



**KNOX COUNTY HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 10801 2nd Dr 37934
DISTRICT: Village of Concord HZ

FILE NO.: 7-C-15-HZ

MEETING DATE: 7/16/2015
APPLICANT: Jerry Whitson (Owner)
LEVEL OF WORK: Level II. Construction of outbuilding

PROPERTY DESCRIPTION: Folk Victorian with Craftsman porch (c.1903)
One-story frame with synthetic siding. Cross-gabled asphalt-shingled roof. Original one-over-one double-hung windows replaced with 6/6 windows. Brick foundation. Stone piers support tapered wood columns on later-added Craftsman-style front porch. L-shaped original plan with late addition on southwest side of house. Contributing.

► **DESCRIPTION OF WORK:**

Construct detached 14'x20' frame carport to southwest of house. Low-pitched (5/12) front-gabled roof with shed-roof skirting in front and back to be covered in metal with faux standing seams. The 2-foot overhang in the sides and 4 feet on the front and rear are supported by curved wooden eave brackets. Wood support posts to be 8x8 with 6"-inch wood bases. The height is 10'-6" to the base of the intersection of the roof with the fascia. The proposed structure is set back 5 feet from the front of the side addition and is 16 feet away from the side of the

► **APPLICABLE DESIGN GUIDELINES:**

Village of Concord Design Guidelines, adopted by the Knox County Commission on October 22, 2001.

OUTBUILDINGS

Auxiliary or outbuildings are sometimes found in Concord, and would have included carriage houses, barns, outhouses and sheds. They were built in styles that complimented the style of the primary building on the lot. Buildings that resemble carriage houses, work buildings or simple one-story garages may be appropriate for the historic district. Their size and construction should duplicate the original outbuildings that would have been found. Their materials should be compatible with the materials found on the original primary building on the lot.

COMMENTS:

The applicant desires to design the carport so that it appears as more of a gazebo than a carport. A front or side gable on the proposed carport would be more compatible with the roof line of the main house, although it would then have an appearance more like that of a carport than a gazebo.

STAFF FINDINGS:

- 1) The house is an eclectic Folk Victorian / Queen Anne cottage-style with a later-added Craftsman porch.
- 2) The proposed carport is not a definable style, but is compatible with the eclectic style of the house.
- 3) The main roof of the proposed carport is front gabled as is the house, but with shed skirting making it appear to be a cross between a hipped roof and a gabled roof.
- 4) The wood frame of the proposed carport is appropriately compatible with that of the house.
- 5) Accessory structures historically were and typically are located to the rear of the house.
- 6) The size of the proposed carport does not overwhelm the house.



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7) Metal roofing was often used on outbuildings, although it was typically corrugated metal. The standing seams are typically not more than an inch high and are "pinched" together in profile.

► **STAFF RECOMMENDATION:**

Approve carport with condition that a final specification for the metal roof be submitted to and approved by staff before installation.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION

Please print all information:

1. APPLICANT NAME: Jerry B. Whitson
Address: 10801 2nd DR. Knoxville TN 37934
Telephone: 865-206-7187 E-mail address: 010CONCORD1@Gmail.com
Relationship to Owner: Same

2. OWNER NAME: Jerry B. Whitson
Address: 10801 2nd DR. Knoxville TN 37934
Telephone: 865-206-7187 E-mail address: 010CONCORD4@Gmail.com

3. LOCATION OF PROPERTY:
Address: 10801 2nd DR. Tax ID/Lot/Parcel No: 1536A013

4. LEVEL OF WORK (circle Level)

- Level I Routine repair; replacement of deteriorated materials in-kind; removal of artificial siding; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure or a late addition; renewal of COA
- Level II Major replacement of materials or architectural elements; construction of an addition or outbuilding
- Level III Construction of a new primary building; subdivision of individually designated property
- Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

Car port / GA2260 - free standing

6. SIGNATURE OF APPLICANT: [Signature] Date: 6/12/15

Incomplete applications cannot be accepted.

