



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 119 W Glenwood Ave 37917

FILE NO.: 3-C-14-HZ

DISTRICT: Old North Knoxville H-1

MEETING DATE: 3/20/2014

APPLICANT: Blair Christian James (self)

LEVEL OF WORK: Level II. Major repair or replacement of materials or architectural elements

PROPERTY DESCRIPTION: Craftsman with Queen Anne and Prairie influences (c. 1910)

Two-story frame with weatherboard wallcovering. Side gable roof with hipped dormers. Double-hung Prairie-over-one windows. One-story full front porch with square wood post and weatherboard-covered balustrade. One-story projecting bay on east elevation. Projecting enclosed entry. Interior offset chimney. Brick foundation. Irregular plan. Contributing

c. 1910 garage. One-story with board and batten wallcovering. Front-gable roof with asphalt shingle covering. Nine-light fixed window and large one-light door. Side-open windowless board doors facing alley.

► **DESCRIPTION OF WORK:**

Storm Windows (Level 1)

Add in recessed storm windows. As unobtrusive as possible. Match windows, same as house across the street and next door (122 and 125 W Glenwood). White aluminum on white window trim; dark bronze aluminum on black window trim.

Chimney Cap (Level 1)

Add in an aluminum or galvanized metal cap to both chimneys to keep water out since they are not currently functional. The lip of the cap would extend 2-4" over the top brick level of the chimney.

Roof Ridge Vent (Level 1)

Adding in roof ventilation in the form of a generic ridge vent, running front to back. Currently there is no attic ventilation other than unscreened attic windows.

Front Porch (Level 1)

Current porch has 1 or more rotten floor joists and stairs of different heights. We plan to replace them with in-kind materials, best matching finish (gray oil based paint on floor)

Back Porch (Level 1)

Currently there is a bad leak into the basement. The wooden flooring will be removed and (technically) a roof will be installed over the floor joists (probably OSB with roofing membrane, adding an extra pitch away from house), then the original flooring (if it's in good shape; in-kind otherwise) will be put back. There floor height will increase by ½-2".

Driveway (Level I)

We would like the option to replace the current gravel driveway with two 24"-wide concrete strips (with gray coloring and river rock added in to a generic concrete mix, or whatever the recommended concrete additions are).



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Garage (Level II)

The current garage has severe issues and may require replacing more than 50% of materials. The two main issues are (1) a combination of the slab settling and detritus piling up over the years is causing rot at the base of wall and slab (there are sometimes sills there, mostly rotten) and (2) the roof is also falling down and there are big areas of rot in several roof trusses. The previous alley access has been blocked by a fence and the back garage door has been nailed shut and is currently inoperable (rot).

Structural Issue on Garage:

To fix the issue of rotting sills/exterior, we plan to put in one to two courses of CMU (below).

The future board and batten will hang down over the proposed CMU on the exterior, but will stop a couple inches above the soil. Proposed solution- add in one-two courses of CMU with new PT sill plate, sistering in/replacing/adding studs as needed.

Garage Door Options

Replace existing rotted garage door with similar windowless Craftsman carriage garage doors in either metal or fiber glass similar to submitted photos.

Garage Door (walk- in)

A 2- panel wood or fiber cement door (an actual exterior door compared to the current door) and has the 2 panels.

Windows

The windows will be restored using the original panes (only one window has leaded glass) and original wood (if it's not too rotten), otherwise utilize the closest window router bit to the current pattern for the muntins/sills/sashes. Keep all windows the same size and mount matching shutters like the window on the west side to fit window dimensions.

Exterior Finish

Currently 3 of the 4 sides have slightly different exteriors. One side is board and batten, one side side (with garage doors) is ~2" tongue and groove, and two sides are ~1/4" half-lap joints. The plan is to keep the exterior all white with board and batten finish like the east side,

Garage Roof

Increase the roof pitch by 1/12 for better rain protection

► **APPLICABLE DESIGN GUIDELINES:**

Old North Knoxville Design Guidelines, adopted by the Knoxville City Council on November 25, 2004.

