



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 1003 Scenic Dr 37919

FILE NO.: 1-D-15-HZ

DISTRICT: Scenic Drive NC-1

MEETING DATE: 1/15/2015

APPLICANT: Will McWhorter Schmid & Rhodes Construction (contractor)

LEVEL OF WORK: Level II. Construction of addition or outbuilding

PROPERTY DESCRIPTION: Colonial Revival (1929)

Two-story frame with brick veneer wall covering. Low-pitched hip and cross gable roof with slate roof covering. Five-bay façade with central entry highlighted by front porch with tripled round wood columns at front corners and engaged pilasters at rear supporting second-story balcony, sawn wood rail. First-story front entry with fanlight and sidelights. Second-story porch entry through paired ten-light French doors. Six-over-six-double-hung wood windows. Interior side brick chimney. Extended one-story brick wall on north elevation with arched entry. Brick foundation. Irregular plan. (Contributing)

► **DESCRIPTION OF WORK:**

Construct 1-story brick-clad garage to rear of house. Connect garage to existing house with 1-story, approximately 23-foot long addition, which will project out approximately 12 feet from the rear east side of the house. Construct a bay three-sided bay window on the rear of the house clad with fiber cement board. A former garage was demolished on the site for the proposed garage. The new garage will be constructed on the same slab, but will have a footprint that is approximately 3.5 feet deeper and 2 feet longer. The garage and addition will have materials to match those of the former garage and the existing house such as shutters, hipped roof, asphalt roof shingles, brick foundation, double-hung windows, and gutters. The garage and addition will, however, be clad in fiber cement board siding.

► **APPLICABLE DESIGN GUIDELINES:**

Scenic Drive NC-1 Design Guidelines, adopted by the Knoxville City Council on September 26, 2006.

2. In constructing new buildings, the materials to be used should be appropriate for the style of house that is being constructed. The styles are described in the Properties Inventory, and are summarized in these design guidelines.

4. The maximum lot coverage for the footprint of a house and accessory buildings shall not exceed 30% of the lot. Pavement in front and/or side yards visible from public streets shall be minimized, so that the landscaping and plantings convey the impression of a residential setting. The desirable maximum lot coverage for all impermeable surfaces including the primary structure, accessory buildings, driveway, pool,



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patio, tennis court and other features on the lot is 50% of the lot. Impermeable surfaces on lots should not exceed 65%.

5. Side and rear setbacks . . of contributing primary buildings combined with their new additions, shall respect the lot placement of existing historic buildings. In no case shall the side yards be less than 8 feet for a single story or 12 feet for a multi-story building, with a combined side yard measurement for both sides of the building of not less than twenty feet.

6. New additions and constructions shall conform to the prevailing widths and heights of typical facades of adjacent houses. The footprint of new additions and constructions should be in character and proportion with contributing neighboring houses, even if originally platted lots have been combined into larger lots. Detached accessory buildings shall be proportional to the house in height and size.

7. Carports and garage doors should not face the street except in cases where there is no reasonable alternative. If they do face the street, garage entrances should be designed to be consistent with the home's architectural features.

8. The design of detached garages and carports and the materials of which they are constructed should be consistent with the character of the main structure.

9. The recommended location for additions is to the rear or side of existing buildings. If additions are to be made to the side elevations of existing buildings, they should be located at least five feet behind the front facade of the existing building.

10. Detached accessory buildings, including carports and detached garages, should be



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located at least fifteen feet to the rear of the front facade line and no nearer than five feet to a side or rear lot line. In size, they should not exceed the building footprint of the principal building and should be consistent in scale with the primary building on the lot.

11. The design of additions, accessory buildings, including carports, and modifications, should be consistent with the character of the main structure.

12. If an addition or modification is made to an existing house, the wall cladding material should match or complement those on the existing house. Traditional combinations such as wood clapboard or wood shingle siding additions on brick or stone primary structures are acceptable if matching materials cannot be secured. The roofing material for additions and modifications should match the existing roofing material.

13. All construction plans shall assess and take into account the impact of drainage on both the subject property and neighboring properties.

COMMENTS:

Demolition of the existing garage will be reviewed by Building Inspections. The demolition of accessory structures in the Scenic Drive NC-1 Overlay is not regulated by HZC. The inventory and design guidelines do not address existing accessory structures.

STAFF FINDINGS:

1. The proposal meets all the design guidelines listed for Scenic Drive NC-1 additions and accessory structures.
2. The percentage of proposed impermeable surface is approximately 22 percent. (The guidelines state that a maximum lot coverage for the footprint of a house and accessory buildings should not exceed 30 percent of the lot and that the desirable maximum lot coverage for all impermeable surfaces including the primary structure, accessory buildings, driveway, pool, patio, tennis court and other features on the lot is 50 percent of the lot. Impermeable surfaces on lots should not exceed 65 percent.)



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3. The minimum side yard distance from property line to the ADDITION is approximately 34 feet. The distance from the garage to the rear property line is approximately 86 feet. (The guidelines state that side yards may not be less than 8 feet for a single-story or 12 feet for a multi-story building.)

4. The proposed garage exceeds a distance of 15 feet from the front façade of the house, and along with the addition does not exceed the footprint of the main house. (The guidelines state that detached accessory buildings, including carports and detached garages, should be located at least 15 feet to the rear of the front facade line and no nearer than 5 feet to a side or rear lot line. In size, they should not exceed the building footprint of the principal building and should be consistent in scale with the primary building on the lot.)

► **STAFF RECOMMENDATION:**

Approval with the condition that the final selection of garage door design be submitted to staff for approval.

