ

MEETING DATE: 6/16/2016
APPLICANT: Keith Stewart; Buzz Goss (architect)
LEVEL OF WORK: Level II. Construction of addition

PROPERTY DESCRIPTION: Georgian Revival (1952)

Two-story symmetrical frame with brick veneer. Side gable roof with asphalt shingles. Five 8-over-8 double-hung windows. One-story, one-bay, non-original frame front porch with front gable supported by square columns. Transom over front entry has broken pediment door surround. External end chimney on each end. Side porch and rear additions.

► **DESCRIPTION OF WORK:**

Replace existing non-original front-gabled porch with two-story porch with 8"x8" square wood or PVC columns, ornamental wrought iron porch railings, and three runs of 8-foot-wide brick steps. Overall dimensions to be 12'x14' as shown on submitted drawings. Hipped roof and 4/12 front-gabled roof of proposed porch addition to be covered in dimensional asphalt shingles to match existing roof (8/12 pitch). First-level porch floor to be of poured concrete and second level to be of Trex decking with edges covered by wood fascia. Foundation of porch addition to be brick to match that of main house.

Remove center window from second level and extend opening to floor to accommodate a 36-inch wide wood or fiberglass 15-lite door. The remaining gaps in the existing 40-inch-wide opening will be covered with brick molding. Remove non-original single-leaf front door and surround and enlarge to accommodate a double-leafed arched, multi-light wood frame entry with sidelights as submitted spec sheet indicates.

► **APPLICABLE DESIGN GUIDELINES:**

Scenic Drive NC-1 Design Guidelines, adopted by the Knoxville City Council on September 26, 2006.
New Construction, Primary Buildings, Additions and Accessory Buildings

9. The recommended location for additions is to the rear or side of existing buildings. Additions to the front of buildings are strongly discouraged because they obscure the original architectural designs. Front additions are not appropriate for contributing structures.

11. The design of additions, accessory buildings, . . . and modifications, in particular to the front facade of the house, should be consistent with the character of the main structure.

12. The roofing material for additions and modifications should match the existing roofing material.

"The owners of properties along Scenic Drive own a piece of history that is important now and will become more important over time, and that speaks to the architecture of the mid-twentieth century and to suburban expansion and development in Knoxville. . . . With care for the buildings and their setting, the unique characteristics of the



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 800 W Blows Ferry Rd 37919

FILE NO.: 5-I-16-HZ

DISTRICT: Scenic Drive NC-1

buildings and their neighborhood will survive. As property owners consider making changes to their buildings, they should be aware that those changes will either enhance the history of the neighborhood, or destroy it." (page 9 of the Scenic Drive Design Guidelines.)

Secretary of the Interiors Standards for Rehabilitation

2. The historic character of all property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
9. New addition, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

COMMENTS:

If the proposal is approved by the HZC, approval should be with the condition that a dimensioned drawing be submitted to staff indicating how the proposed first-level double-door and sidelights will relate to the existing double-hung windows on either side.

STAFF FINDINGS:

- 1) The 1952 house is a contributing building within the Scenic Drive Neighborhood Conservation District (NC-1) Overlay.
- 2) The existing porch is not original to the house and appears to have been added sometime in the late 1970s or in the 1980s. The existing stoop is also not proportionately correct for the architecture and scale of the house façade.
- 3) Although no photo-documentation has been discovered, there is physical evidence that the more recent porch was constructed by adding extensions on either side of the original stoop. Therefore, it is apparent that the front gable of the original stoop would have been smaller based on the more narrow width of the original stoop.
- 4) The proposed front porch addition will not remove any specific, original architectural features, but will require modifications to the facade by enlarging the openings (one window and one door) at the center of both levels, thus removing original masonry and somewhat obscuring as well as altering the appearance of the original design of the historic façade.
- 5) According to "A Field Guide to American Houses"* by Virginia McCalester, both the original and proposed versions of the house style are sub-types of the Georgian / Federal Revival styles. The original version, with its



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 800 W Blows Ferry Rd 37919

FILE NO.: 5-I-16-HZ

DISTRICT: Scenic Drive NC-1

smaller, more narrow pedimented one-story stoop is intended to depict the most common sub-type of the simple "side-gable", while the proposed version depicts a more high-styled sub-type of a "center gable" with a Neoclassical influence (due to columns supporting two different levels of the porch). Therefore, the proposed changes will render the house in a more eclectic, high-style version of the Georgian Revival style, rather than retaining the pure and simple original version of the style.

