

**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 15 Market Square
DISTRICT: Market Square H-1

FILE NO.: 5-G-14-HZ

MEETING DATE: 5/15/2014

APPLICANT: Kristen Grove Johnson Architecture, Inc. (Architect)

LEVEL OF WORK: Level I. Installation of signage, gutters, outdoor café railing, and awning.

PROPERTY DESCRIPTION: Italianate Commercial (c. 1865)

McBath Brothers Building. Two-story three-bay with segmentally-arched second-story windows with contrasting keystones, springers and sills. Pressed metal bracketed cornice with corbelled brick below cornice. Altered storefront. The building was originally built as three storefronts. A saloon owned by Michael Cullinan in 1880. Cullinan expanded his saloon to 13 Market Square from 1886 to 1905. Later occupants included clothing and shoe stores in 1930, Market Square Billiards, and then Snyder's dry goods and department store until it became part of Watson's (Ira A.).

► **DESCRIPTION OF WORK:**

This request is for the addition of a new pre-engineered metal canopy with tie back rods and an integral gutter/downspout system. All components will be matte black to match the existing storefront and columns which will remain intact. The connection to the building façade will be the four tie-back rod locations and the two downspouts that will run down the interior face of the existing building columns and the corners of the canopy to the two columns on each end of the facade. The canopy is intended to cover the outdoor dining area which is 10' x 25' in size. The canopy is intended to have small surface-mounted LED lighting with dimmers on the underneath side to illuminate the dining tables. The existing gooseneck lighting and signage area will be retained with a new sign applied.

► **APPLICABLE DESIGN GUIDELINES:**

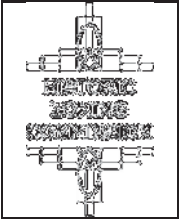
Market Square Design Guidelines and Designation Report, adopted by the Knoxville City Council on July 24, 2001. All design guidelines apply:

D. Signs

1. A storefront shall not have more than two signs, a primary and a secondary sign. One of these may be a flush-mounted sign board located below the second story window sills and above the storefront display windows.

3. If window signs are used, they shall be composed of applied letters or symbols on no more than 30% of the storefront glass, shall not obscure the display area and shall contrast with the display background. Light colored or gold-leafed letters with dark borders are recommended.

5. Signs can be directly or indirectly illuminated.



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E. Awnings

1. Awnings were often used on storefronts. Early photographs of Market Square may be consulted to learn their design.
2. Awnings shall be attached to the building above the display windows and below the storefront cornice or sign panel.
3. Awnings shall reinforce the frame of the storefront without covering the space between the second-story window sills and the storefront cornice, or the piers.
4. A standard street-level awning should project four to seven feet from the building and should be about seven feet above the sidewalk.

COMMENTS:

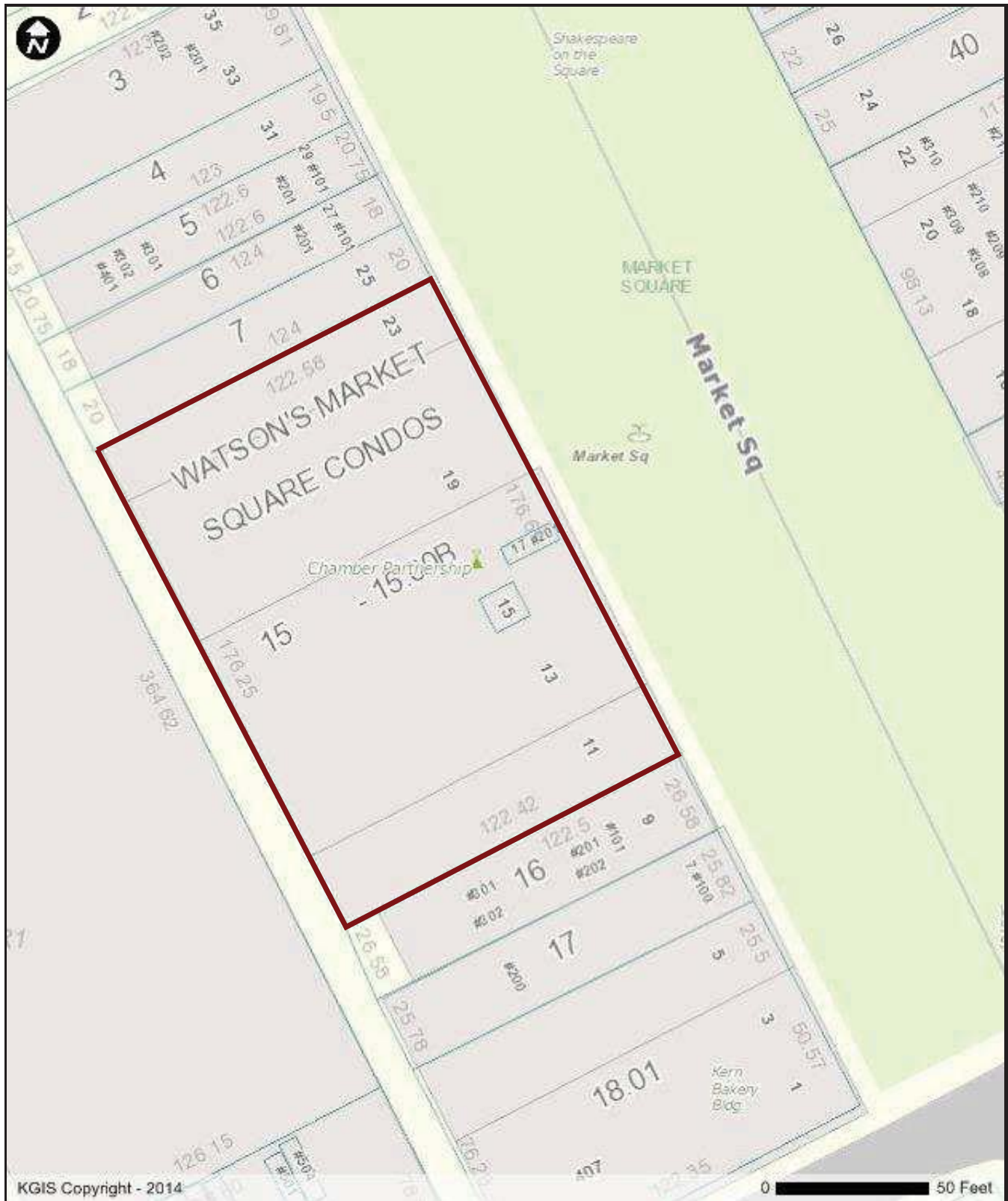
The applicant proposes that "this canopy has a slight modern look to tie in with the existing storefront and façade, yet similar design features match the look of the surrounding canopies on Market Square."

STAFF FINDINGS:

1. The existing storefront is not original.
2. The proposed signage, gutters, and café railing meet the guidelines and/or are compatible with the context of Market Square.
3. Early photos indicate that early awnings were sloped in Market Square, while three awnings with decorative cornices on Union Avenue were designed to be level and integral with the building.
4. Three recently approved awnings in Market Square are attached to the building with tiebacks and sloped as illustrated in the Market Square Design Guidelines (photos included in the staff report).

► **STAFF RECOMMENDATION:**

Staff recommends approval of the proposal with the conditions that 1) the diameter of the awning tie-back cable be smaller than that for cables at 1 Market Square, 2) that the awning be visibly sloped, and 3) that the awning be covered in canvas.



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0 50 Feet

15 Market Square

Market Square H-1
HZC agenda item

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Printed: 5/8/2014 at 11:20 AM

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Certificate (File) No: _____