Mail application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902; or Fax: (865) 215-2068; or E-mail to Kave.Graybeal@knoxmpc.org
Phone: (865) 215-3795

FOR STAFF USE ONLY			
Date Received	<u>6/12/15</u>	Approved	Disapproved
Date Acted On			Approved As Modified



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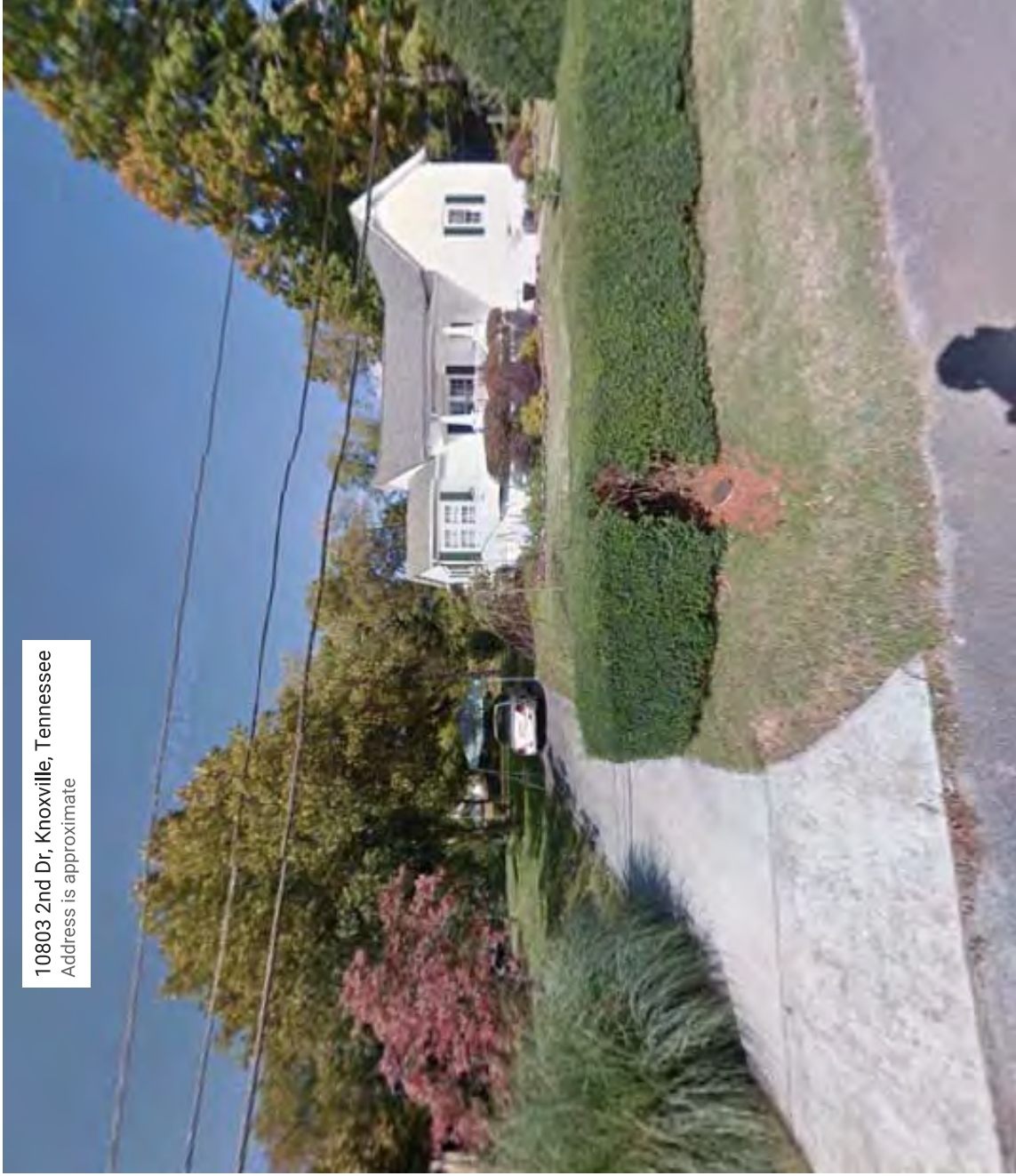
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10803 2nd Dr, Knoxville, Tennessee
Address is approximate