6) The proposal adds conjectural features and architectural elements not originally on the house and not typical of the Scenic Drive area, such as a two-tiered, full-façade porch with wrought iron railing.

7) The National Park Service's Secretary of Interiors Standards (SIS) are included within the Scenic Drive Neighborhood Conservation Overlay Design Guidelines. The SIS state that "Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken."

*A widely-consulted academic manual on architectural history and style. (Published by Alfred A. Knopf; New York; 2015)

► **STAFF RECOMMENDATION:**

Based on the staff findings and the Secretary of Interiors Standards as stated herein, staff cannot recommend approval of this proposal.

Certificate (File) No: 5-I-16-Hz

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. NAME OF APPLICANT: Buzz Goss

Address: 110 W Summit Hill Dr

Telephone: 865.274.9108 E-mail address: buzz@marblealley.com

Relationship to Owner: Architect

2. NAME OF OWNER: Keith D Stewart

Address: 800 Blows Ferry Rd

Telephone: (865) 437-5081 E-mail address: keithdstewart@gmail

3. LOCATION OF PROPERTY:

Address: 800 Blows Ferry Rd Tax ID/Lot/Parcel No: 121DC044

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

Replace existing porch with 2 story Georgian Revival 2-story porch with square painted columns, painted steel railings, brick exterior finish and stone steps.

6. SIGNATURE OF APPLICANT: [Signature] Date: 5/16/16

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or Fax: 865-215-2068. **Incomplete applications will not be accepted.**

FOR STAFF USE ONLY			
Date Received	<u>5/16/16</u>	Approved	Disapproved
Date Acted On		Approved As Modified	



808 Blows Ferry Road

800 Blows Ferry Road



800 Blows Ferry Road

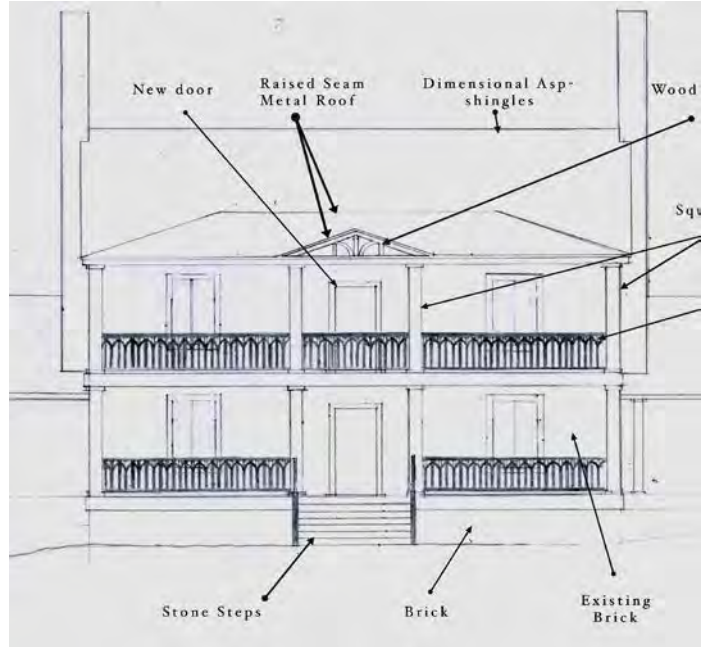




800 Blows Ferry Road - Side elevation



West Elevation of 800 Blows Ferry Road



Proposed West Elevation

Narrative for Porch Enhancement at 800 Blows Ferry Road.