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION

Please print all information

1. NAME OF APPLICANT: Johnson Architecture, Inc. _____

Address: 2240 Sutherland Ave. #105 _____

Telephone: 865.671.9060 _____ E-mail address: kgrove@jainc.com _____

Relationship to Owner: Architect _____

2. NAME OF OWNER: Glenn Kirtley _____

Address: 800 Vista Oaks, Knoxville, TN 37919 _____

Telephone: 865.607.9642 _____ E-mail address: kirt649@att.net _____

3. LOCATION OF PROPERTY: _____

Address: 15 Market Square _____ Tax ID/Lot/Parcel No: _____

4. LEVEL OF WORK (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding; renewal of COA

Level III Construction of a new primary building; subdivision of property

Level IV Demolition or relocation of a contributing structure

5. DESCRIPTION OF WORK: (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

This request is for the addition of a new canopy to an existing facade at 15 Market Square. The existing storefront is not historical. The previous occupant renovated the storefront, exterior columns, exterior lighting and signage in a modern design. This canopy has a slight modern look to tie in with the existing storefront and facade, yet similar design features match the look of the surrounding canopies on Market Square. This is a pre-engineered metal canopy with tie back rods and an integral gutter/downspout system. All components will be matte black to match the existing storefront & columns which will remain intact. The only connection to the building facade will be the 4 tie back rods and the two downspouts that will be run on the interior face of the existing building columns. The canopy is intended to cover the outdoor dining area which is 10' X 25' in size. The canopy is intended to have small surface mounted LED lighting on the underside to illuminate the dining tables. These lights will be dimmers. The existing sign area will be maintained with a new sign applied.

6. SIGNATURE OF APPLICANT:  _____ Date: 4.28.14 _____

Return application to: Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Miami Street, Knoxville, Tennessee 37902. Incomplete applications will not be accepted.

FOR STAFF USE ONLY

Date Received _____ Approved _____ Disapproved _____ Approved As Modified _____
Date Acted On _____

**INFORMATION REQUIRED FOR
CERTIFICATE OF APPROPRIATENESS SUBMITTALS**

Incomplete applications will not be accepted. All required information must be submitted before the application and fee will be accepted for the next available Historic Zoning Commission (HZC) agenda. Checks mailed with an incomplete application will be returned.

A. EXTERIOR ALTERATION OR REPAIR:

- Circle each work item for which approval is requested.

Accessory structure	Masonry repair/painting	Satellite dish
Architectural feature	Material changes (wood, brick, metal, etc.)	Shutters
Awning or canopy	Mechanical system unit	Siding
Deck	Parking lot paving (entrance drives, landscaping)	Signs
Door	Porch (columns, cornice, trim, etc.)	Skylights or solar collectors
Fencing	Retaining wall	Storm windows or doors
Guttering	Roof (change in shape, features, materials)	Windows

- Describe the proposed work in detail and include the following information:

- a. Sketches, photographs, manufacturer's specifications, illustrations, and detailed drawings are required for major changes in architectural features and materials
- b. Site plan for fence applications
- c. Samples, description, and specifications for proposed materials

B. NEW CONSTRUCTION:

- Describe the proposed project in detail and include the following information:

- a. Dimensioned site plan
- b. Dimensioned elevation drawings that clearly show the exterior appearance of the project
- c. Samples, description, and specifications for proposed materials and architectural features
- d. Description and drawings or photos of site improvements such as fences, walls, and sidewalks

C. RELOCATION OF STRUCTURE:

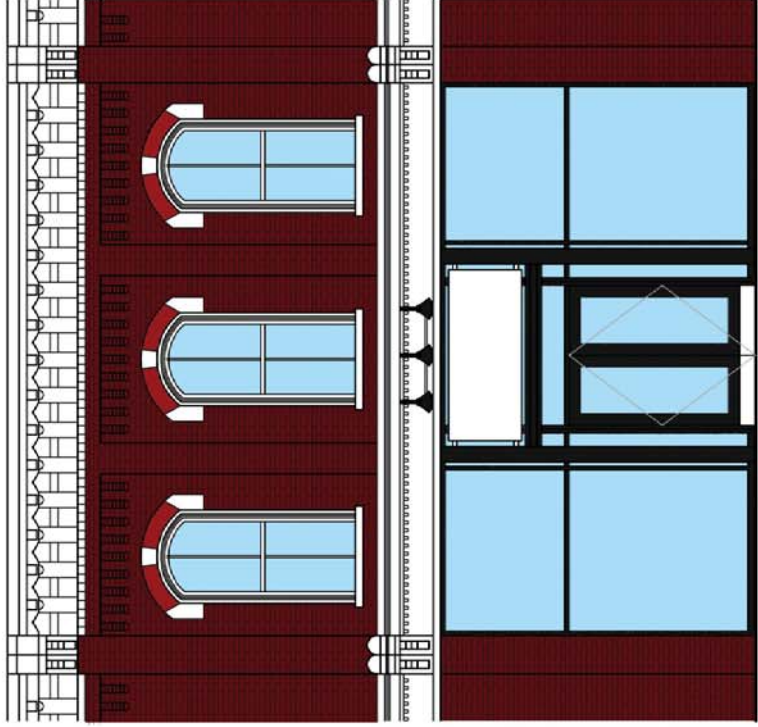
- a. Description of structure and its condition and reason for relocation
- b. Photographs of the structure
- c. Photos and site plan of proposed location
- d. Description of site features that will be disturbed such as topography, retaining walls, fences, trees

