



**KNOX COUNTY HISTORIC ZONING COMMISSION  
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

**PROPERTY ADDRESS:** 11029 Lake Ridge Rd 37934  
**DISTRICT:** Concord Village HZ

**FILE NO.:** 12-H-14-HZ

**MEETING DATE:** 12/18/2014  
**APPLICANT:** Gary and Nancy Tucker (architect)  
**LEVEL OF WORK:** Level III. Construction of new primary building

**PROPERTY DESCRIPTION:** new construction  
vacant lot

► **DESCRIPTION OF WORK:**

Construct new one-and-a-half-story frame house and garage on vacant lot. Primary exterior materials are to be smooth fiber cement board siding and shingles, a five-V groove metal roof over porches, and brick foundation. The shingles are to be 6- inch with no wood grain. The windows are to be double-hung, one-over-one with a separate fixed transom. Front door is to be wood with a 1/2 light above recessed panels, and with a white-framed full-light storm door. The front steps are to be brick and the porch floors are to be tongue-and-groove. The driveway will be gravel.

► **APPLICABLE DESIGN GUIDELINES:**

Village of Concord Design Guidelines, adopted by the Knox County Commission on October 22, 2001.

**ROOFS**

1. The shape and pitch of roofs on new construction shall imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style.
2. The eaves on additions or new buildings shall have an overhang that mimics the original eaves. A minimum overhang of at least eight inches shall be used on new buildings or additions to existing buildings.
3. Repair or replace roof details (chimneys, roof cresting, finials, attic vent windows, molding and other unique roof features). Use some of these details in designing new buildings.
4. Materials used in roofing existing buildings or new construction shall duplicate the original.

**PORCHES**

3. New buildings constructed in the Village of Concord shall contain front porches large enough to provide seating. The proportion of the porches to the front facades shall be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades and porch flooring and ceilings shall be built with materials that are consistent in appearance with historic materials. The appropriate size for turned wood columns or newel posts is at least 4" on each side. Craftsman style porch columns and posts are usually 8" to 10" in depth and width.

**WALLCOVERINGS**

12. New construction or additions to non-historic buildings shall use materials that duplicate the appearance of neighboring historic buildings, so that the new buildings blend with the fabric of the area. This includes the use of corner and trim boards, and appropriate door and window trim. If artificial siding used on



**KNOX COUNTY HISTORIC ZONING COMMISSION  
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

**PROPERTY ADDRESS: 11029 Lake Ridge Rd 37934**

**FILE NO.: 12-H-14-HZ**

**DISTRICT: Concord Village HZ**

---

new or non-historic construction, it must be vented every twelve inches, and should look like 4-inch lap siding, with appropriate duplicates of shingles or other decorative features that would have been found originally, unless otherwise approved by the Historic Zoning Commission.

**INFILL AND NEW DEVELOPMENT**

**RESIDENTIAL BUILDINGS - RECOMMENDATIONS:**

1. Maintain the facade lines of streetscapes. Never violate the existing setback pattern by placing new buildings in front of or behind the historic setback line, or at odd angles.
2. Relate the size and proportions of new structures to the scale of adjacent buildings.
3. Break up boxlike forms into smaller masses like historic buildings. New buildings should be designed with a mix of door and window elements in the facade mimicking nearby historic houses. The placement of door and window openings should be imitated.
4. Relate the vertical, horizontal or non-directional facade character of new buildings to the directional alignment of nearby buildings. A new building should reinforce the horizontal and vertical connection between historic houses present on the street.
5. Relate the roof forms of the new buildings to those found in the area, duplicating existing roof shapes and pitches.
6. New buildings shall equal the average height of existing adjacent buildings.
7. New housing shall be built with raised foundations or designed to suggest that there is a raised foundation equal to the foundation height of adjacent buildings.
8. In new buildings, the height of roofs and eaves, stories, windows and doors shall mimic adjacent historic buildings.
9. The materials used for new buildings shall be consistent with existing historic building materials along the street.
10. Front elevations shall have a strong sense of entry.
11. The styles and details of historic architecture should not be reproduced.
12. New additions shall be located at the rear or on an inconspicuous side of a historic building, limiting the size and scale in relation to the historic building.
13. New additions shall be designed so that it is clear what is new and what is old, but should be compatible with existing buildings.
14. New additions shall not alter the basic character of the building, or cause a lessening of historic character.
15. Garages and other outbuildings shall resemble outbuildings that have been historically constructed in the Village of Concord. Their size and construction shall use materials that correspond to the original primary buildings on the lot.