The lot on which our home is built made its way through a bankruptcy proceeding prior to the ground being broken. From the earliest point we were able to research, the lot was deeded to John Galbraith, Elizabeth Hayes and Frankie Webb. At some point the lot was acquired by Joe B. and Mary C. Wallen who then sold it to John Clark and his wife Mary who are the earliest occupants of this home that we can identify. We believe John and Mary Clark built the original home at 800 Blows Ferry Road.

Reverse chronological order of ownership:

Keith and Joanie Stewart (June 30, 2014)

Dr. Malcom Spica (2006)

John and Mary Walker (July 2, 1977) - obtained a Quitclaim Deed on an Easement
1986

Dr. Edward and Virginia Buonocore (June 21, 1966)

James and Mary Clark (lot deeded October 23, 1950)

Joe B. and Mary C. Wallen (Nov. 10, 1949)

Charles Galbraith (1/2), Elizabeth Hayes (1/4) and Frankie Webb (1/4) (July 18, 1949)

The style of the home from inception is Georgian Revival, a style that incorporates variations ranging from Federalist influence to close approximations of Greek Revival. We see elements of the Neo-Classical with not a small dose of Classical Revival. Georgian Revival Architecture has flourished for hundreds of years in large part due to variety, flexibility and

range. All the King Georges (I, II, III and IV) contributed to the architecture with each lending his own nuance, additions and extensions to the style. Georgian Revival is a flexible style with flexible parameters and thus never boring and always interesting.



My wife and I fell in love with our home at 800 Blows Ferry because of the neighborhood, the location near the river and the style. We saw the potential of the home from the start and forsaking our home in the Burwell Building (above the Historic Tennessee Theatre) in June of 2014 we purchased 800 Blows Ferry to make a home. Thus began a long quest to craft a plan to bring out the style of our new home. We have submitted plans for a porch enhancement to the West Elevation. The proposed plan elongates and extends the original porch on the house (not the one you see in the pictures). What you see before you (because we can't locate a photo of the original pediment) is the poorly

proportioned product of the 1980s. We can all agree the porch in first photo above is clunky and odd and not visually interesting. It's out of place and uncomfortable to view. In short the porch pediment is architecturally challenged and obese in proportion to the home. We hope to remedy this faux pas and construct an enhanced porch which will meld with the original style of the home and accentuate and enhance the entire property.



North Elevation. The enhancement to the West Elevation as proposed, would match the North and South Elevations and stabilize a property that went through several years of volatile ownership. The house had been on and off the market for over four (4) years when we purchased it. Although there were a large number of interested purchasers and in fact a number of offers to purchase the home were made, no sale was

consummated. We believe the house suffered neglect and poor styling choices which greatly affected marketability and attractiveness. The porch pediment was a negative contributing factor. When we applied for the building permit for the porch we were informed there was a “ward” line issue. Our house actually sits on one and one-half (1 1/2) of the original lots of the subdivision. I was required to have the entire property surveyed and re-platted with MPC.



Prior to the purchase by Dr. Spica from John and Mary Walker, the property was on the market for an extended time. Through the accounts of neighbors we learned the house and gardens became unmanageable for the Walker family during a lengthy illness of Mary Walker. Updates and exterior maintenance of the property, other than minor cosmetic interior work by Dr. Spica shortly after he purchased the property, ceased once Mary got sick. Since purchasing the home, we have undertaken substantial repairs and updates to the infrastructure of the home and we hope to continue renovating the property and restoring it to its former glory.

West (Front) Elevation. The non-original porch pediment in the west (fronting Blows Ferry) elevation photo leaps from the page and nearly punches you in the nose because it is not proportional. It's a giant white triangle contrasted with red brick and has thick legs with no discernible purpose. Our home inspector noted the porch was not up to code. The porch as it was when we purchased the home was constructed by an extension to each side of the original

porch. The extensions were constructed without footers, without reinforcement. The sides of the porch and steps settled nearly six inches as can be seen in the photograph above giving the floor of the porch a sagging appearance.