Certificate (File) No: 1-E-15-H2

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information:

1. NAME OF APPLICANT: Will McWhorter-Schmid & Rhodes

Address: 1003 SCENIC DR. 37919

Telephone: 865-414-9821 E-mail address: WMCWHORTER@SCHMIDANDRHODES.COM

Relationship to Owner: GENERAL CONTRACTOR

2. NAME OF OWNER: PAUL & JULIE SEALS

Address: 1003 SCENIC DR. 37919

Telephone: 660-5800 E-mail address: _____

3. LOCATION OF PROPERTY:

Address: 1003 SCENIC DR. Tax ID/Lot/Parcel No: 121DC032/5-132

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure; renewal of COA

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding

Level III Construction of a new primary building; subdivision of individually designated property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

See ATTACHMENT

6. SIGNATURE OF APPLICANT: Will McWhorter Date: 12/23/14

Return application to: MPC, Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902 or Fax: 865-215-2068. Incomplete applications will not be accepted.

FOR STAFF USE ONLY			
Date Received	<u>12/29/14</u>	Approved	Disapproved
Date Acted On		Approved As Modified	

The Seals Residence Additions

December 23, 2014

General Project Description

We will be working in 2 different areas of the home. The significant portion of the project will include an addition of a garage, bonus room, family room, and bathroom. The much smaller portion that is related to the addition will be a bump out of an exterior bedroom wall to create a larger bedroom.

Garage Addition

- Shutters to match existing
- Hip roof to match existing
- Existing brick to be reused as much as possible to tie existing brick into new construction
- Windows to be Windsor windows that will match the design of the existing windows on the house
- Hardi shake siding
- Driveway to remain as pavers
- GAF Slateline roofing shingle to match existing
- O.G. Gutters to match existing
- Mahogany exterior doors at garage



1003 Scenic Drive
 Scenic Drive NC-1

KGIS - 606 Main St - Suite 150 - Knoxville, TN 37902 - www.kgis.org

Printed: 1/8/2015 at 9:33 AM

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1003 Scenic Drive—front facade

Neighborhood Conservation Overlay

1003 Scenic Drive (121DC032) Colonial Revival (1929). Two-story frame with brick veneer wall covering. Low-pitched hip and cross gable roof with slate roof covering. Five-bay façade with central entry highlighted by front porch with tripled round wood columns at front corners and engaged pilasters at rear supporting second-story balcony, sawn wood rail. First-story front entry with fanlight and sidelights. Second-story porch entry through paired ten-light French doors. Six-over-six-double-hung wood windows. Interior side brick chimney. Extended one-story brick wall on north elevation with arched entry. Brick foundation. Irregular plan. (C)



1003 Scenic Drive – Rendering #1



1003 Scenic Drive – Rendering #2



1003 Scenic Drive – Rendering #3

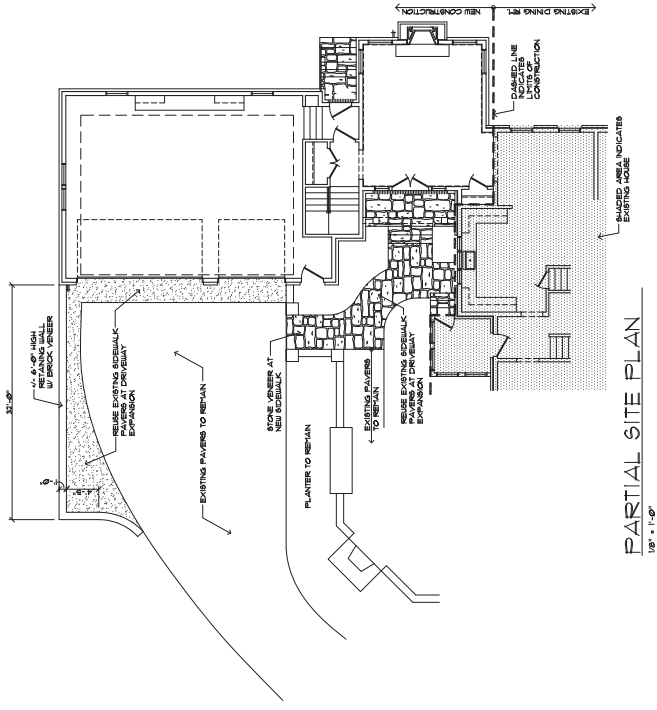


1003 Scenic Drive – Rendering #4

ADDITIONS & ALTERATIONS TO THE SEALS RESIDENCE

DRAWING INDEX

- A1 COVER SHEET
- A2 DEMOLITION PLANS & FOUNDATION DIMENSION PLAN
- A3 MAIN FLOOR PLAN & SECOND FLOOR PLAN
- A4 ELEVATIONS
- A5 BUILDING SECTIONS & SCHEDULES
- A6 MAIN FLOOR & SECOND FLOOR ELECTRICAL PLANS
- S1 FOUNDATION PLAN & FIRST FLOOR FRAMING PLAN
- S2 SECOND FLOOR FRAMING PLAN & ROOF FRAMING PLAN
- S3 STRUCTURAL NOTES



WILLIAM ANDREWS, ARCHITECT

KNOXVILLE, TN

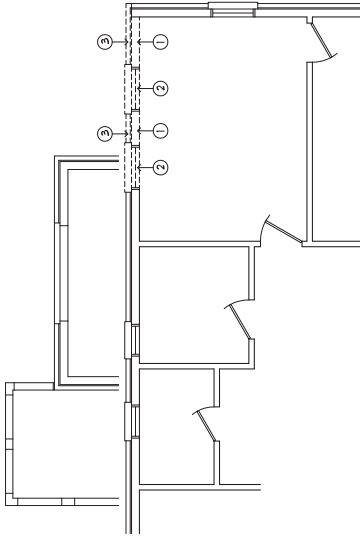
William Andrews Architects
1109 Holston Hills Rd., Knoxville, TN 37914
T: 865-544-1001 F: 865-544-9222