---

**COMMENTS:**

**STAFF FINDINGS:**

- 1) The submitted elevations depict a rural vernacular farmhouse during a transition from the Folk Victorian era to the Craftsman era. Concord Village exhibits several houses from this era of the 1910s through the 1930s.
- 2) The following new construction guidelines have been considered in the materials and design:



**KNOX COUNTY HISTORIC ZONING COMMISSION  
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

**PROPERTY ADDRESS: 11029 Lake Ridge Rd 37934**

**FILE NO.: 12-H-14-HZ**

**DISTRICT: Concord Village HZ**

---

"New buildings should be compatible with surrounding architecture, but their design should recognize that they will function as a new building and will be built with new materials. They should not be imitations of buildings of the past; rather, they should respond to the present time. . . "

"A building should not be visually incompatible or destroy historic relationships within the neighborhood. At the same time, new construction should not imitate a historic style or period of architecture. The styles and details of historic architecture should not be reproduced."

- 3) The setback and height of the proposed house is similar to the house one either side of the subject lot.
- 4) The proposed design and materials meet the Concord Design Guidelines overall for new construction.

**► STAFF RECOMMENDATION:**

Approval with condition that a design for the balustrade be submitted to staff that reduces the apparent height of the balusters from the 36-inch height required by Building Code.

Knoxville/Knox County Metropolitan Planning Commission  
Knoxville/Knox County Historic Zoning Commission

Certificate (File) No.:

Date Filed:

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**

I (we) make application for a Certificate of Appropriateness for the plans and proposals described for the following property.

1. **NAME OF APPLICANT:** Gary & Nancy Tucker  
Address: 11029 Lake Ridge Dr. Knoxville TN 37934  
Telephone: 865-693-6696 Fax:  
Relationship to Owner: Owner

2. **NAME OF OWNER:**  
Address:  
Telephone: Fax:

3. **LOCATION OF PROPERTY (Address, Lot, and Parcel No.):**  
Address: 11029 Lake Ridge Dr. Tax ID:  
Knoxville TN 37934