M. Auxiliary or Outbuildings (excerpt) (Any and all Design Guidelines may apply)

HISTORIC CHARACTERISTICS

Auxiliary or outbuildngs were often used in Old North Knoxville, although many of them have deteriorated or been destroyed over the years. Typical outbuildings would have included carriage houses, barns outhouses or servants' quarters, often more than one story stall and built with



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steeply pitched gable roofs or combined gable and shed roofs, with weatherboard or board and batten wall covering. Smaller work sheds were also located in the neighborhood. New houses in the district might have had garages, with the same roof shapes and wall coverings, or with wall coverings that matched the primary building on the lot. Many garages and outbuildings in Old North Knoxville are of later construction, and are not contributing buildings. Consult the property descriptions in the Historic Designation Report if you question whether an outbuilding is contributing.

2. The design of features like garage doors that face the street shall mimic carriage house doors from an era consistent with the primary building on the lot.

4. Materials used in constructing outbuildings or accessory buildings may only use materials and design characteristics selected from the following list: wood lap siding with a four inch lap or board and batten; a 12/12 roof pitch; overhanging eaves; exposed rafter tails; wood windows; masonry but not exposed concrete block or split-face block; garage doors appearing to be carriage doors or plank doors with x-bracing or perimeter reinforcing timbers.

COMMENTS:

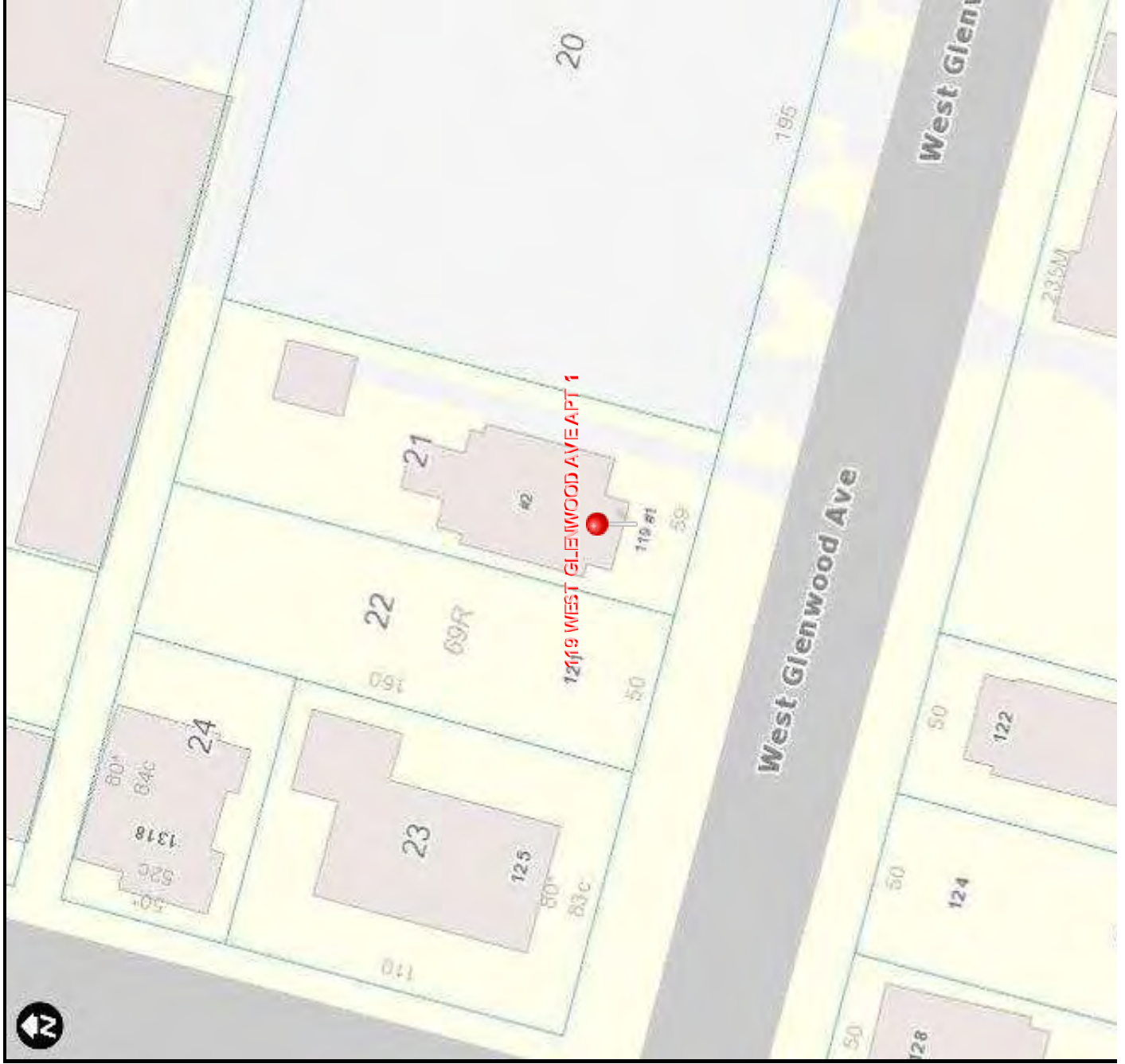
This application includes Level I projects which staff can approve.