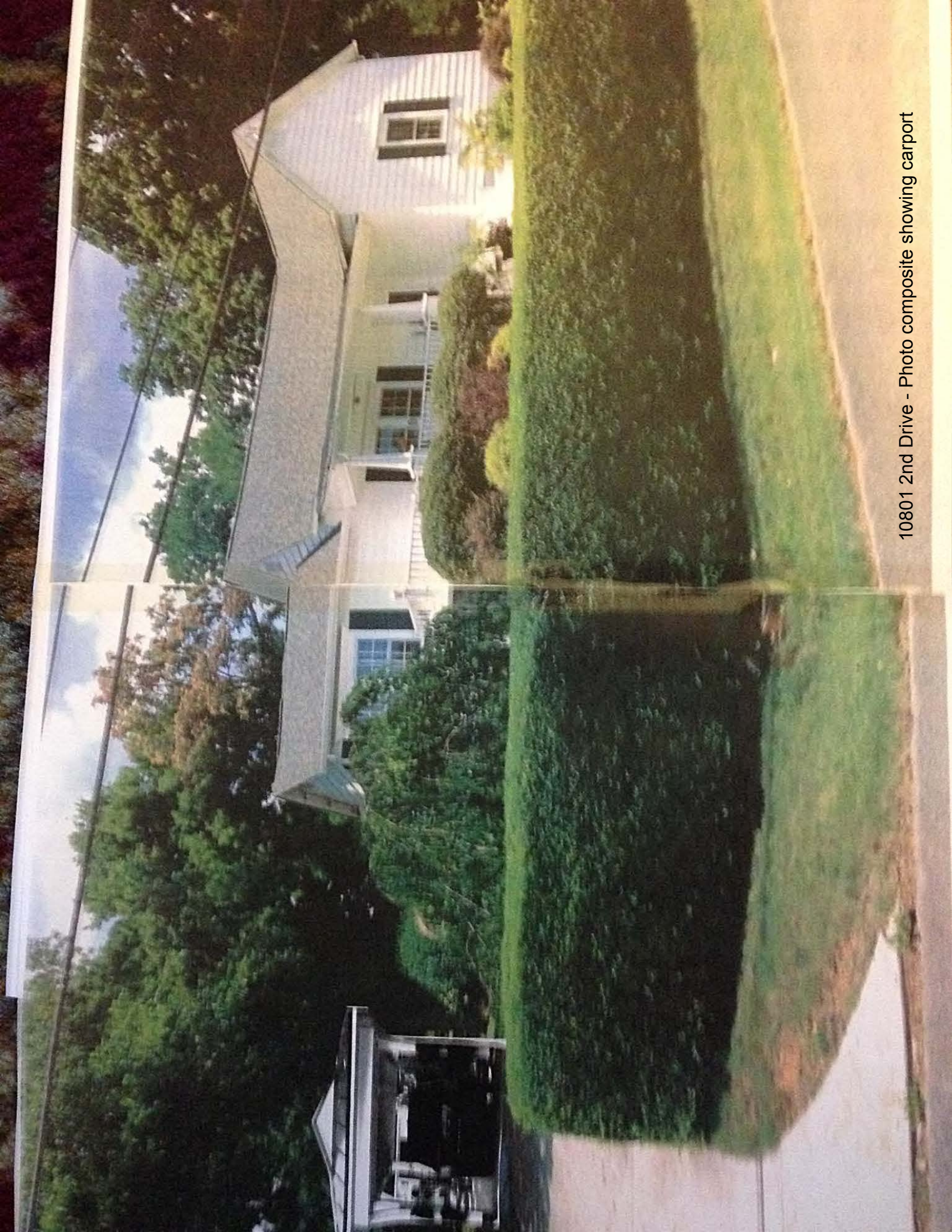




2/19 #3

10801 2nd
Drive

10801 2nd Drive - Front of main house



10801 2nd Drive - Photo composite showing carport