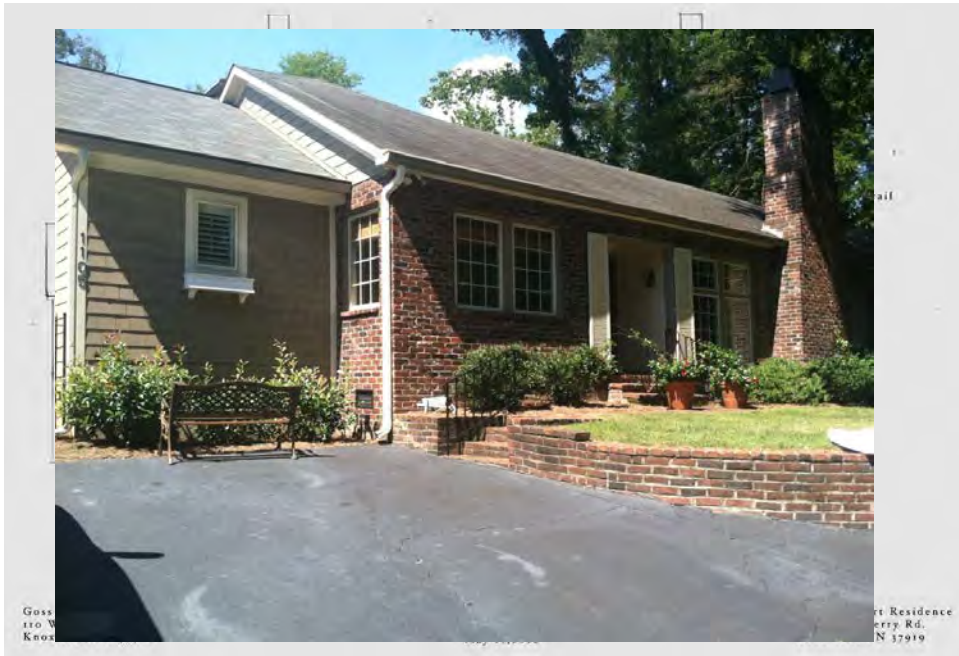
Wooded Canopy Lot. 800 Blows Ferry is a little over two (2) acres and heavily wooded with mature trees providing a terrific canopy and the house sits 135 feet back and 30 above Blows Ferry Road . Perhaps even more than the house itself, we fell in love with the land on which the house was

built. As stated in the Designation Report and Design Guidelines, the character of the Scenic Drive neighborhood is defined by the mature landscaping on each lot. Unfortunately, when we purchased the house, our landscape was in a serious state of neglect. Once majestic trees were smothered in ivy, and copious amounts of trash (cans, bottles, discarded furniture, rusted, chain link fencing and even drug paraphernalia) were found spread throughout the mottled underbrush of the wooded portions of the lot. The lot was so overgrown that it was impossible to walk the property. We have spent considerable time and expense cleaning up the lot. We have hired tree experts to save mature trees, remove vines from the trees and cut back dangerous overgrowth. We also contracted with KUB to run underground utilities to the house, thus giving an even cleaner unobstructed appearance to the canopy.

Having now corrected certain drainage issues and removed hazards to personal safety, we are now at a point where we want to plant a new generation of landscaping to enhance the remaining mature growth. We cannot move forward with a landscape architect until and unless our certificate of appropriateness is approved. A porch enhancement would complement the landscape features of our lot including the river view and three very large white oak trees down the hill between the house and Blows Ferry Road.

The porch enhancement we are proposing is not original to the home but the Scenic Drive Overlay doesn't require additions to adhere to the same scrutiny or strict interpretation of 'original' as does the Historical Overlay. Our home was built in 1952 and a large addition to the

rear of the house was added in 1970. We don't know when the porch pediment was expanded. We suspect it was sometime in the 1980s.