WILLIAM ANDREWS ARCHITECTS
1109 HOLSTON HILLS RD., KNOXVILLE, TN 37914
T: 865-544-1001 F: 865-544-9222



DRAWN BY: JAMES KYRIAKIS
DATE: 06/24
SCALE: 1/8" = 1'-0"

SHEET
A1
OF A6



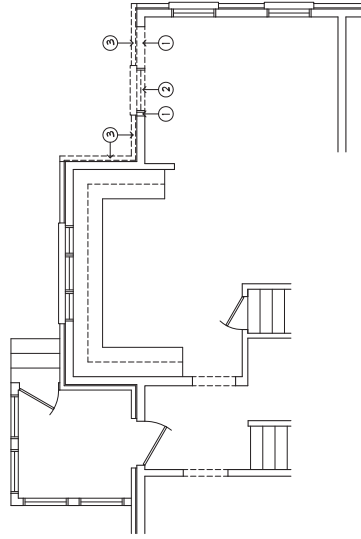
SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"

DEMOLITION NOTES

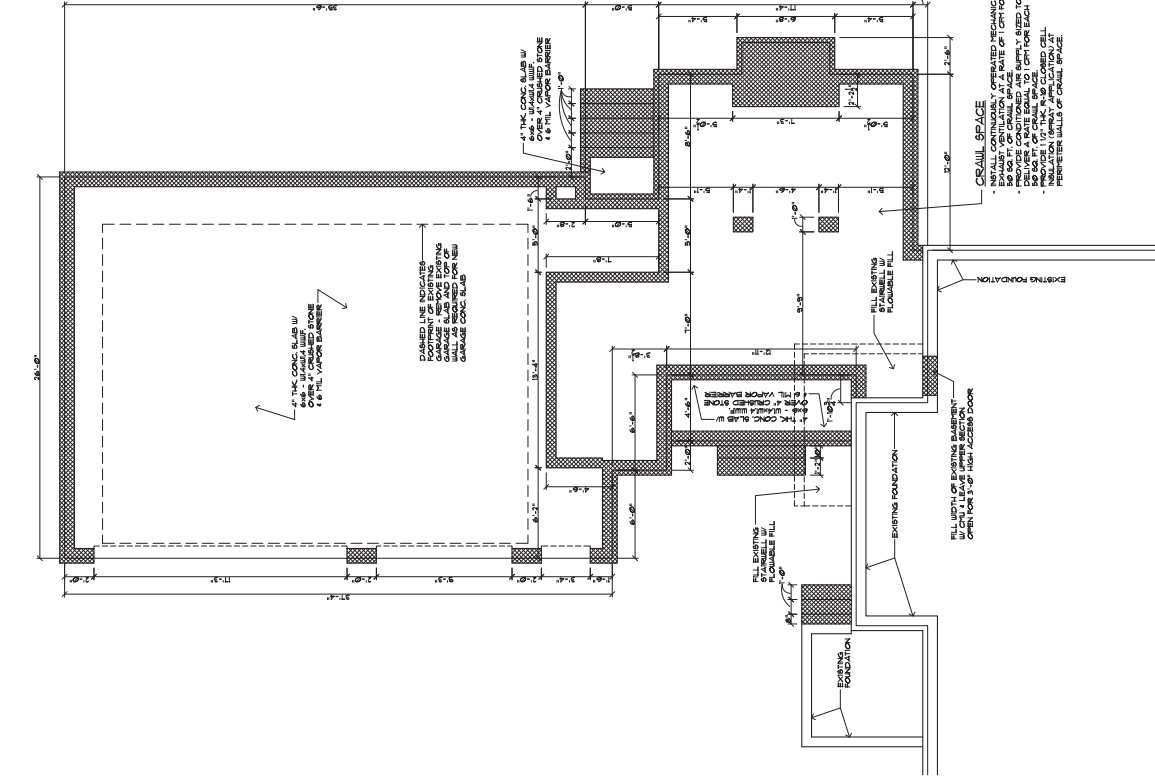
- ① REMOVE EXISTING WALL TO LIMITS SHOWN (PROVIDE TEMPORARY SUPPORT AS REQ'D. FOR FLOOR OR ROOF ABOVE.)
- ② REMOVE EXISTING WINDOW
- ③ REMOVE EXISTING BRICK TO LIMITS SHOWN & REUSE TO BLEND WITH NEW BRICK

LEGEND

- EXISTING WALL TO REMAIN
- - - - EXISTING WALL TO BE REMOVED



MAIN FLOOR DEMOLITION PLAN
1/4" = 1'-0"



FOUNDATION DIMENSION PLAN
1/4" = 1'-0"