10801 2nd Drive - Examples of proposed carport and detail

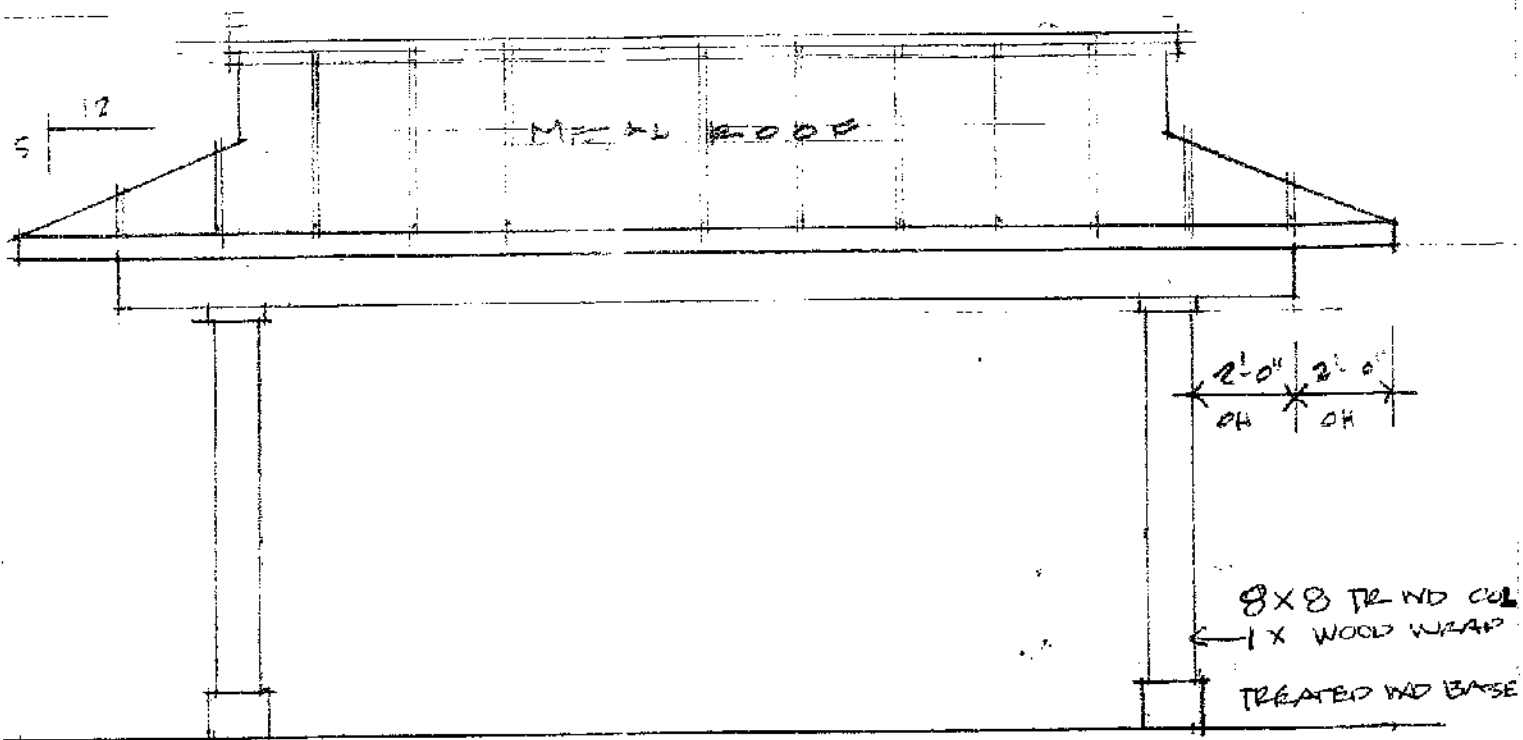
(Address 10801 2nd DR Concord TN 37934)