STAFF FINDINGS:

- 1) The proposal meets the design guidelines in that the design of all replacements are proposed to be in-kind.
- 2) The materials of the proposed garage doors may be either steel or fiber cement board. There is precedent for approval for these materials on garage doors in the Old North Knox District.
- 3) There are examples of garage doors on both the front and back of garages in the district. The relocation of the garage doors from the rear of the garage to the front does not create a significant change in character for the property and will help the garage to stay viable into the future.
- 4) The garage doors will have a Craftsman appearance without windows as are the existing doors.

► **STAFF RECOMMENDATION:**

Staff recommends approval with the final Craftsman garage door design to be chosen from those presented with this submittal.





119 W. Glenwood Ave.
 Old North Knox H-1

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COA 119 W Glenwood Ave

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Requests:

[Storm Windows \(Level 1\)](#)

[Chimney Cap \(Level 1\)](#)

[Roof Ridge Vent \(Level 1\)](#)

[Front Porch \(Level 1\)](#)

[Back Porch \(Level 1\)](#)

[Driveway \(Level 1\)](#)

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[Current Location](#)

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[Windows](#)

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Front Porch (Level 1)

Current porch has 1 or more rotten floor joists and stairs of different heights. We plan to replace them with in kind materials, best matching finish (gray oil based paint on floor?)

Back Porch (Level 1)

Currently there is a bad leak into the basement. The wooden flooring will be removed and (technically) a roof will be installed over the floor joists (probably OSB with roofing membrane, adding an extra pitch away from house), then the original flooring (if it's in good shape; in kind otherwise) will be put back. There floor height will increase by ½-2".

Driveway (Level 1)

We would like the option to replace the current gravel driveway with 2 24" wide concrete strips (with gray coloring and river rock added in to a generic concrete mix, or whatever the recommended concrete additions are).

Garage (Level 2)

The current garage has severe issues and may require replacing more than 50% of materials. The two main issues are (1) a combination of the slab settling and detritus piling up over the years is causing rot at the base of wall and slab (there are sometimes sills there, mostly rotten) and (2) the roof is also falling down and there are big areas of rot in several roof trusses. The previous (historical?) alley access has been blocked by a fence and the back garage door has been nailed shut and is currently inoperable (rot).

Current Location



Current Garage
Structure in the upper right.(South faces Glenwood)



Current structure (North, West, South walls)



North side of structure (old carriage style doors on left half):



West side of structure:



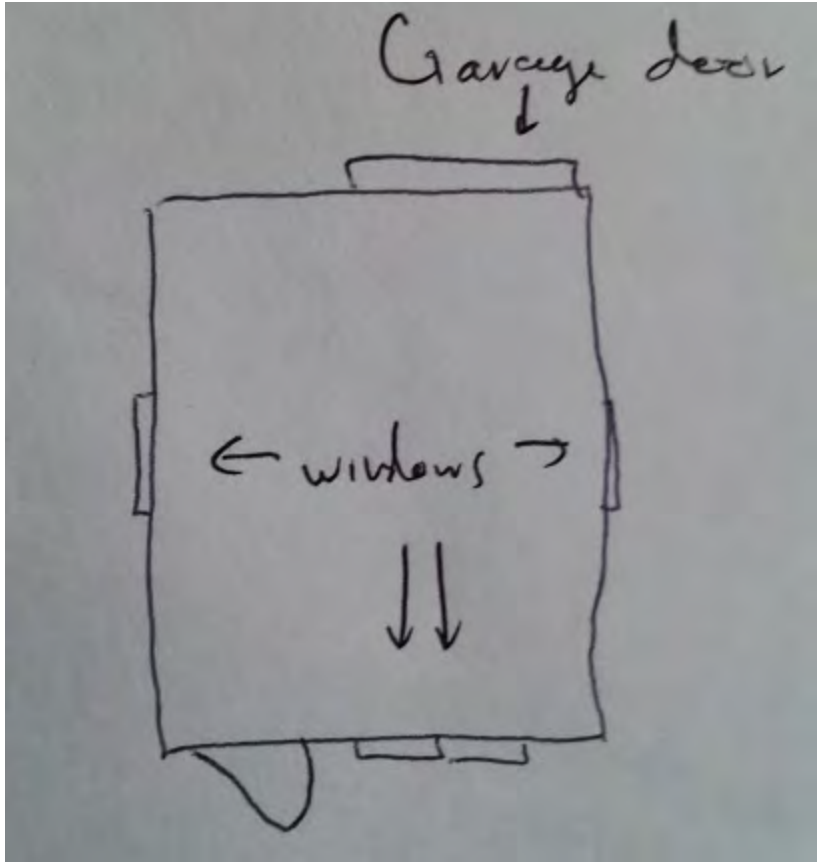
South side of structure



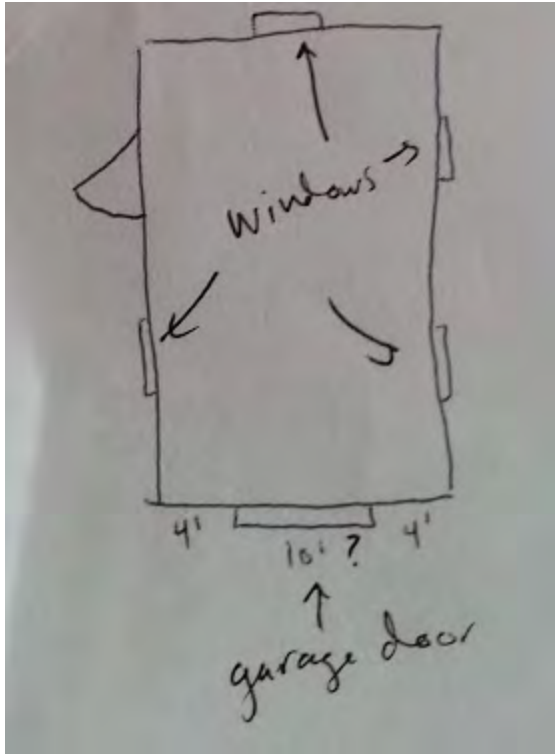
East view is blocked by a hedge,



Current Floorplan



Proposed Floorplan



Structural Issue

To fix the issue of rotting sills/exterior, we plan to put in one to two courses of CMU (below). Note that the future board and batten will hang down over the proposed CMU on the exterior, but will stop a couple inches above the soil.



Proposed solution, add in one-two courses of CMU with new PT sill plate, sistering in/replacing/adding studs as needed.



Garage Door Options

This door seems to be the closest fit to the current door based on the selection in area stores:



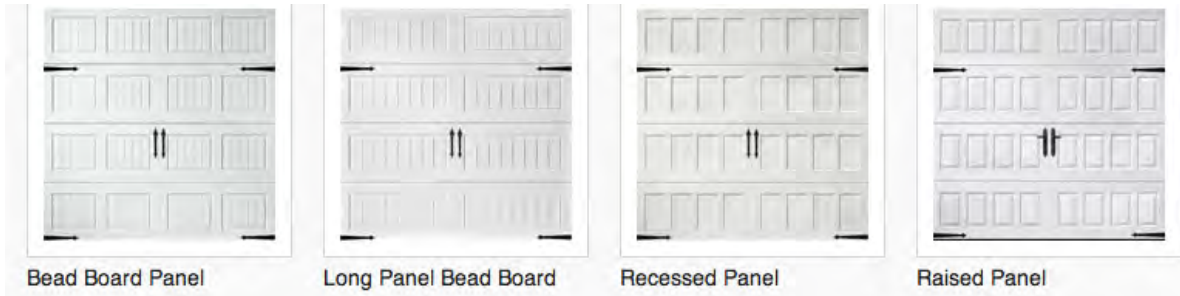
But we're okay with any variation. Since it will face the street (W Glenwood) instead of the alley on the north side, this style is also okay with us:



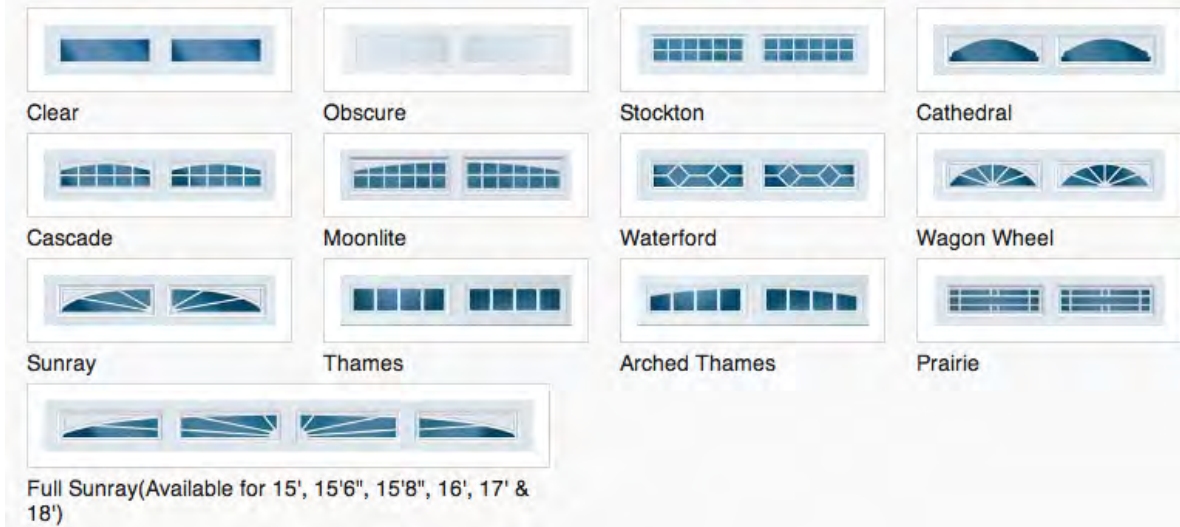
ReliaBilt 8-ft x 7-ft 950 Series Insulated White Garage Door with Windows



We could also get quotes from Sears mixing and matching door patterns, windows and hardware:



Carriage House Garage Door Window Options



Optional Decorative Hardware for Carriage House Garage Doors



Garage Door (walk in)

This 2 panel door seems like a good exterior door that is well made (an actual exterior door compared to the current door) and has the 2 panels that would be more historically appropriate.



Windows

The windows will be restored using the original panes (only one window has leaded glass) and original wood (if it's not too rotten), otherwise I'll use the closest window router bit I can find to the current pattern for the muntins/sills/sashes. I can try to make all windows the same size (it's not clear if they are the same size (hidden by exterior boards) or not) and give them all matching shutters like the window on the west side:



Would you approve a change to the windows so that the muntin pattern matched the house, making them rectangular with the long direction up and down instead of left to right?



It's probably not historically appropriate, but I thought I'd ask.

Exterior Finish

Currently 3 of the 4 sides have slightly different exteriors. One side is board and batten, one side side (with garage doors) is ~2" tongue and groove, and two sides are ~14" half lap joints. The plan is to keep the exterior all white with board and batten finish like the east side,



We would also like to increase the roof pitch by 1/12 for better rain protection.



119 W. Glenwood garage - Street-facing elevation



119 W. Glenwood - Relationship of garage to rear of house



119 W. Glenwood - Front awning close-up



119 W. Glenwood garage - West elevation



119 W. Glenwood - Front window detail



119 W. Glenwood garage - East side



119 W. Glenwood garage - Alley elevation side



119 W. Glenwood - Alley-facing side



119 W. Glenwood - East side looking toward house



119 W. Glenwood - East side looking toward alley



119 W. Glenwood - East side window



119 W. Glenwood - East window and board and batten close-up



119 W. Glenwood - West and front elevations



119 W Glenwood - Window on west side



119 W. Glenwood - Foundation rot



119 W. Glenwood - Siding deterioration at base