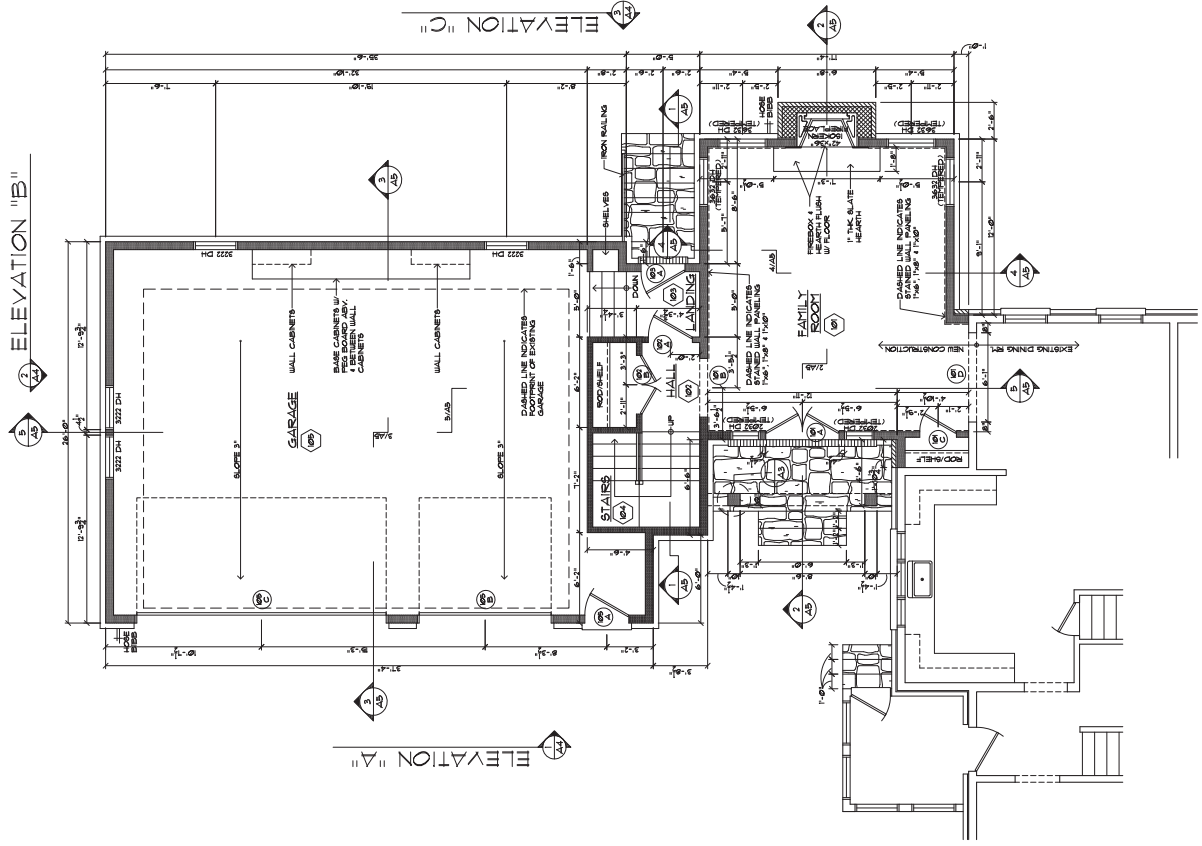
William Andrews Architects
5109 Holston Hills Rd., Knoxville, TN 37914
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ADDITIONS & ALTERATIONS TO THE
SEALS RESIDENCE

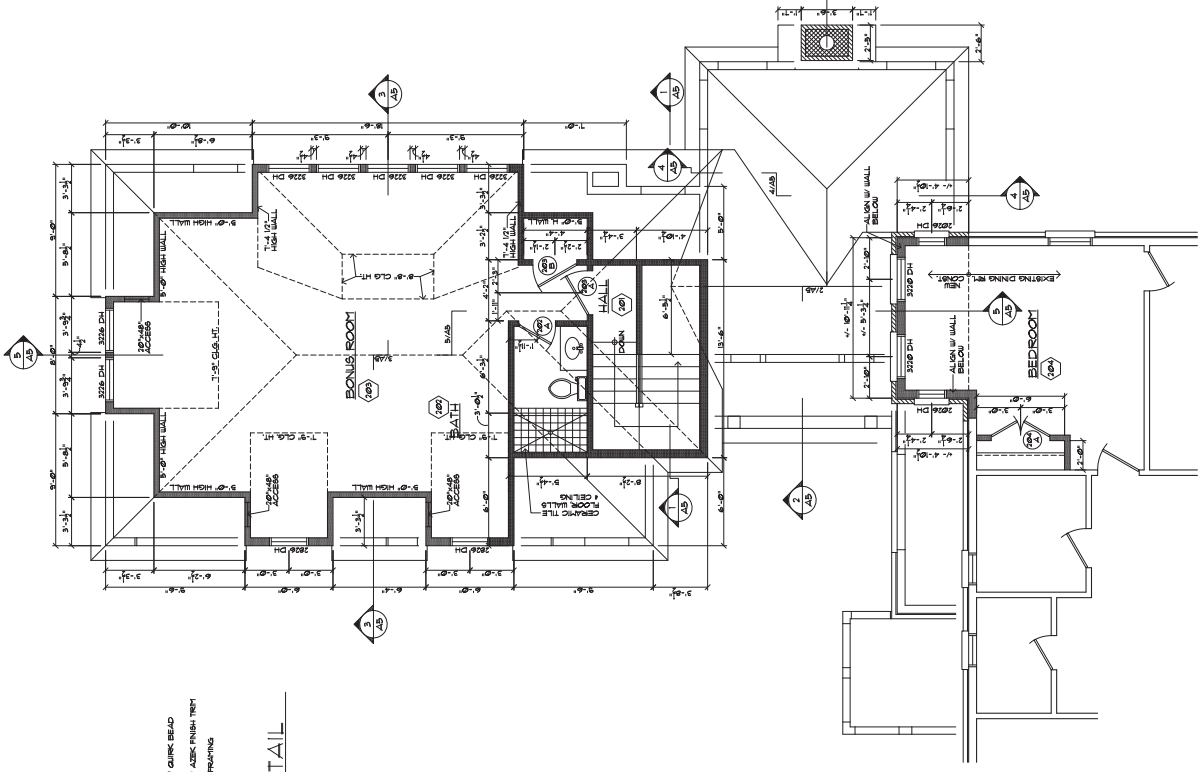


DRAWN BY: JAMES WYTHEUS
DATE: 06/24
SCALE: 1/4" = 1'-0"