threlkeld • phillips
ARCHITECTURE

925 OLIVE ROAD
CONCORD, TN. 37934
PHONE: (865) 719-8490

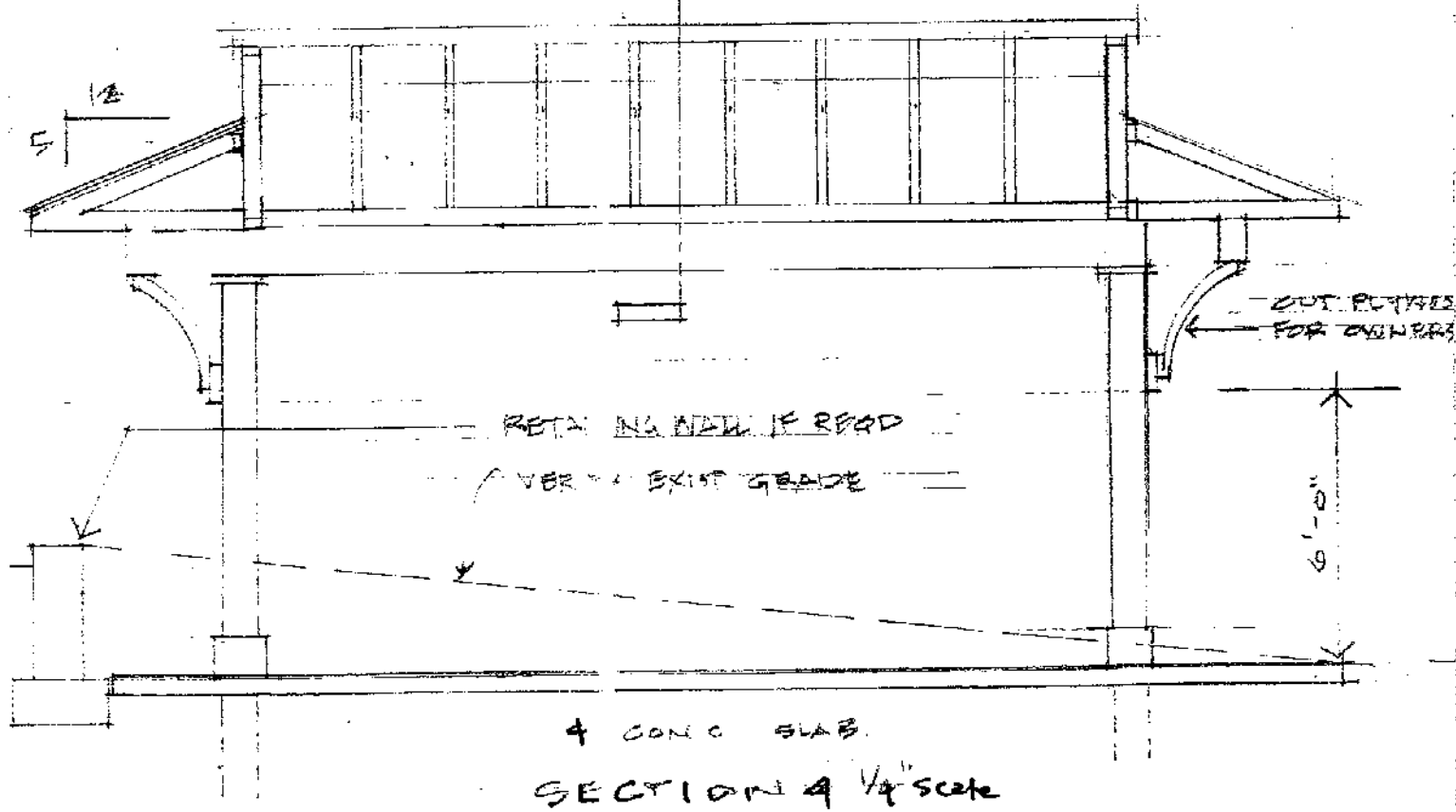
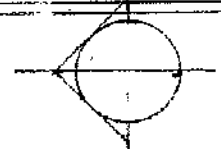
10019 McCORMICK PLACE
KNOXVILLE, TN. 37923
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threlkeldphillips@gmail.com