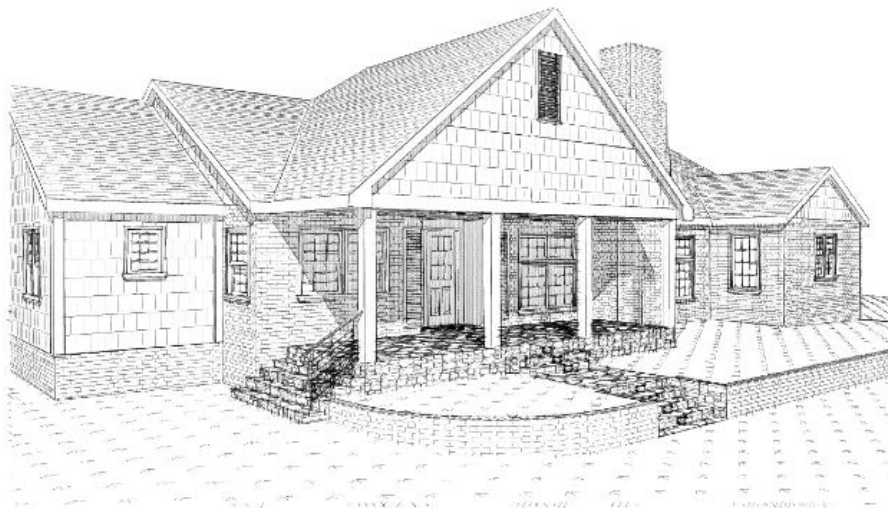


From reading the minutes of the meetings leading up to the adoption of the Scenic Drive Overlay it is clear the intent of the neighborhood overlay was to maintain architectural integrity not historical integrity.

While a home built in the 1950s in a 1950s style might be historically relevant in 2016. A home built in the 1950s in a 1750s style is not

historically relevant but it can (and should) maintain architectural integrity. We are not seeking to change anything about the style we are merely seeking to enhance the style by regaining a sense of proportion with as little impact to the historical aspects of the home as are possible.

Granting us a Certificate of Appropriateness is appropriate based on prior precedent. In January 2013 the HZC granted an application for 1105 Scenic Drive (1955) to add a substantial



front porch structure which altered the profile of the home. This ranch style home went from a rather plain ranch to a dynamic ranch style house with a large pediment (which is proportional to the porch and the home). A boring entry became a magnificent porch lending style to what was once a plain and less interesting structure. The home began with no

historical relevance and no architectural relevance and became architecturally relevant with the

addition of a properly designed proportional pediment. Additionally there is an addition to the right of the porch and the roof line was altered significantly.

1105 Scenic Drive. The addition of a substantial front porch to 1105 Scenic was clearly the right choice. The porch enhancement provided zero impact to the historical aspect of the home but added substantial architectural value. The home maintains a farmhouse style and feel and that is one of many reasons we love Sequoyah Hills, it is eclectic and beautiful in its diversity.

The existing porch is a foot less than the proposed in width and 18 inches less in depth.

Proposed New Entry Door 6' x 80" (painted)



Materials List for Porch Structure at 800 Blows Ferry Road

- Roof : Standing seam (low profile 1 “ standing seam) in charcoal grey
- Porch: Brick facing on foundation to match house; poured concrete floor on first level stamped and stained in basket weave pattern; Trex decking on second level; super structure to be 4 inch boxed steel trimmed with PVC or wood painted 8” x 8” posts and attached to house with minimum impact to existing brick facade.
- Steps: Steps to be constructed of three (3) runs of matching brick 8’ wide and proportional to the proposed front door and porch enhancement
- Siding: Brick to match existing
- Step Railing: Wrought iron (painted black) in Georgian style (see detail)
- Lights: Black metal coach lights on porch
- Porch Posts: PVC or wood (painted white)
- Railings: Wrought iron (painted black) in Georgian style (see detail)
- Doors:
1. Entry Door on First Level will be double arched top mahogany door with 3/4 glass 6’ wide requiring the opening to be widened by approx. 13 1/2 inches on each side of the existing door and a new mantle plate installed in arch form.
 2. Second Level will be 15 lite to match existing windows; the window opening will only be extended down to the level of the porch and the 36” door will be fit into the 40” opening with minimal impact to the existing facade.