D. DEMOLITION OF STRUCTURE:

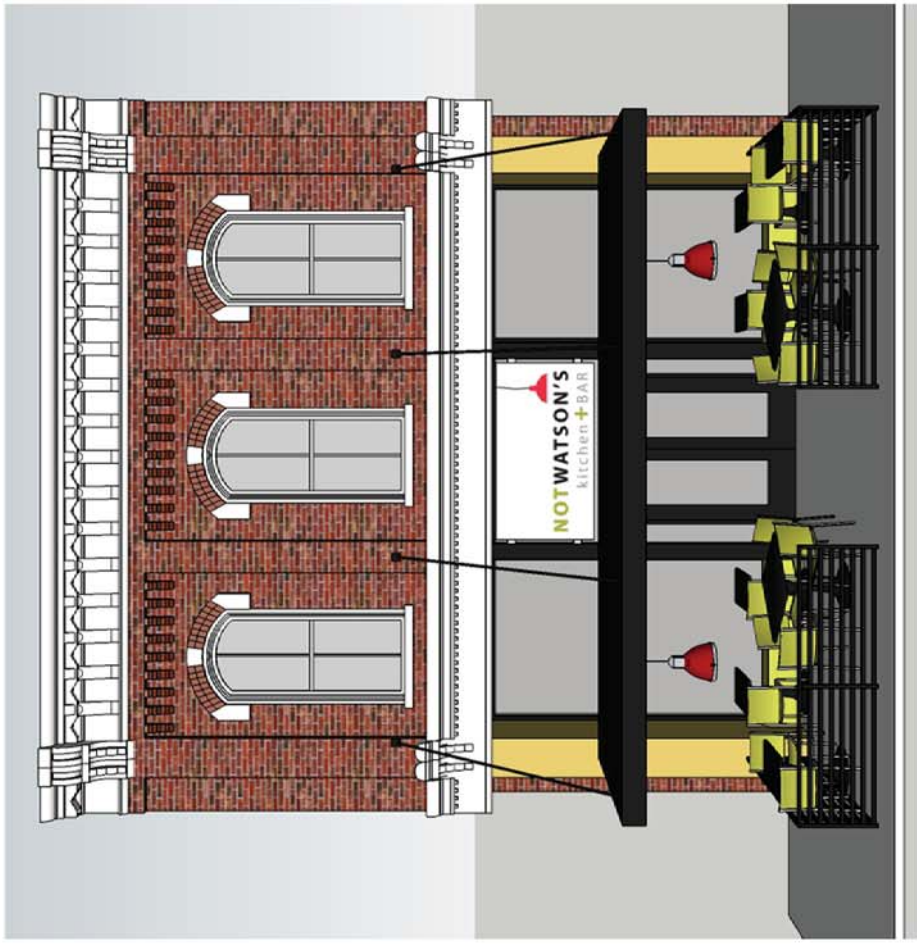
- a. Description of the condition of the structure and reason for proposed demolition
- b. Photos of overall structure and its details