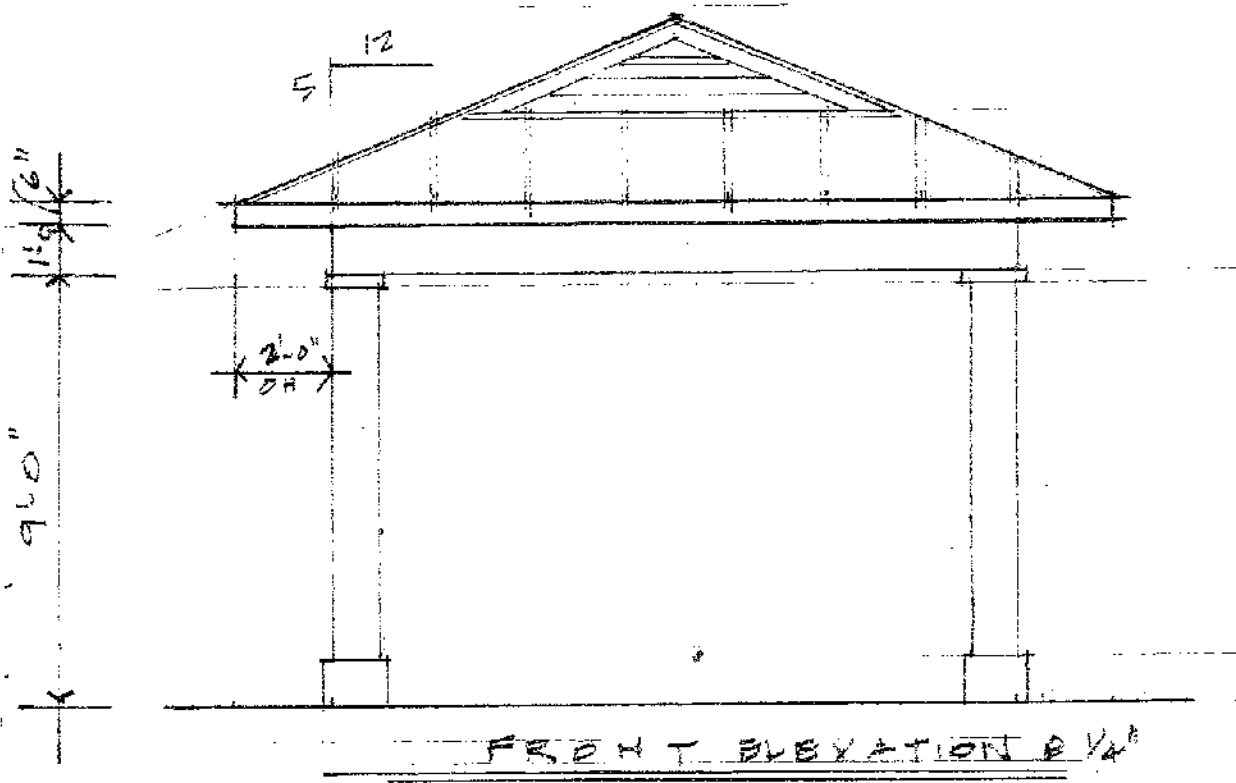


SIB ELEVATION @ 1/4"