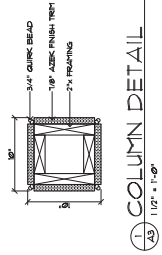
SHEET
A2
OF A6



MAIN FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



ELEVATION "B"

ELEVATION "A"

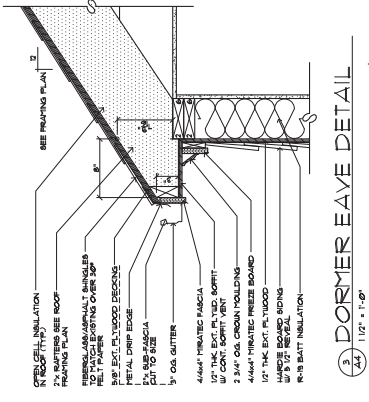
ELEVATION "C"

Additions & Alterations to the
Seals Residence

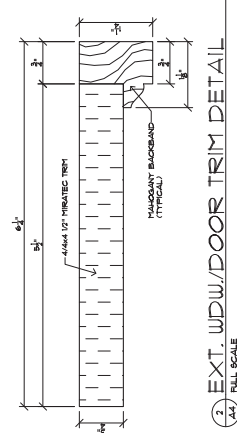
William Andrews Architects
5109 Holston Hills Rd., Knoxville TN 37914
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DRAWN BY: JAMES SKYPIERS
DATE: 06/24
SCALE: 1/4" = 1'-0"

SHEET
A3
OF A3

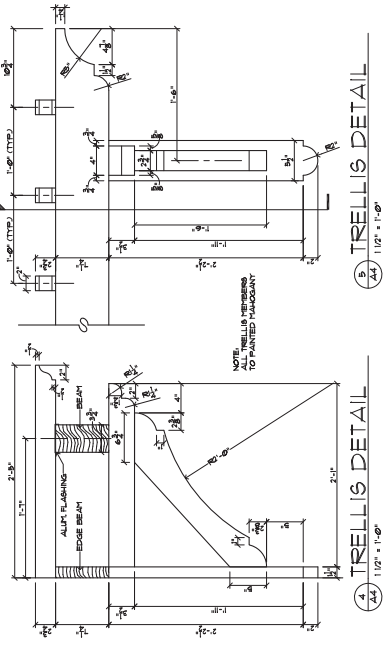
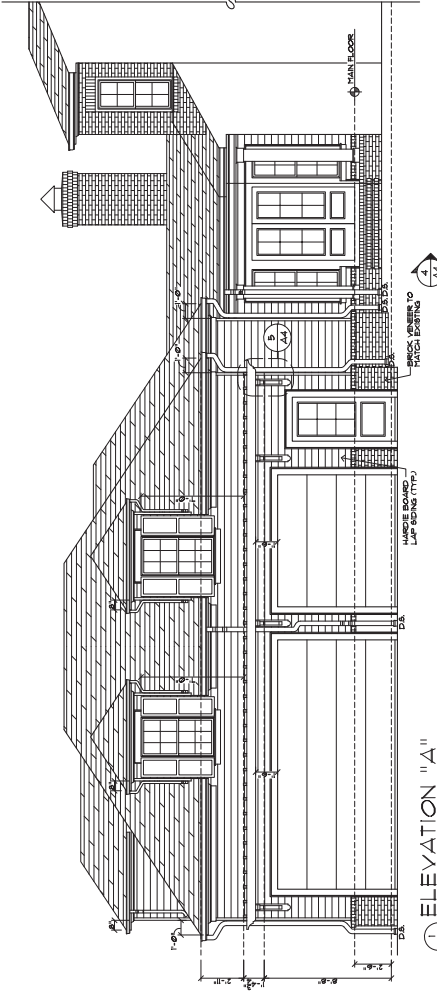
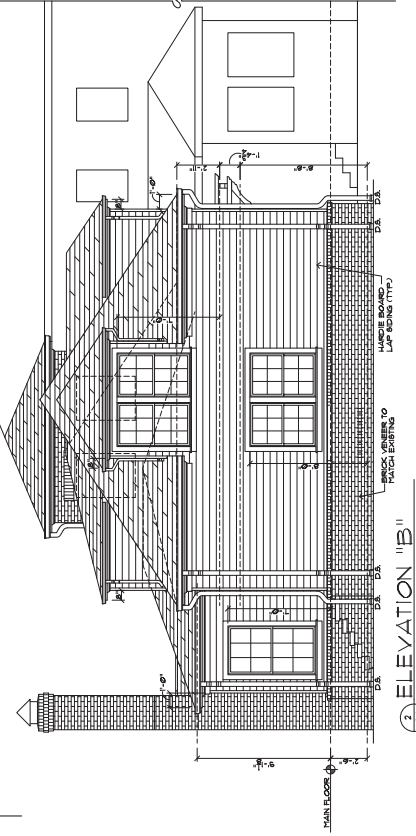