4. **TYPE OF WORK:**  
Level: 3

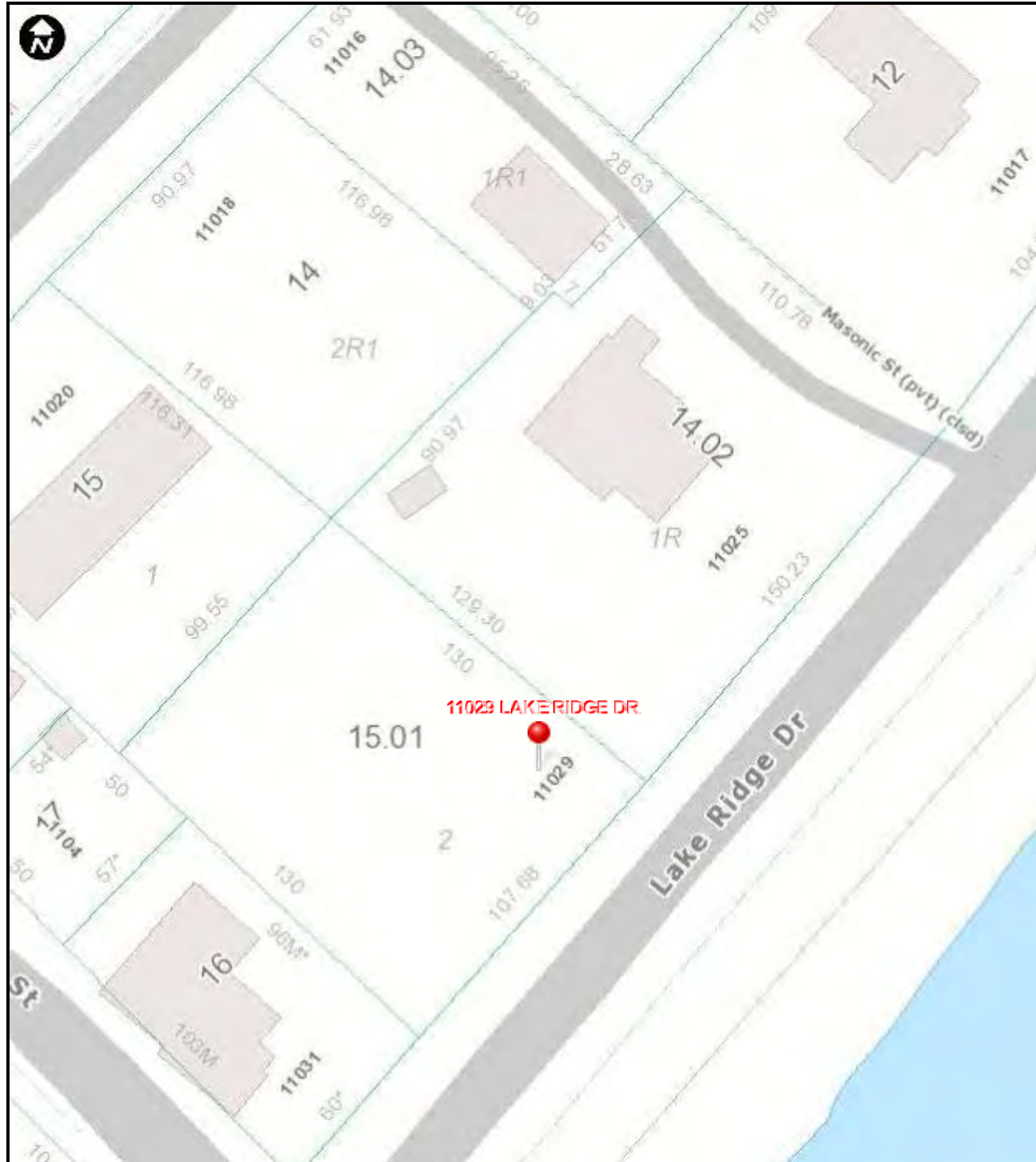
5. **DESCRIPTION OF WORK:** (See Part 2 of this application for additional information to be submitted with the application. A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)


See attached drawings - major materials are fiberglass shingles, metal roof over porch, hard plank siding & masonry foundations -


6. **SIGNATURE OF APPLICANT:** McSherry for Gary & Nancy Date: 12/01/2014

Return application to: Knoxville/Knox County Historic Zoning Commission,  
Suite 403, City/County Building, 400 Main Street,  
Knoxville, Tennessee 37902.

FOR STAFF USE ONLY			
Date Received _____	Approved _____	Disapproved _____	
Approved As Modified _____	Date Acted On _____		





KGIS Copyright - 2014 0  50 Feet

**11029 Lake Ridge Drive**  
Concord Village HZ

KGIS - 606 Main St - Suite 150 - Knoxville, TN 37902 - [www.kgis.org](http://www.kgis.org) Printed: 9/26/2014 at 1:18 PM

**Disclaimer:** KGIS makes no representation or warranty as to the accuracy of this map and its information nor to its fitness for use. Any user of this map product accepts the same AS IS, WITH ALL FAULTS, and assumes all responsibility for the use thereof, and further covenants and agrees to hold KGIS harmless from any and all damage, loss, or liability arising from any use of this map product.