Blows Ferry Rd

Blows

Survey of 800 Blows Ferry Road

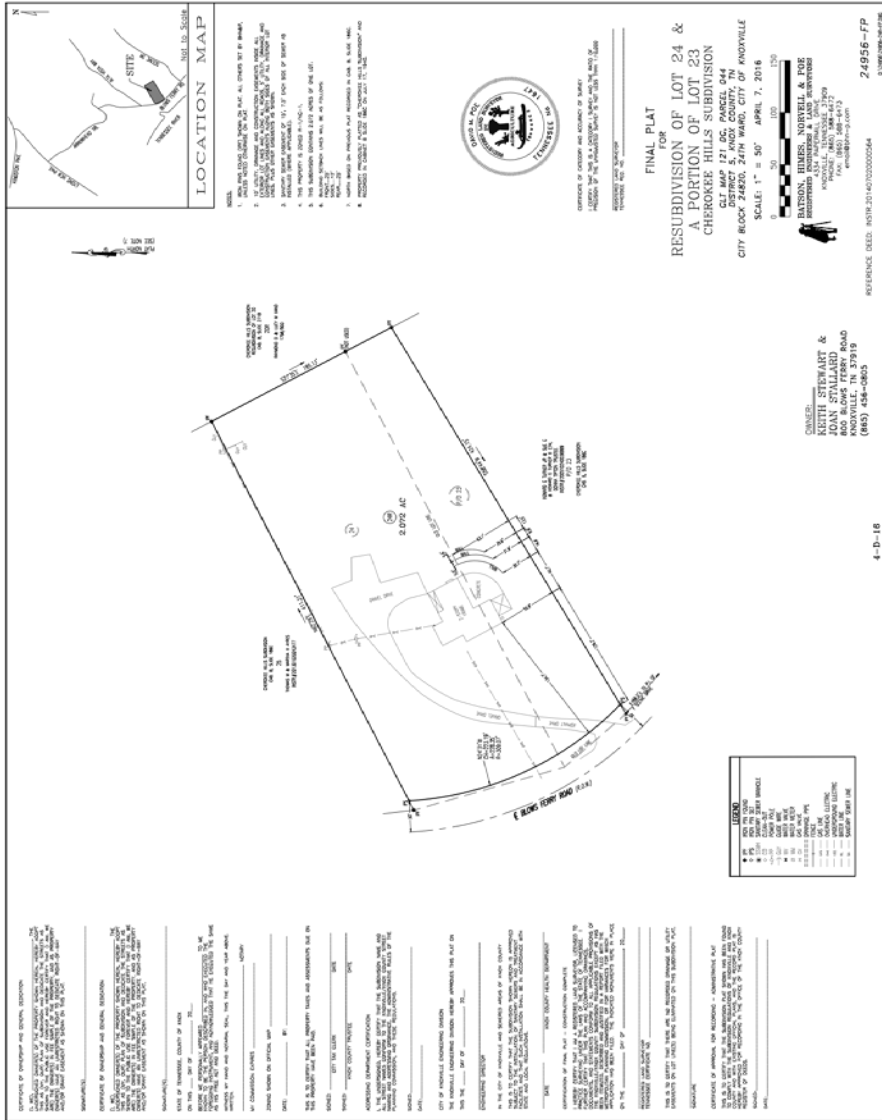
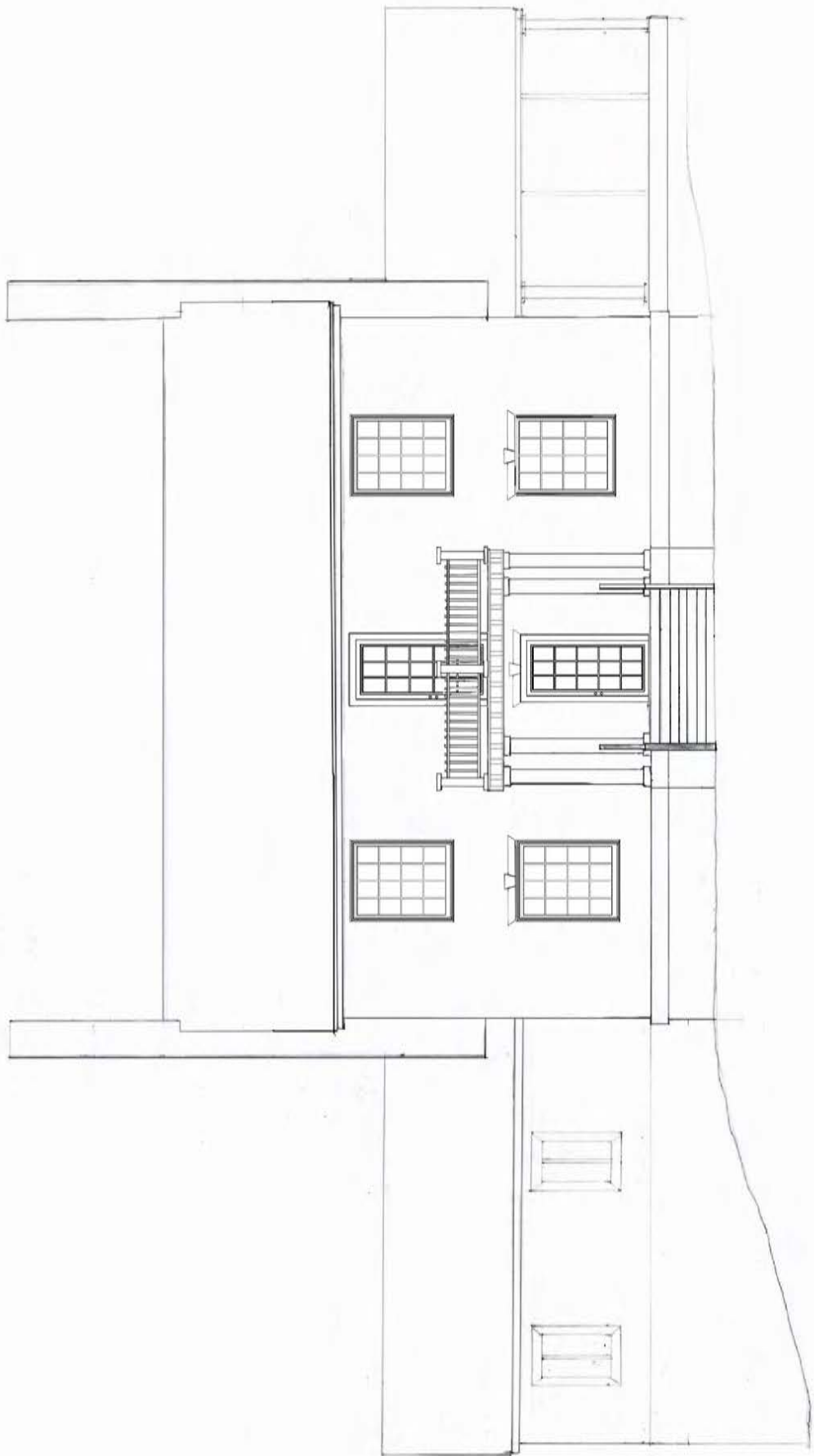