15 Market Square (former Bella Luna) Replacement storefront



EXISTING ELEVATION



PROPOSED ELEVATION

A Conceptual Elevation for:
NOT WATSON'S

15 Market Square • April 3, 2014



Johnson
Architecture

SCALE: 3/16" = 1'-0"

PRELIMINARY

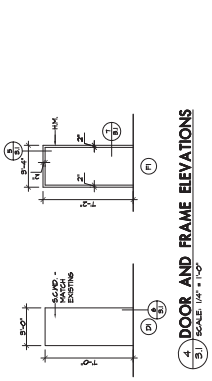
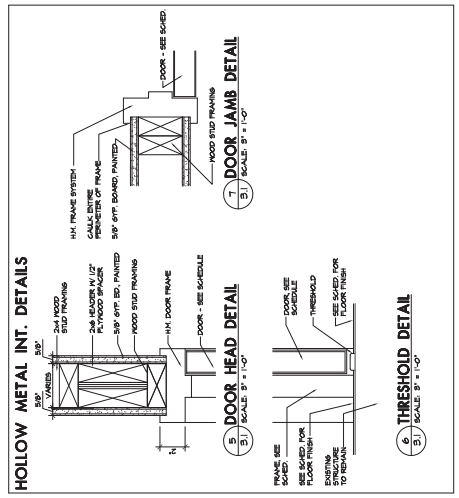
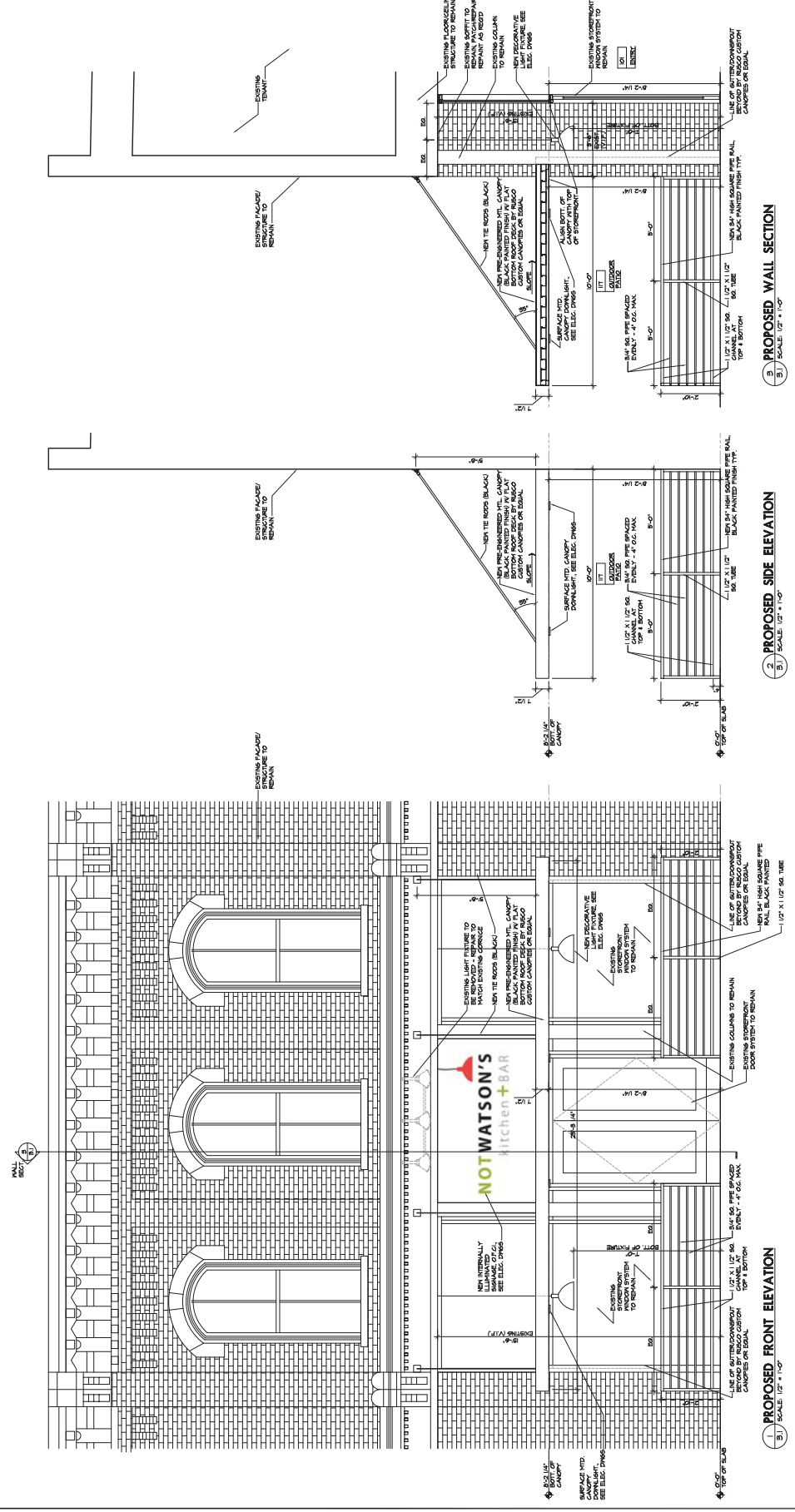


