



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 906 Luttrell St 37917
DISTRICT: Fourth and Gill H-1

FILE NO.: 5-E-14-HZ

MEETING DATE: 5/15/2014

APPLICANT: Open Door Architecture Sean Martin (architect)

LEVEL OF WORK: Level I. Routine repair of siding, fascia, soffit, windows, roof, or other features using materials, design, and dimensions that match original or early features

PROPERTY DESCRIPTION: Neoclassical (c. 1900)

Two-story frame with weatherboard wall covering (recently removed asbestos shingle). Hip roof with hipped front and side dormers, asphalt shingle roof covering. One over one double -hung windows. One story hipped roof porch with round wood columns, Ionic capitals, sawn wood balustrade. Two brick interior central chimneys, one front and one rear. Brick foundation Rectangular plan. Transom and sidelights at front entry and paired one- over- one double- hung windows on front elevation. C

► **DESCRIPTION OF WORK:**

Level 1:

Proposed repairs include:

1. In-kind replacement of wood siding on parts of west (front) and north elevations that was lost to fire.
2. Replacement of original wood double-hung windows that were lost to fire. New windows to be Pella Architect Series in the same size and configuration as the damaged windows. (see attachment for window locations).
3. Replace non-original porch floor lost to fire with new painted wood T&G porch floor.
4. Replace porch ceiling lost to fire with new painted wood bead board ceiling (bead board was used on the original interior main staircase in the adjacent Entry Hall)
5. Rebuild door surround in-kind to match original. Transom and sidelights are submitted as part of Level II application.

Level 2:

Proposed changes include new porch columns, new attic windows, and new front door.

1. Proposed porch columns will replace non-original columns recently lost to fire.
 2. Proposed new attic windows will replace non-original existing windows with slightly larger windows that meet fire egress requirements and more closely match configuration of original historic windows on the house (space between windows is almost 1 foot -- whereas twin windows on the house are only 5" apart)
 3. Proposed new front door replaces door recently lost to fire. Owner proposes to replace front door to match as closely as possible.
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► **APPLICABLE DESIGN GUIDELINES:**

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

Windows-Rehabilitation and New Construction

1. Vinyl and aluminum replacement windows should not be used.

4. If replacement windows are necessary, they should be the same overall size as the originals, with the same pane division, and the same muntin style and exterior depth, width and profile. False muntins or grids should not be used.

5. Windows should not be replaced with fixed thermal glazing or permitted to be inoperable. In many cases fixed or inoperable glazing violates code requirements for egress.

Porches- Rehabilitation and New Construction

1. Repair porches on historic houses using wood floors, balustrades, posts and columns, or replace duplicating the original size and design. Reconstruction of the documented original porch is also appropriate.

3. New front porches in Fourth and Gill must be large enough to provide seating, i.e., six to eight feet in depth.

4. In new construction, the proportion of the porches to the front facades should be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades and porch flooring must use materials that present a visually and physically appropriate appearance historically.

5. Do not replace a wooden porch floor with a poured concrete or masonry floor. The concrete floor will change the historic appearance of the building, and can retain moisture that eventually damages the building.

Doors- Rehabilitation and New Construction

1. Entry features that should be preserved include sidelights and transoms of plain, patterned, beveled or stained glass, fan light windows, entablatures, and the original doors. All add character to the structures within the Fourth and Gill Historic District.

2. It may be appropriate to design or construct a new entrance if the historic one is missing. Any restoration should be based on historical, pictorial and physical documentation and should be compatible with the historic character of the building



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and with adjacent buildings. It should not create a false historic appearance. Entrances should not be removed when rehabilitating a building, either in adapting to a new use or continuing a historic one.

5. Determine if a storm door will be instrumental to saving energy. If a storm door is used, it should have a color-clad frame and a full view glass, or be designed to respect the original entry door. Security doors should follow the same guidelines .

7. Missing doors should be replaced with new doors appropriate for the style and period of the building. In replacing missing original doors, replacement doors should mimic doors typical for that architectural style, including materials, glazing, and pane configuration. Solid six panel or flush wood or steel design doors should only be used for entrances not visible from the public street. "Decorator" designed doors available from wholesale hardware stores are usually not appropriate for the architectural styles of the Fourth & Gill Historic District.

COMMENTS:

STAFF FINDINGS:

- 1) The front façade and the porch were destroyed by fire in April 2014.
- 2) Photo-documentation of the former porch and house façade exists.
- 3) The proposed in-kind replacement of elements with wood materials and like design meets the guideline recommendations.