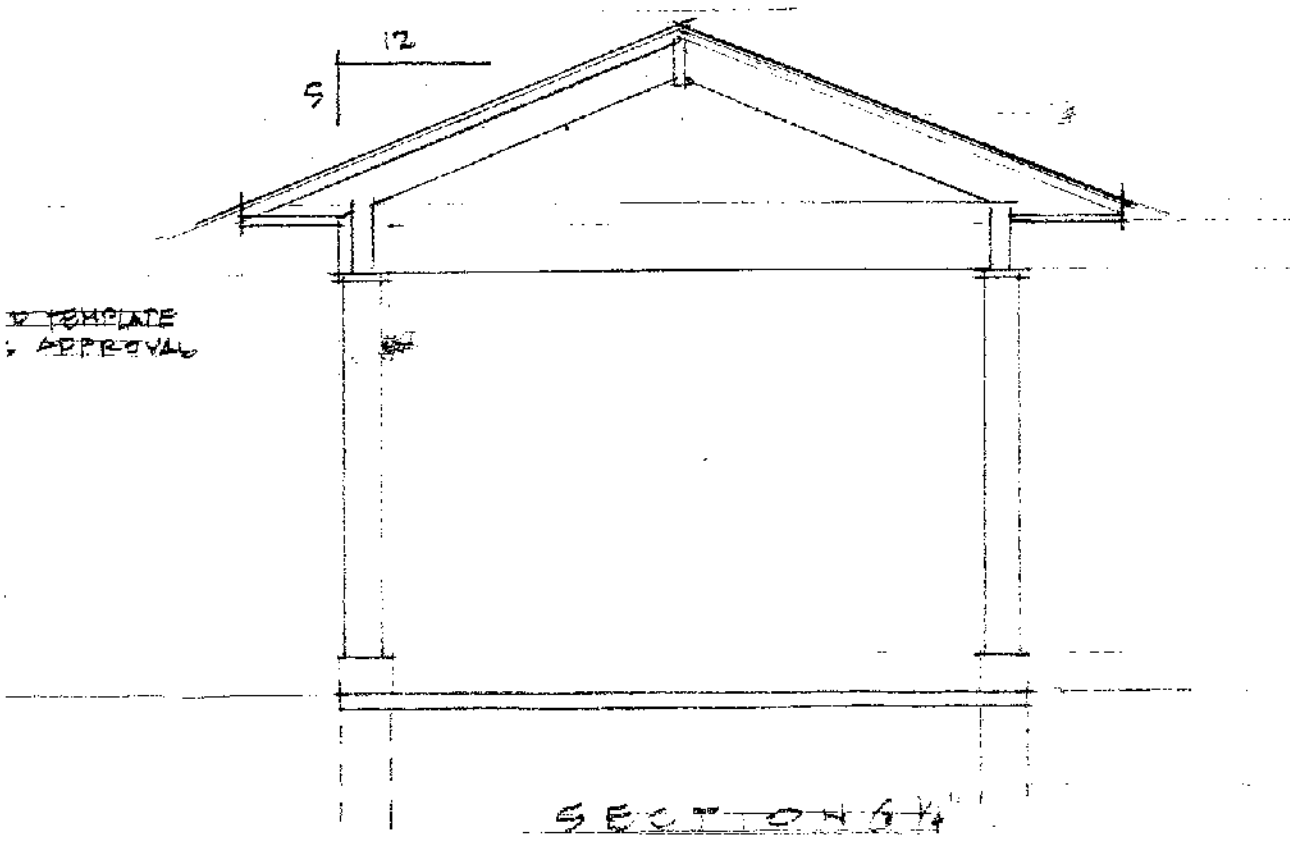
10801 2nd DRIVE
7/2015



10801 2nd Drive - Garage side sections



10801 2nd DRIVE
7/2015

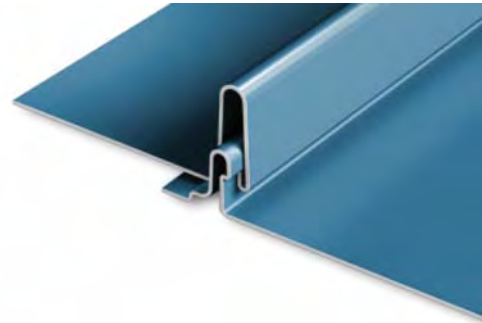


Edge-Loc Panel

Features

- ➔ Continuous interlock
- ➔ Labor-saving one-piece design
- ➔ Striations and pencil ribs available
- ➔ Maximum panel length 25'-0" long
- ➔ No clips required

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OVERVIEW

MATERIALS

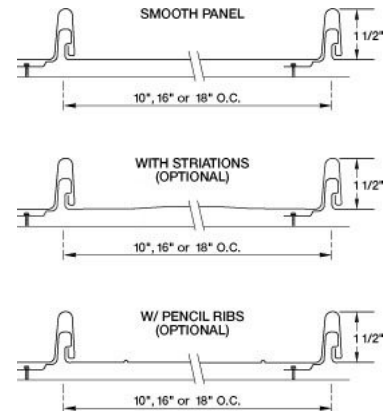
Edge-Loc Metal Roofing Panel is an economical, innovative addition to the PAC metal roofing line. Edge-Loc panels feature a 1 1/2" leg height and a continuous interlock for improved performance. These panels require no clips. Edge-Loc panels can be an economical panel solution that meets a variety of roofing design requirements.

Trim

All flashing and trim shall be fabricated by manufacturer or qualified fabricator. Flashing shall be PAC-CLAD aluminum (.032 – .063 gauge as specified) or PAC-CLAD steel (24 gauge or 22 gauge as specified). A 20-year non-pro-rated finish warranty can be supplied covering finish performance. Vinyl masking is recommended on all fabrication applications where extra handling is expected. NOTE: The strippable film must be removed immediately after installation.

Installation

Edge-Loc can be used in a variety of applications to accommodate several building designs. Edge-Loc metal roofing panels have an integral interlocking system by design, meaning the panels install in one direction. Edge-Loc has a continuous fastening edge that is easily installed using standard screws. Consult with a local architect/engineer for compliance with local codes and conditions. Edge-Loc requires no clips. Please contact Petersen for detail assistance on projects requiring longer panel lengths.