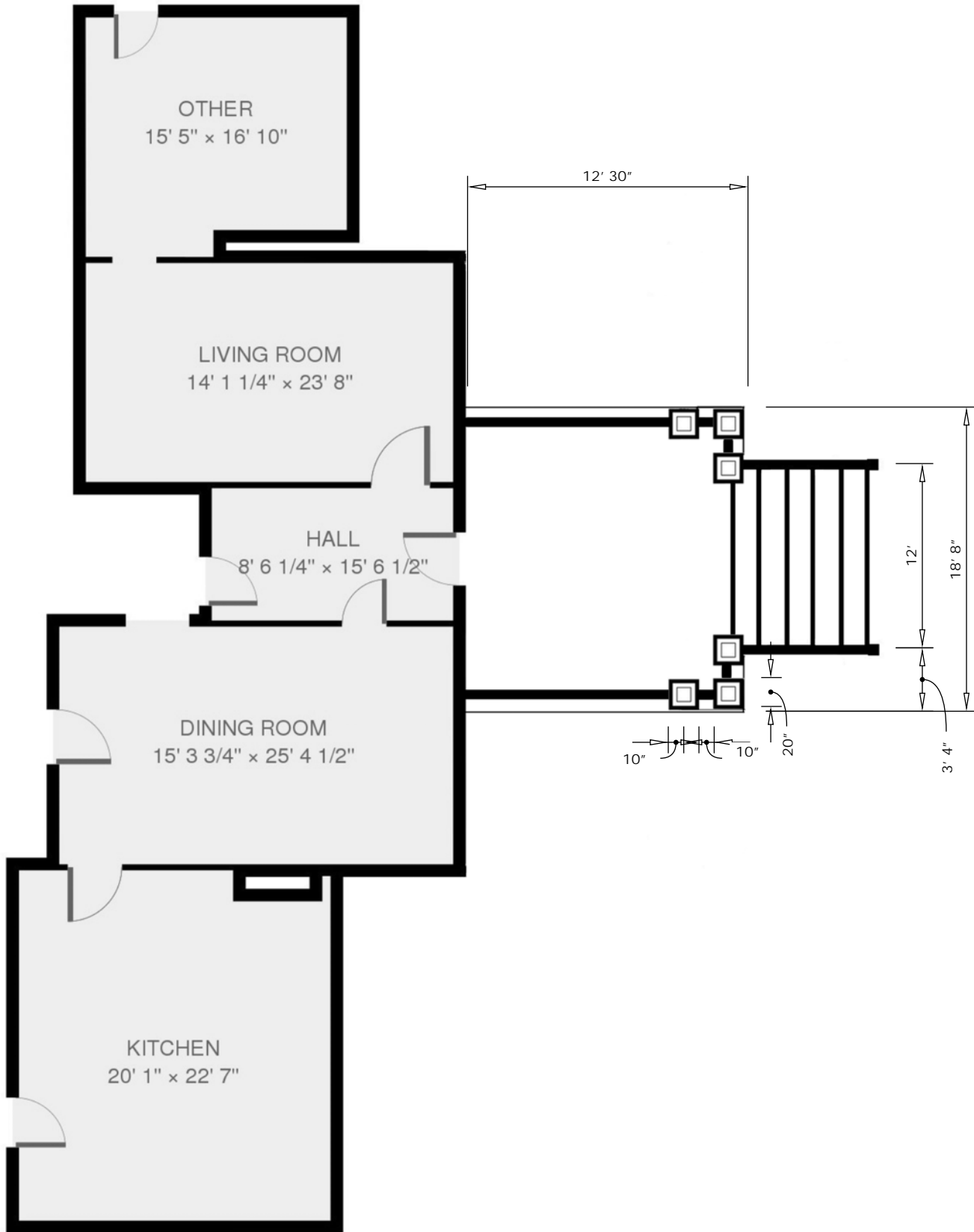
Photo of 800 Blows Ferry Road from above

800 Blows Ferry Road - Alternate porch



Keith Stewart Residence
800 Blows Ferry Rd.
Knoxville, TN 37919

Goss Design and Development
110 West Summit Hill
Knoxville, TN 37902



800 Blows Ferry Road - Floor plans





nemass.archadeck.com

Porches | Archadeck Outdoor Living

Images may be subject to copyright.



Visit page



800 Blows Ferry Road
Revised porch design

And the wide, covered porch; expansive steps; and generously proportioned open side decks extend the family's front living space.



Contact us today to learn more about our pleasing porch designs. See more of our outstanding outdoor space designs by visiting the "Our Projects" tab on our