► **STAFF RECOMMENDATION:**

Staff recommends approval of reconstruction of original façade and porch.



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0 100 Feet

906 Luttrell Street

4th and Gill H-1
HZC agenda item

KGIS - 606 Main St - Suite 150 - Knoxville, TN 37902 - www.kgis.org

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**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
KNOXVILLE/KNOX COUNTY HISTORIC ZONING COMMISSION**

Please print all information

1. **NAME OF APPLICANT:** Open Door Architecture, Sean Martin

Address: 1121 Eleanor St. Knoxville, TN 37917

Telephone: (865) 386-8909 E-mail address: sean@opendoorarchitecture.com

Relationship to Owner: Architect

2. **NAME OF OWNER:** Julie & Adam Braude

Address: 906 Luttrell St. Knoxville, TN 37917

Telephone: (773) 882-8800 E-mail address: juliebraude@gmail.com

3. **LOCATION OF PROPERTY:**

Address: 906 Luttrell St. Knoxville, TN 37917 Tax ID/Lot/Parcel No: 081ML014

4. **LEVEL OF WORK** (circle Level)

Level I Routine repair, replacement of non-original materials in-kind; removal of artificial siding or late additions; installation of gutters, storm windows/doors, screen doors, satellite dishes, or signage; demolition of a noncontributing structure

Level II Major replacement of materials or architectural elements; construction of addition or outbuilding; renewal of COA

Level III Construction of a new primary building; subdivision of property

Level IV Demolition or relocation of a contributing structure

5. **DESCRIPTION OF WORK:** (See Part 2 of this application for additional information that is required for submittal with the application. (A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

Proposed changes include new porch columns, new attic windows, and new front door.

1. Proposed porch columns will replace non-original columns recently lost to fire.

2. Proposed new attic windows will replace non-original existing windows with windows that meet fire egress requirements and more closely match original, historic windows on the house (space between windows is almost 1', whereas most double windows on the house are only 5" apart)

3. Proposed new front door replaces door recently lost to fire. Owner proposes to replace in-kind to previous door.

6. **SIGNATURE OF APPLICANT:**  Date: April 28, 2014

Return application to: Knoxville/Knox County Historic Zoning Commission, Suite 403, City/County Building, 400 Main Street, Knoxville, Tennessee 37902. **Incomplete applications will not be accepted.**

FOR STAFF USE ONLY

Date Received _____ . Approved _____ Disapproved _____ Approved As Modified _____ .
Date Acted On _____ .

**INFORMATION REQUIRED FOR
CERTIFICATE OF APPROPRIATENESS SUBMITTALS**

Incomplete applications will not be accepted. All required information must be submitted before the application and fee will be accepted for the next available Historic Zoning Commission (HZC) agenda. Checks mailed with an incomplete application will be returned.

A. EXTERIOR ALTERATION OR REPAIR:

- Circle each work item for which approval is requested.

Accessory structure	Masonry repair/painting	Satellite dish
Architectural feature	Material changes (wood, brick, metal, etc.)	Shutters
Awning or canopy	Mechanical system unit	Siding
Deck	Parking lot paving (entrance drives, landscaping)	Signs
Door	Porch (columns, cornice, trim, etc.)	Skylights or solar collectors
Fencing	Retaining wall	Storm windows or doors
Guttering	Roof (change in shape, features, materials)	Windows

- Describe the proposed work in detail and include the following information:
 - a. Sketches, photographs, manufacturer's specifications, illustrations, and detailed drawings are required for major changes in architectural features and materials
 - b. Site plan for fence applications
 - c. Samples, description, and specifications for proposed materials

B. NEW CONSTRUCTION:

- Describe the proposed project in detail and include the following information:
 - a. Dimensioned site plan
 - b. Dimensioned elevation drawings that clearly show the exterior appearance of the project
 - c. Samples, description, and specifications for proposed materials and architectural features
 - d. Description and drawings or photos of site improvements such as fences, walls, and sidewalks

C. RELOCATION OF STRUCTURE:

- a. Description of structure and its condition and reason for relocation
- b. Photographs of the structure
- c. Photos and site plan of proposed location
- d. Description of site features that will be disturbed such as topography, retaining walls, fences, trees

D. DEMOLITION OF STRUCTURE:

- a. Description of the condition of the structure and reason for proposed demolition
- b. Photos of overall structure and its details