SYMBOLS AND DIMENSIONS
 WALL SECTION & DETAILS

REVISIONS:

DATE: April 21, 2014
 FILE NAME:
 PROJECT NO: 140008

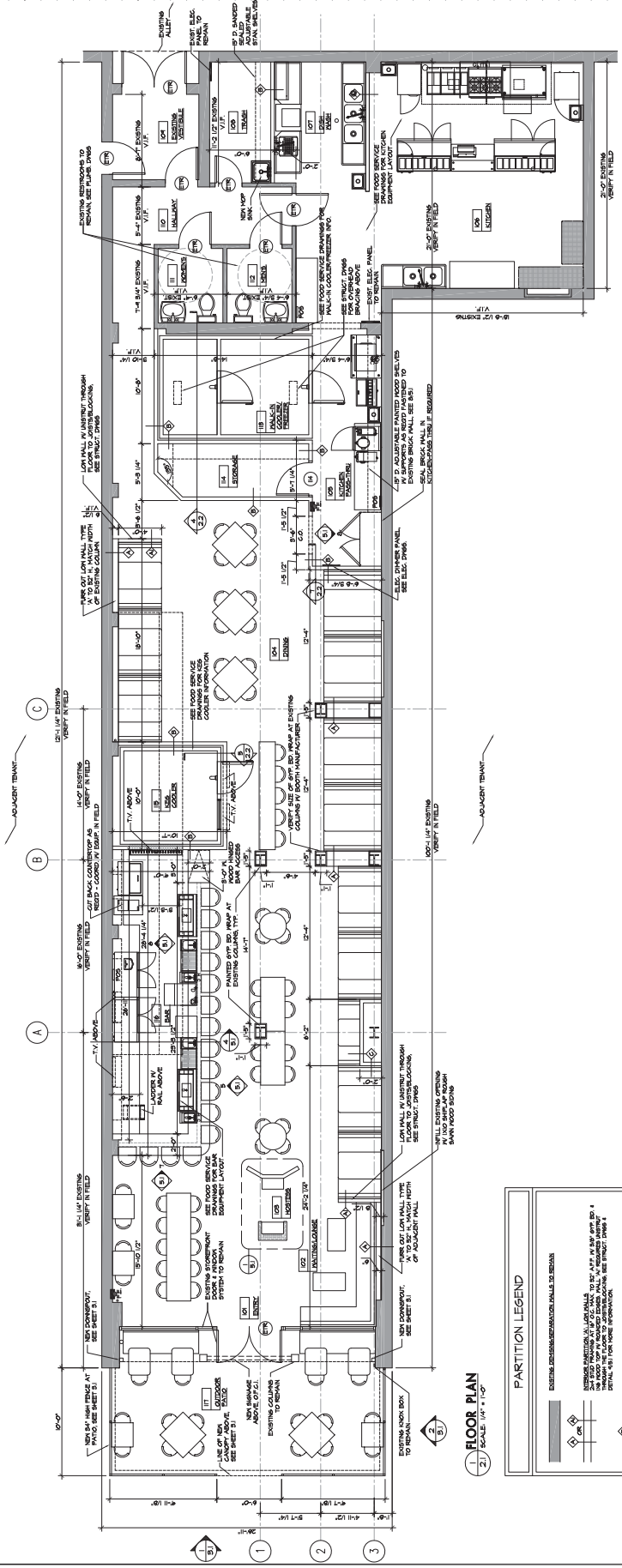
3.1



DOOR & FRAME SCHEDULE

NO.	DOOR	TYPE	FRM	HTL	ELY	INS	FIN	NOTES
1	1/2\"/>							

- DOOR NOTES**
- COORDINATE HARDWARE SETTING BY OWNER.
 - IF REQUIRED PROVIDE PANG HARDWARE ON ALL EXTERIOR DOORS TO COMPLY WITH LOCAL CODE REQUIREMENTS.
 - ALL HOLLOW METAL FRAMES ARE TO BE FIELD-TYPE FRAMES.
 - FOR DOOR HARDWARE ONLY, ALL DIMENSIONS PRIOR TO FABRICATION. ALL DIMENSIONS ARE FOR DOOR HARDWARE ONLY.
 - PROVIDE CONT. GASK. AT INTERIOR AND SEALANT AT EXTERIOR PERIMETER OF FRAMES IN EXTERIOR WALLS.



FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PARTITION LEGEND	
	EXISTING PARTITION WALLS TO REMAIN
	NEW PARTITION WALLS TO BE INSTALLED
	EXISTING INTERIOR PARTITIONS
	NEW INTERIOR PARTITIONS
	EXISTING INTERIOR WALLS
	NEW INTERIOR WALLS
	EXISTING EXTERIOR WALLS
	NEW EXTERIOR WALLS
	EXISTING WINDOWS
	NEW WINDOWS
	EXISTING DOORS
	NEW DOORS
	EXISTING STAIRS
	NEW STAIRS
	EXISTING ELEVATORS
	NEW ELEVATORS
	EXISTING MECHANICAL/ELECTRICAL
	NEW MECHANICAL/ELECTRICAL