11029 Lake Ridge – Lot



11029 Lake Ridge – Lot looking west

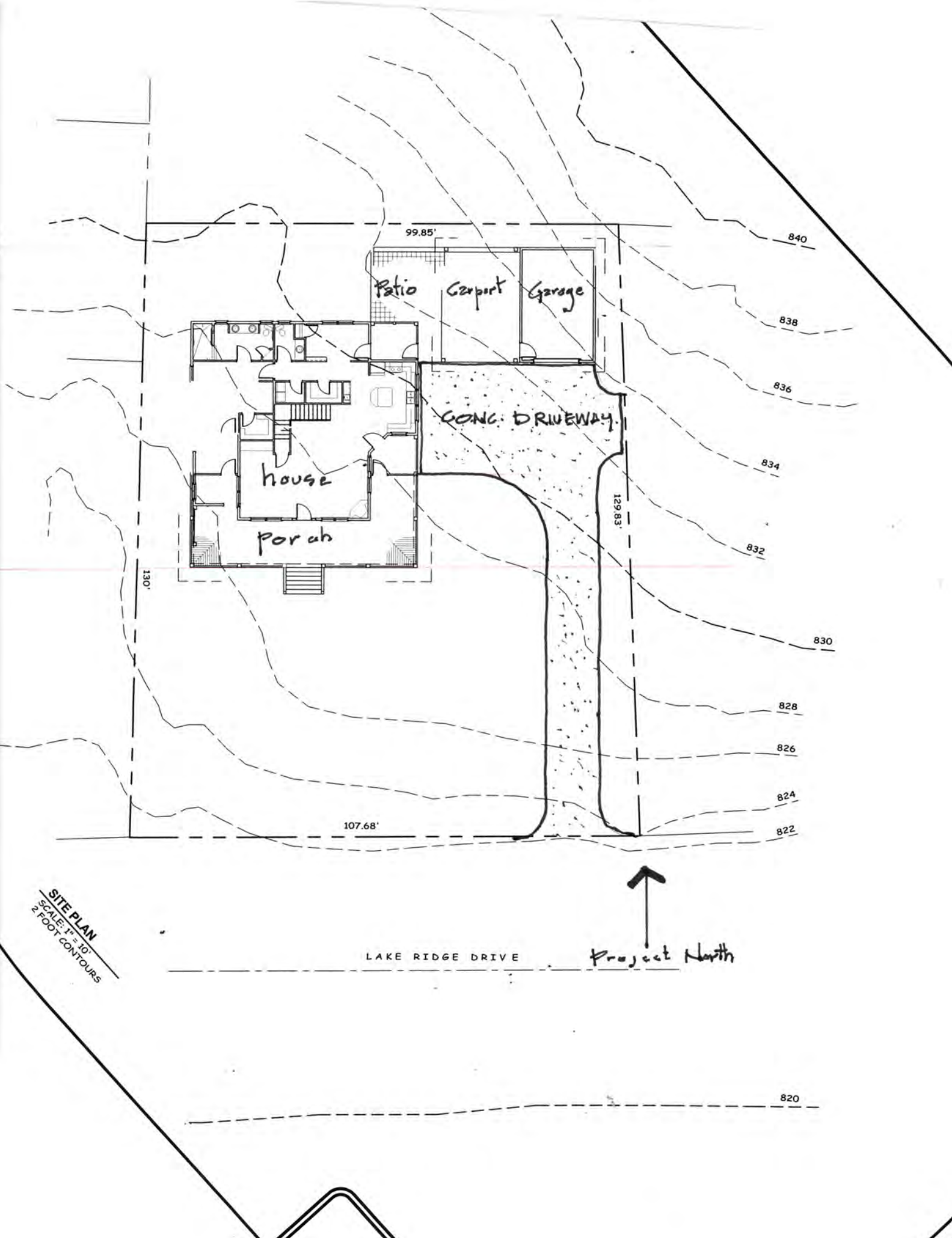


11029 Lake Ridge – Lot looking east



11029 Lake Ridge – Lot looking east 2



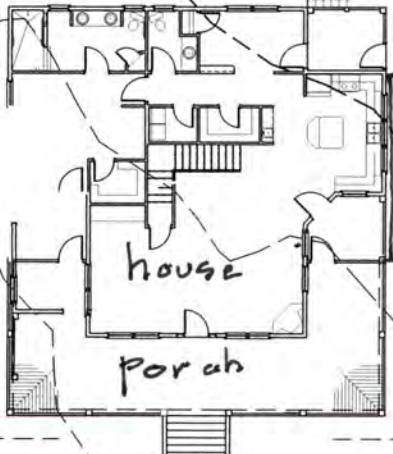


99.85'

840

Patio Carport Garage

838



CONC. DRIVEWAY

836

House

834

porch

832

130'

129.83'

830

828

826

824

107.68'