RECYCLE CONTENT

[PAC Recycle Statement](#)

SPEC SHEETS



Petersen Headquarters
 1005 Tonne Road
 Elk Grove Village, IL 60007
 work: [800-PAC-CLAD](tel:800-PAC-CLAD)
 fax: [800-722-7150](tel:800-722-7150)
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Annapolis Junction
 9060 Junction Drive
 Annapolis Junction, MD 20701
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Tyler
 10551 PAC Road
 Tyler, TX 75707
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Fridley
 350 73rd Avenue, NE Ste 1
 Fridley, MN 55432
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 102 Northpoint Pkwy
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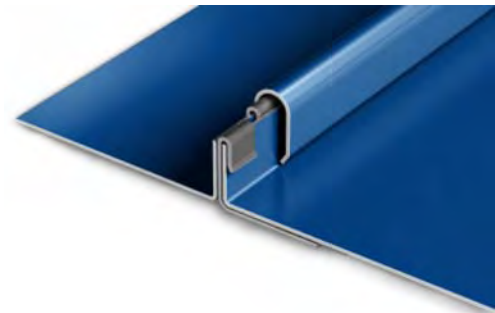
4 / 25 Boyd's Bear Country

Snap-On Standing Seam Panel

Features

- ➔ Ideal for transition roofs
- ➔ Stiffener beads available
- ➔ Herr-Voss corrective leveled
- ➔ 20 year non-prorated finish warranty
- ➔ Maximum panel length of 45 feet

 [Spec Sheet Download](#)  [Related Products](#)


 [Color Chart](#)
 [E-Binder](#)
 [Spec Builder](#)
 [Submittal Builder](#)
 [Installation Videos](#)
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OVERVIEW

MATERIALS

VIDEOS

Snap-On Standing Seam metal roofing panels are designed for use in roofing, mansard and fascia applications. The panels are designed to be installed over a waterproofed solid substrate and a minimum 3:12 roof pitch. Snap-On Metal Panels are to be factory roll-formed in continuous lengths. Maximum panel length is 45 feet and minimum panel length is 4 feet.

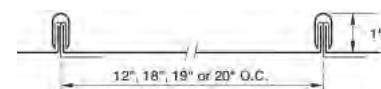
These metal panels are ideal for specification on applications where roofing transitions are required. The simplicity of the pan design combined with corrective leveling provides superior flatness and allows for greater workability on site.

Trim

All flashing and trim shall be fabricated by manufacturer or qualified fabricator. Flashing shall be PAC-CLAD aluminum (.032 – .063 gauge as specified) or PAC-CLAD steel (24 gauge or 22 gauge as specified). A 20-year non-pro-rated finish warranty can be supplied covering finish performance. Vinyl masking is recommended on all fabrication applications where extra handling is expected. NOTE: The strippable film must be removed immediately after installation.

Curved Panels

The 1" high Snap-On Standing Seam Roofing Panel can now be curved to a concave or convex radius, with a minimum radius of 9 ft. This panel is ideal for barrel vaults and entrance ways. Curved panels must be installed over a waterproofed solid substrate.



PDF DRAWINGS

- Eave Detail
- Fascia to Soffit Transition
- Fascia/Rake Wall Detail
- Gable Detail
- Gravel Stop/Head Detail
- Gutter Detail
- Head Wall Detail
- Hip/Ridge Detail
- Inside Corner Detail
- Outside Corner Detail
- Peak Detail
- Pitch Break Detail
- Rake Detail
- Roof to Fascia Transition
- Sill Detail
- Transverse seam for panel (low pitch)
- Transverse seam for panel (steep pitch)

Installation

Snap-On Metal Panels shall be installed over solid decking (5/8" plywood, nailboard insulation or equal) with an underlayment of 30# (min.) roofing felt applied horizontally from eave to ridge. Panels shall be fastened using Petersen Non-Penetrating Clips, fastening on 18" centers (max.). Minimum slope at 3:12 pitch. Consult a local architect or engineer for requirements of local codes and conditions.

Valley Detail
Vented Ridge Detail

- ➔ CAD DRAWINGS
- ➔ TESTING
- ➔ BIM
- ➔ PANEL CONDITIONS
- ➔ RECYCLE CONTENT



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