	EXISTING STRUCTURAL
	NEW STRUCTURAL

- PLAN NOTES**
- CONTRACTOR TO VERIFY ALL MECHANICAL/ELECTRICAL/STRUCTURAL CONDITIONS OF ALL NEW/EXISTING MECHANICAL/ELECTRICAL AND STRUCTURAL ITEMS IN PLAN AND IN FIELD CONDITIONS.
 - CONTRACTOR TO VERIFY ALL EXIST. CONDITIONS AND PATCH REPAIR ANY AND ALL ITEMS AS NOTED TO MATCH EXIST. CONDITIONS.
 - CONTRACTOR TO VERIFY ALL EXIST. CONDITIONS AND PATCH REPAIR ANY AND ALL ITEMS AS NOTED TO MATCH EXIST. CONDITIONS.
 - OWNER CONTRACTOR TO PROVIDE MAXIMUM OCCUPANCY ALLOWED SIGNAGE LOCATION OF EACH SIGN. COORDINATE IN GINT OFFICIALS FOR NUMBER AND SERVICE DRAWINGS AND OWNER.
 - CONTRACTOR TO PROVIDE A THIRTEENTH INSPECTION OF PROPERTY AND PROVIDE OCCUPANCY INSPECTION AS REQUIRED.
 - SEE SHEET 1 FOR KITCHEN EQUIPMENT & SEATING LAYOUT. ALL FURNITURE, KITCHEN EQUIPMENT, AND SEATING TO BE OBTAINED BY CONTRACTOR/OWNER.
 - CONTRACTOR TO PROVIDE BLOCKING FOR T.V.'S. AS REQUIRED. VERIFY WITH OWNER FOR T.V. SIZES.



15 Market Square – case photo



15 Market Square – case photo



15 Market Square – case photo



15 Market Square - 406 Union Ave awning



15 Market Square – 513 Union Ave awning