Existing replacement (non-original) windows in dormer do not comply with building code egress dimensions for openings. Replace with larger Pella wood windows that conform to egress requirements. (Replace similar windows in second dormer on south side of house as well)

Reduce wood trim between existing windows to accommodate new windows of greater width. Center trim will change from 12" wide to 5 1/2" wide to match original double windows on second floor (see attached photo for existing condition)

Replace wood & glass transom lost to fire with Koetter Woodworking transom #T01000 (see attached)

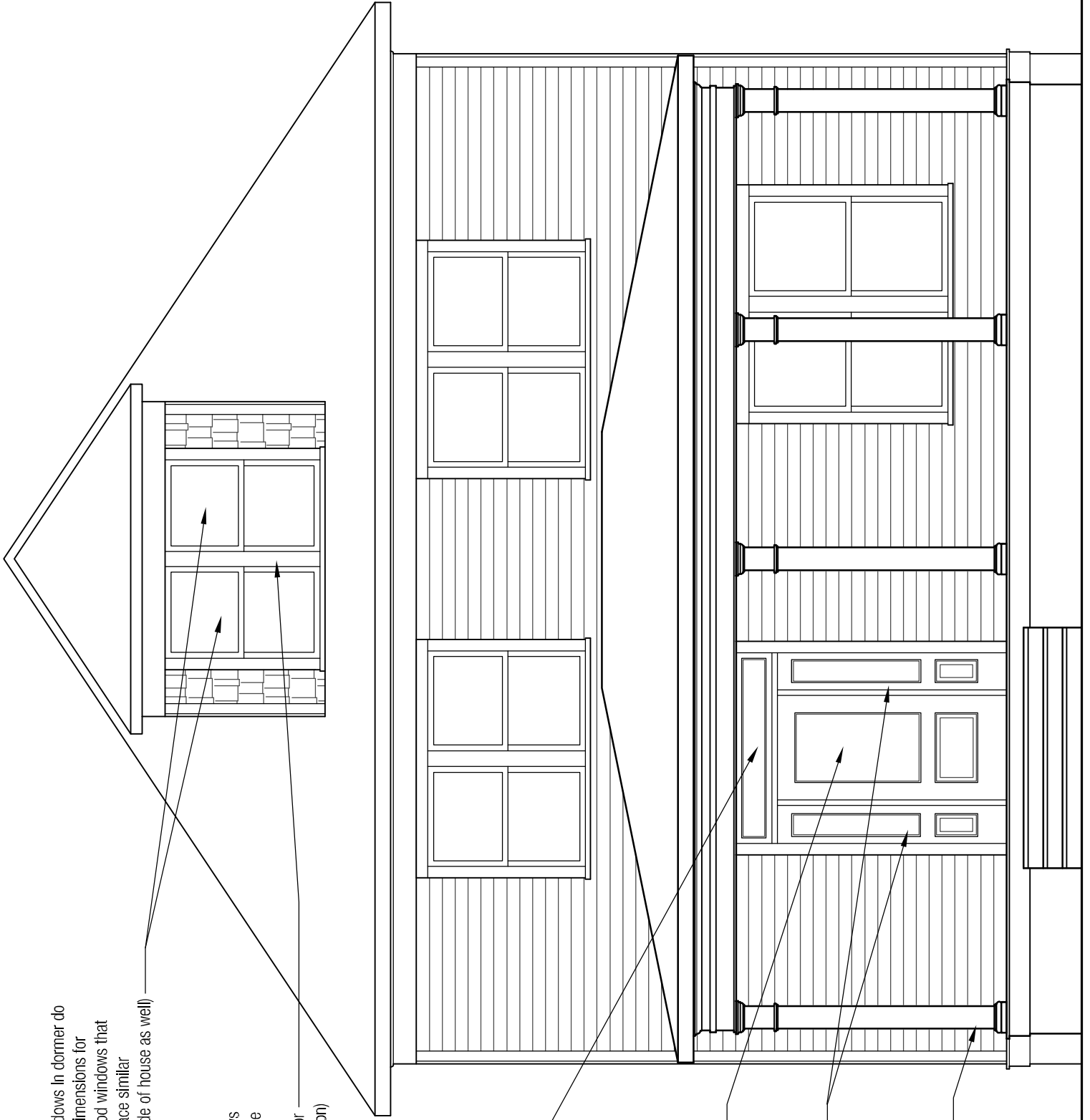
Replace wood front door lost to fire with salvage historic door to match original profile. If appropriate salvage door is unavailable, then replace with Koetter Woodworking 3/4 fire door #G01011 (see attached)