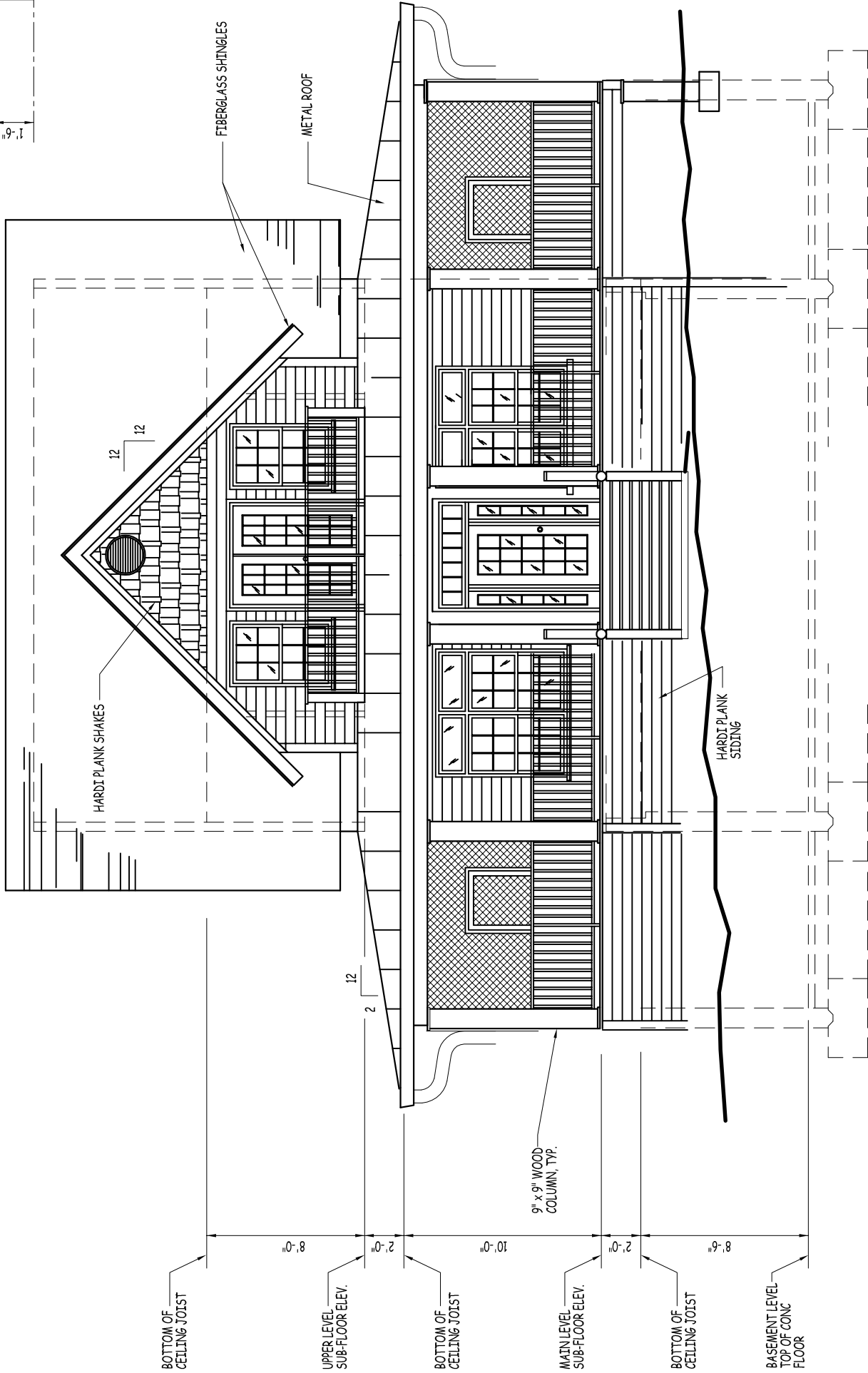
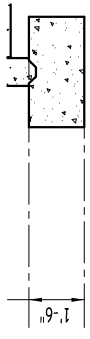
822

**SITE PLAN**  
SCALE: 1" = 10'-0"  
& 2 FOOT CONTOURS

LAKE RIDGE DRIVE

Project North

820



BOTTOM OF  
CEILING JOIST

8'-0"

UPPER LEVEL  
SUB-FLOOR ELEV.

2'-0"

BOTTOM OF  
CEILING JOIST

10'-0"

9" x 9" WOOD  
COLUMN, TYP.