3 DORMER EAVE DETAIL
1/2" = 1'-0"

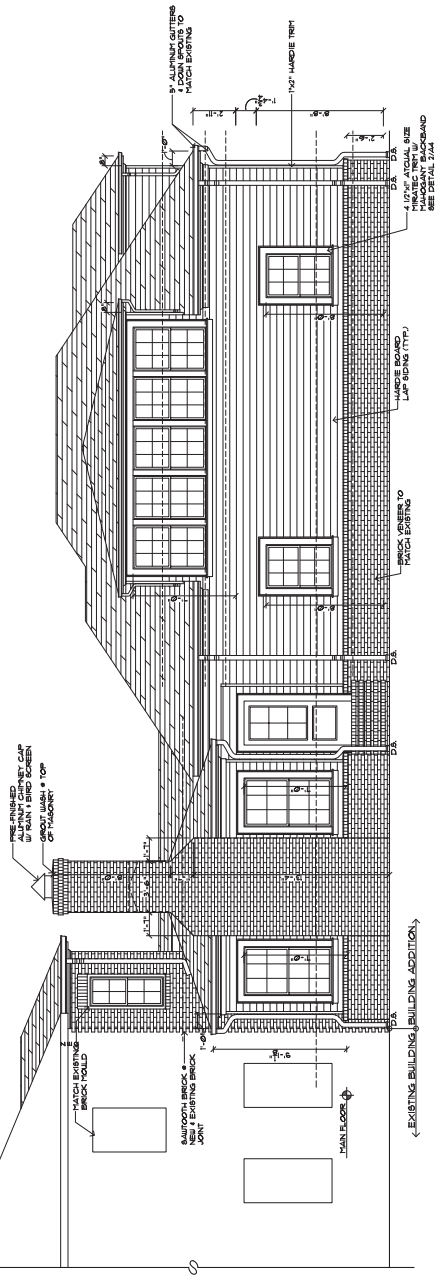
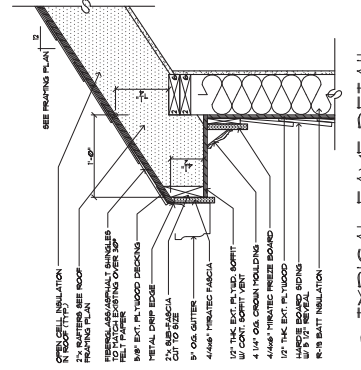


2 EXT. WDW/DOOR TRIM DETAIL
FULL SCALE

- WINDOW NOTES
1. ALL WINDOWS ARE NOTED ON FLOOR PLANS
 2. ALL WINDOWS TO BE 6" MIN. OVERLAP
 3. WINDOWS TO HAVE INSULATED DIVIDED LITES FOR LITE PATTERN AND COORDINATION
 4. FINISHES TO BE 1/2" WIDE
 5. GLAZING TO BE LOW-E W/ ARGON GAS



3 TRELLIS DETAIL
1/2" = 1'-0"



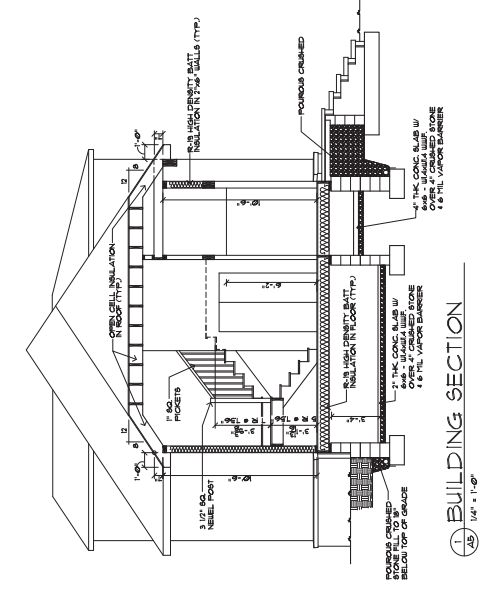
5 ELEVATION "C"
1/2" = 1'-0"

William Andrews Architects
5109 Holston Hills Rd., Knoxville, TN 37914
T: 865-544-1001 F: 865-544-9922

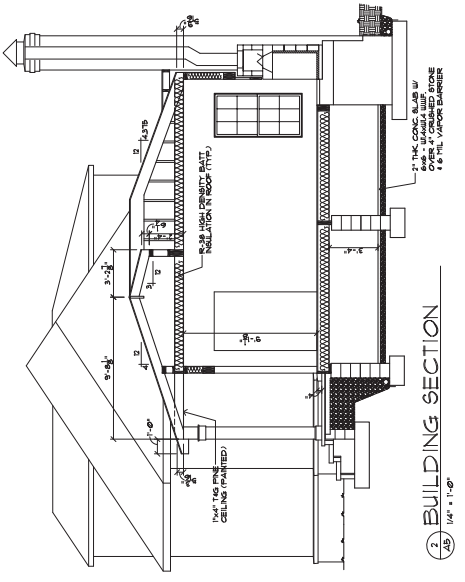
ADDITIONS & ALTERATIONS TO THE
SEALS RESIDENCE

DRAWN BY: JAMES SKETCHES
DATE: 06/24
SCALE: 1/2" = 1'-0"