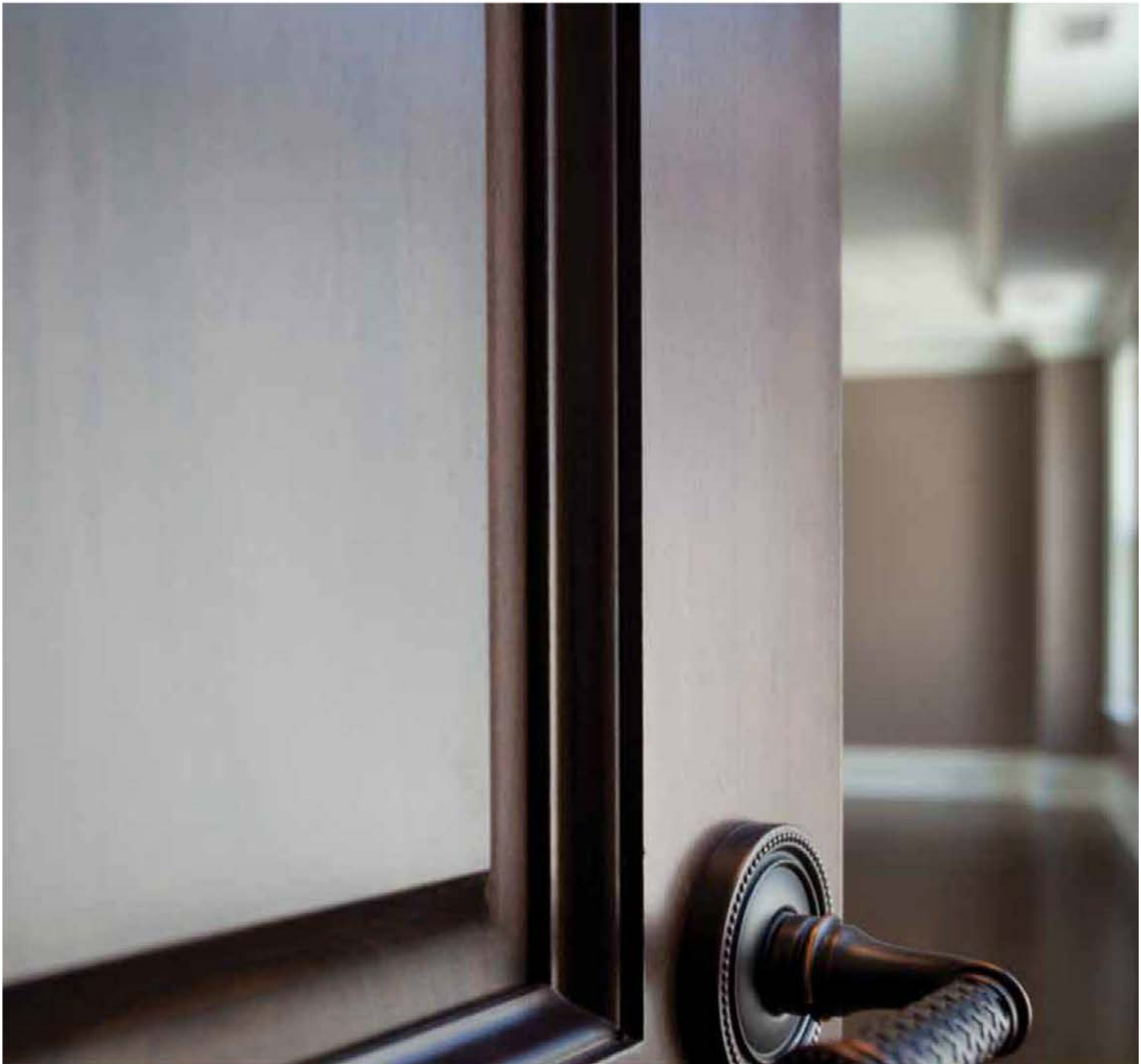
Replace wood & glass sidelights lost to fire with Koetter Woodworking sidelights #S01011 (see attached)

Replace all 4 fire-damaged existing non-riginal fiberglass porch columns (7" diameter) with new 8"x8" square porch posts. New posts to be fiberglass-reinforced polymer.

BRAUDE RESIDENCE

west elevation (facing Luttrell St)





SOLID WOOD DOORS

REFERENCE GUIDE - LITED DOORS

1-LITE

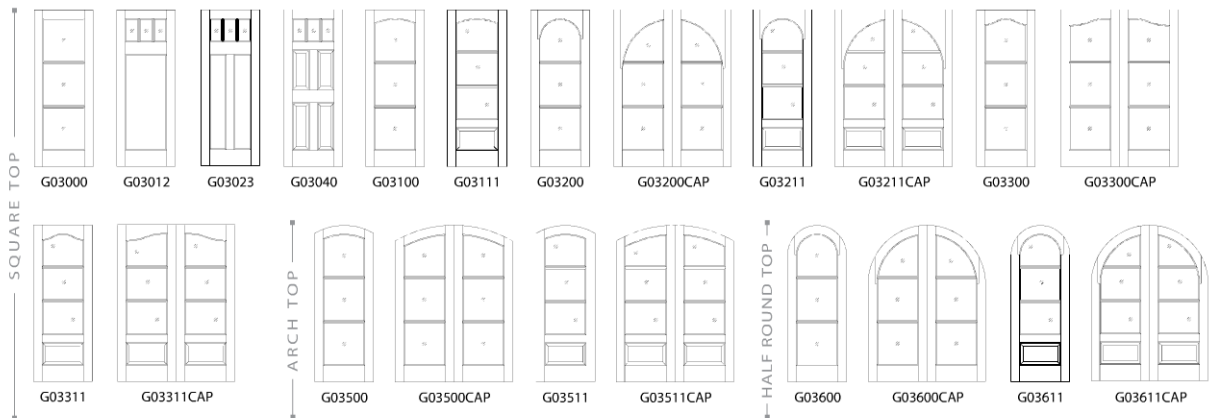
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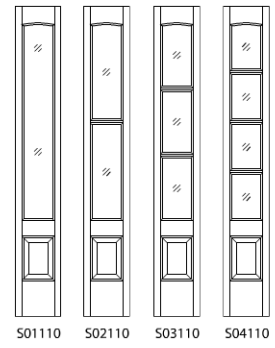
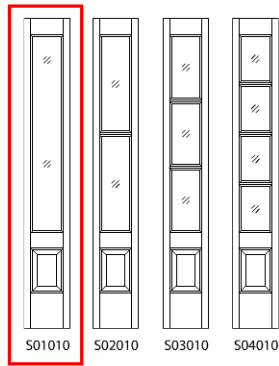
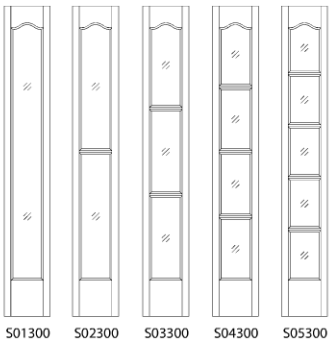
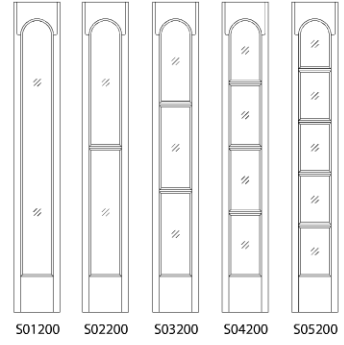
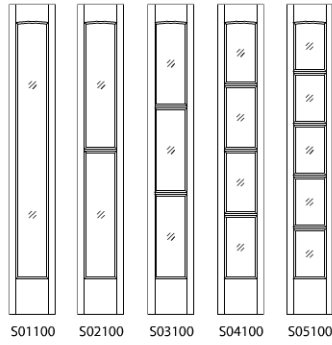
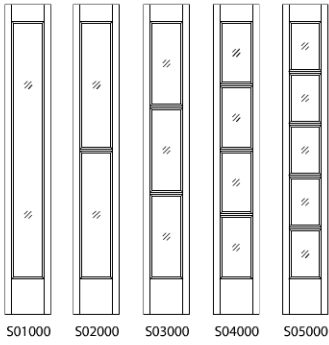
2-LITE