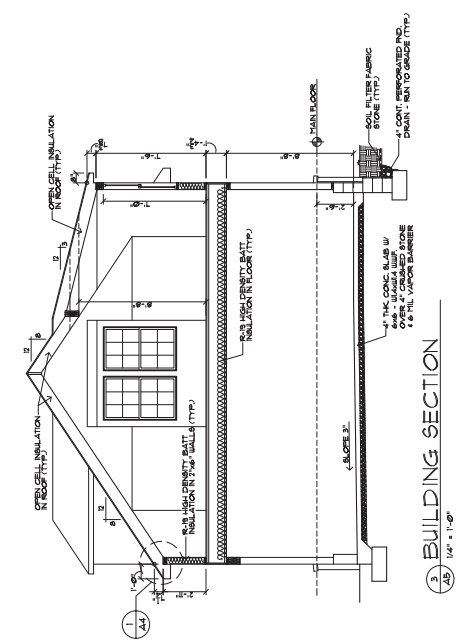
SHEET
A4
OF 46



1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



3 BUILDING SECTION
1/4" = 1'-0"

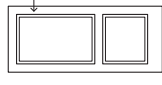
ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR	WALLS	FINISH	Ceiling	Matl.	Finish	REMARKS
01	FAMILY ROOM	WOOD	WOOD	STAIN	GB	GB	PAINT	WALLS TO BE 126", 126", 126" KNOTTY ALDER PANELING
02	STAIRS LANDING	CERAMIC TILE	GB	PAINT	GB	GB	PAINT	...
03	STAIRS	WOOD	GB	PAINT	GB	GB	PAINT	...
04	HALL	WOOD	GB	PAINT	GB	GB	PAINT	STAINED OAK TREADS PAINTED POPLAR RISERS
05	HALL	WOOD	GB	PAINT	GB	GB	PAINT	...
06	HALL	WOOD	GB	PAINT	GB	GB	PAINT	...
07	BOILER ROOM	CERAMIC TILE	GB	PAINT	GB	GB	PAINT	...
08	BEDROOM	WOOD	WOOD	STAIN	GB	GB	PAINT	MATCH WOOD AT EXISTING FLOOR

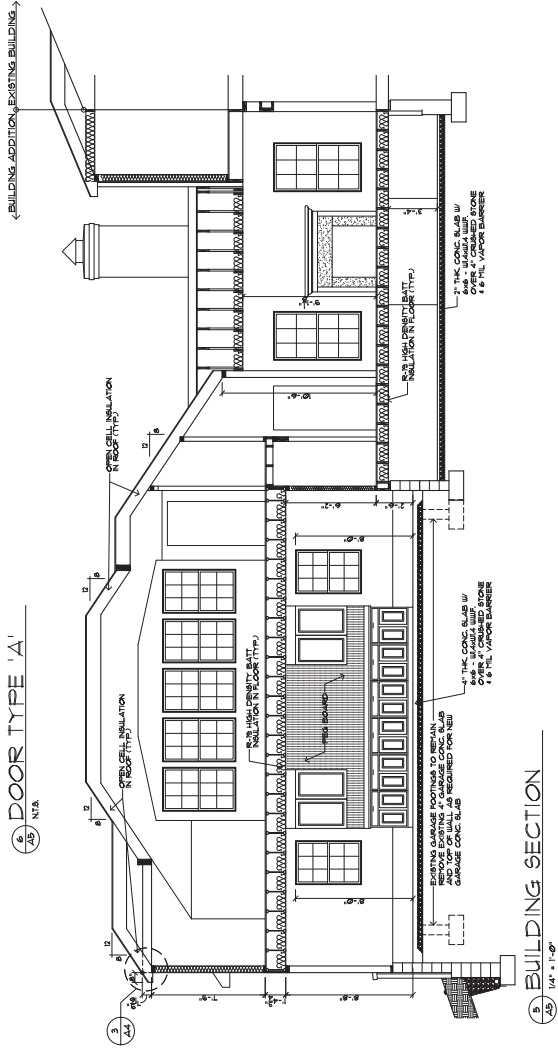
GENERAL NOTES:
1. MATCH SIZE & PROFILE OF BASE BOARD AND WINDOW/DOOR CASING AT EXISTING HOUSE.

DOOR SCHEDULE

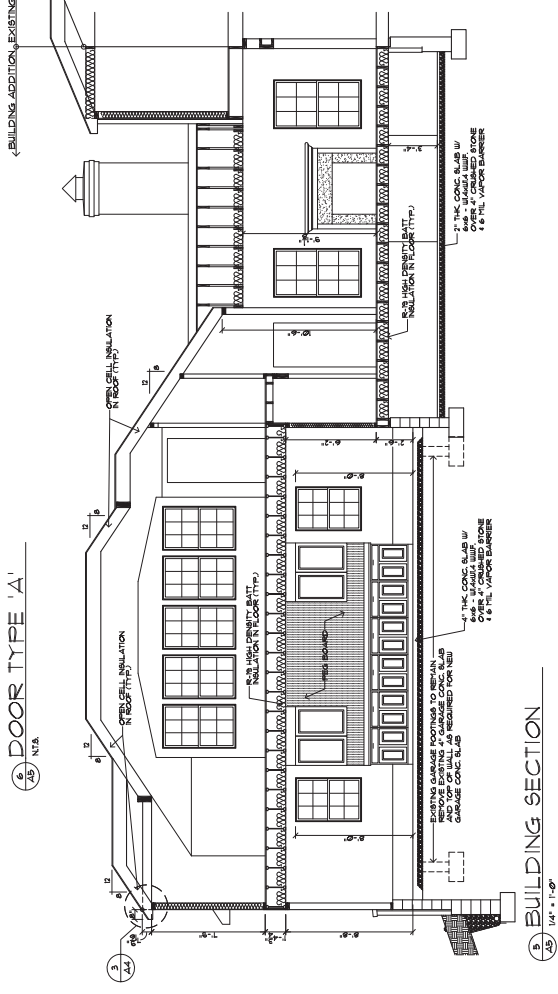
DOOR #	UD	HGT	MANUFACTURER	FINISH	NOTES
01A	6'-0"	7'-0"	OPTIONAL	STAIN	3/4 LITE DOORS - SEE ELEV. 'A'
02	3'-0"	7'-0"	KOETTER	PAINT	DOOR TYPE 'A' - SEE ELEV. 6/AB - PAIR OF DOORS
03	6'-11"	7'-0"	OPTIONAL	PAINT	CAGED OPENING - FIELD VENTIL WIDTH
04	6'-11"	7'-0"	KOETTER	STAIN	DOOR TYPE 'A' - SEE ELEV. 6/AB - PAIR OF DOORS
05A	3'-0"	7'-0"	OPTIONAL	STAIN	3/4 LITE DOORS - SEE ELEV. 'B'
05B	3'-0"	8'-0"	OPTIONAL	STAIN	3/4 LITE DOORS - SEE ELEV. 'B'
06	11'-0"	8'-0"	OPTIONAL	STAIN	GARAGE DOOR - SELECTED BY OWNER
07A	2'-6"	6'-9"	KOETTER	PAINT	DOOR TYPE 'A' - SEE ELEV. 6/AB
07B	3'-0"	6'-9"	KOETTER	PAINT	DOOR TYPE 'A' - SEE ELEV. 6/AB
08A	4'-0"	6'-9"	KOETTER	PAINT	DOOR TYPE 'A' - SEE ELEV. 6/AB
08A.1	4'-0"	6'-9"	KOETTER	PAINT	DOOR TYPE 'A' - SEE ELEV. 6/AB - PAIR OF DOORS



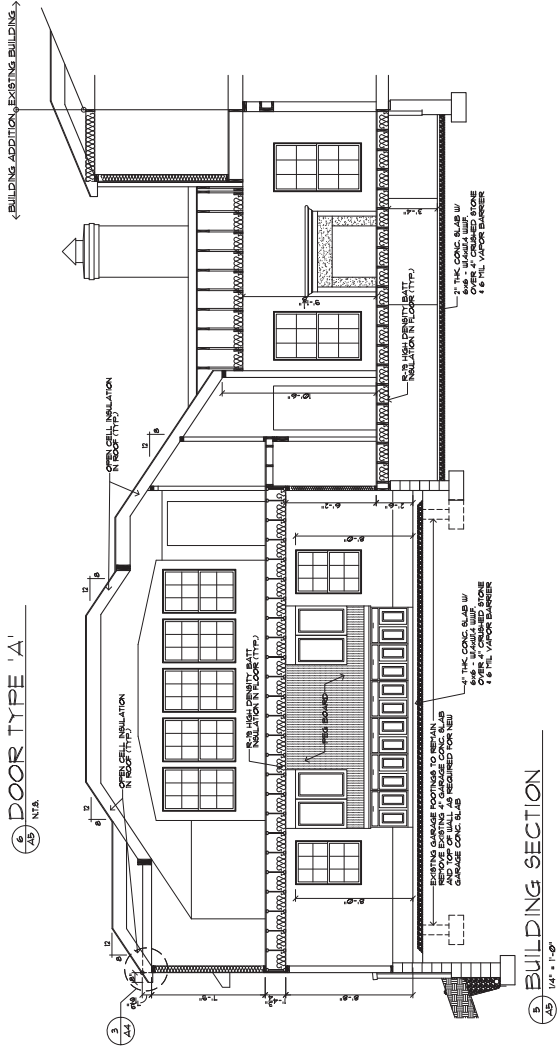
DOOR TYPE 'A'
N/A



4 BUILDING SECTION
1/4" = 1'-0"



5 BUILDING SECTION
1/4" = 1'-0"



6 BUILDING SECTION
1/4" = 1'-0"

Courtyard COLLECTION[®]



Insulated steel construction, fashioned to resemble the elegant wood designs of traditional carriage house doors.

The Genuine. The Original.





Cover image: Model 161A Desert Tan finish, Somerton windows, decorative hardware
Image above: Model 166B White finish, Somerton windows, decorative hardware

Courtyard Collection® doors offer the beauty of wood with the durability of steel. Select from our many classic designs to enhance the architectural beauty of your home.



Model 163T, Terra Bronze/White finish, Stockbridge windows



Model 377T White finish, Wyndbridge windows, decorative hardware

Our Courtyard Collection® features insulated steel construction, fashioned to resemble the elegant wood designs of traditional carriage house doors.



Model 165B Arched, custom painted, decorative hardware



Transform Your Home with the DoorView® visualization tool.

Go to overheaddoor.renovorks.com to try our on-line interactive software tool that lets you visualize what your home would look like with a garage door from Overhead Door. Contact your local Overhead Door Distributor for more information and to receive a quote.



Limited Warranty.

Courtyard Collection® garage doors are backed by up to a limited lifetime warranty that protects against section rust-through for as long as you own your home. Also included is a one-year non-transferable, limited warranty ensuring high standards for materials and workmanship.*

* Warranties vary by model, and are available upon request. See full text of warranty for details.

The Genuine. The Original.

Since 1921, Overhead Door Corporation has not only raised the standards of excellence for the industry—we've created them. Overhead Door created the first upward-acting door in 1921 and the first electric garage door opener in 1926.

Today, our network of over 400 Overhead Door Distributors are still leading the way with innovative solutions and unmatched installation, service and support. So look for the Red Ribbon. It's your guarantee that you're getting the genuine, the original Overhead Door.

SOLD AND DISTRIBUTED BY:



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