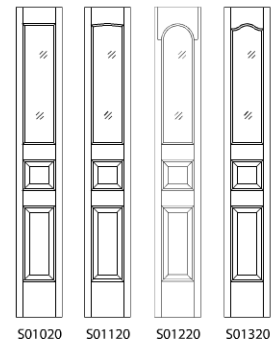
3-LITE



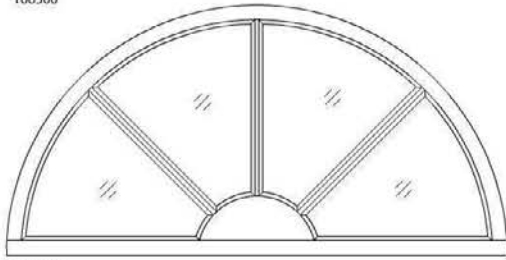
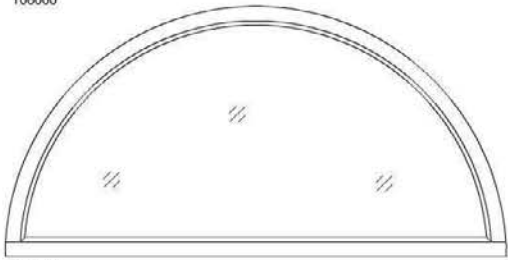
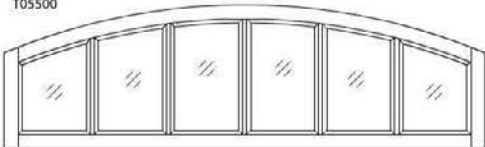
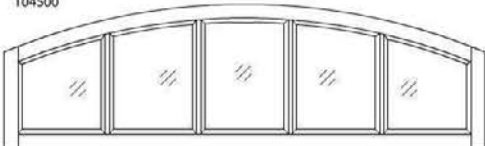
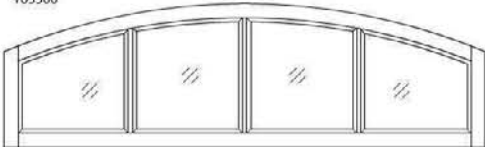
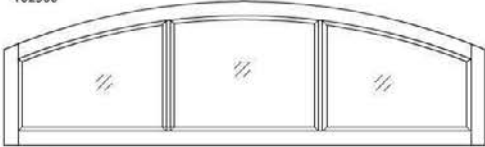
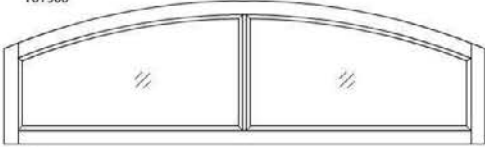
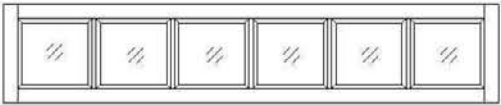
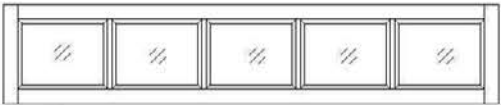
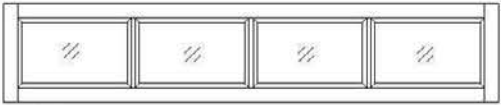
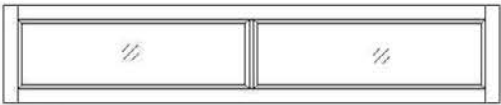
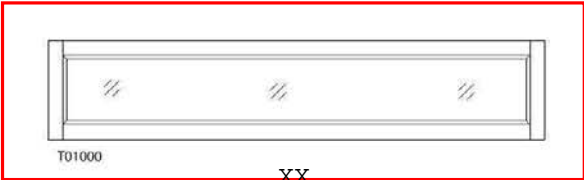
SIDELITES



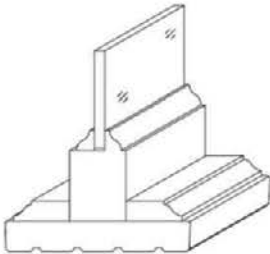
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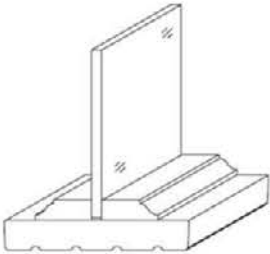
TRANSOM SASHES



Drawings shown above feature Transom Sash construction. One lite transoms may also be ordered as Direct Set Transoms (shown bottom right). Please specify when ordering.



Transom Sash
Constructed using the same methods as our standard stile and rail, true divided lite doors.
The standard face rail width on a transom sash is 1 3/4".
When ordering a transom sash, please provide us with the dimension of the sash itself, not including the jamb.



Direct Set Transom
Direct Set Transoms are constructed by "double stopping" the glass directly on to the jamb. This option is only available with one lite transom designs.
When ordering direct set transoms, it is important to specify whether dimensions given are "inside to inside" or "outside to outside" of the frame.