MAIN LEVEL  
SUB-FLOOR ELEV.

2'-0"

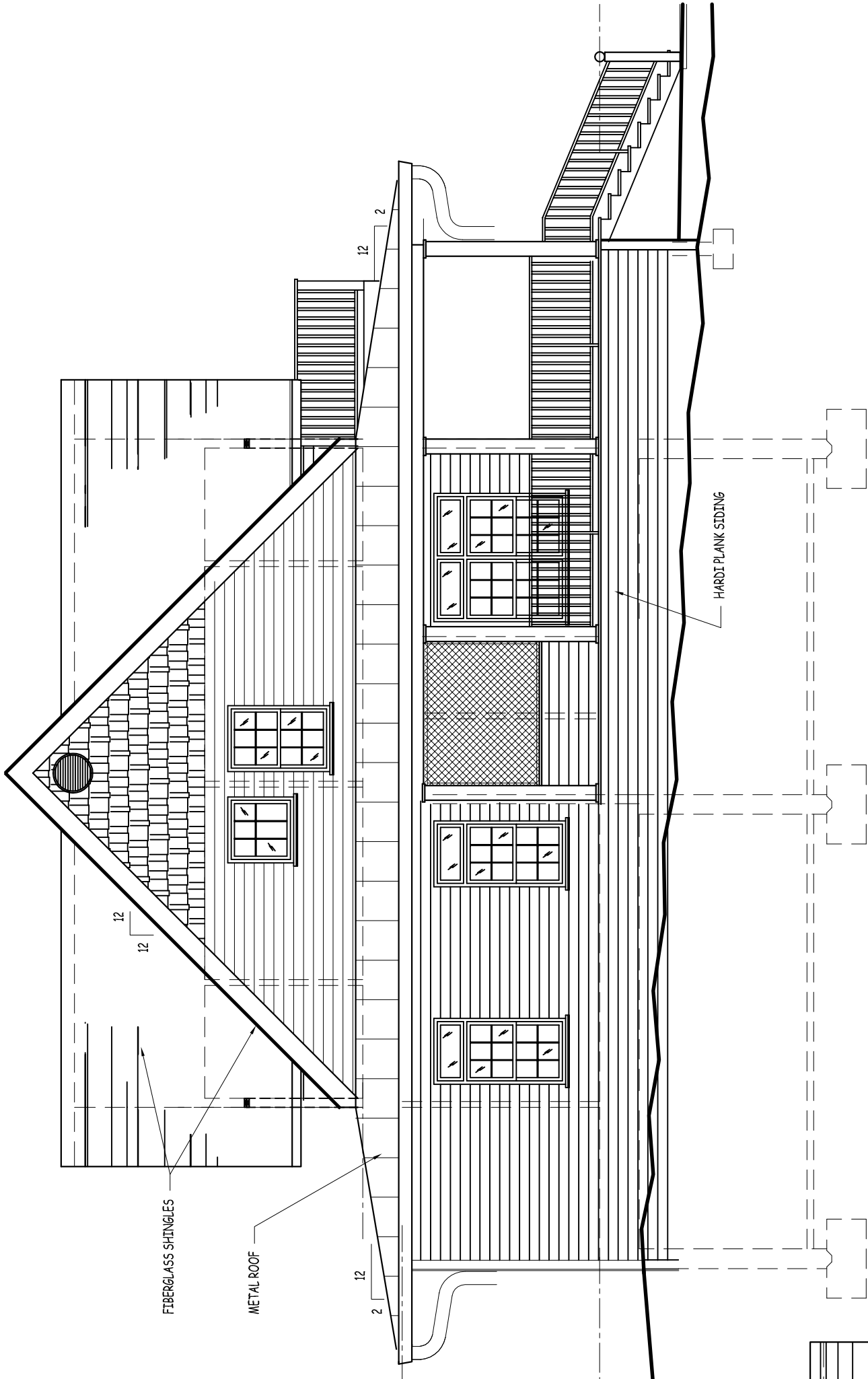
BOTTOM OF  
CEILING JOIST

8'-6"

BASEMENT LEVEL  
TOP OF CONC  
FLOOR

**SOUTH EXTERIOR ELEVATION** **A**  
A-6

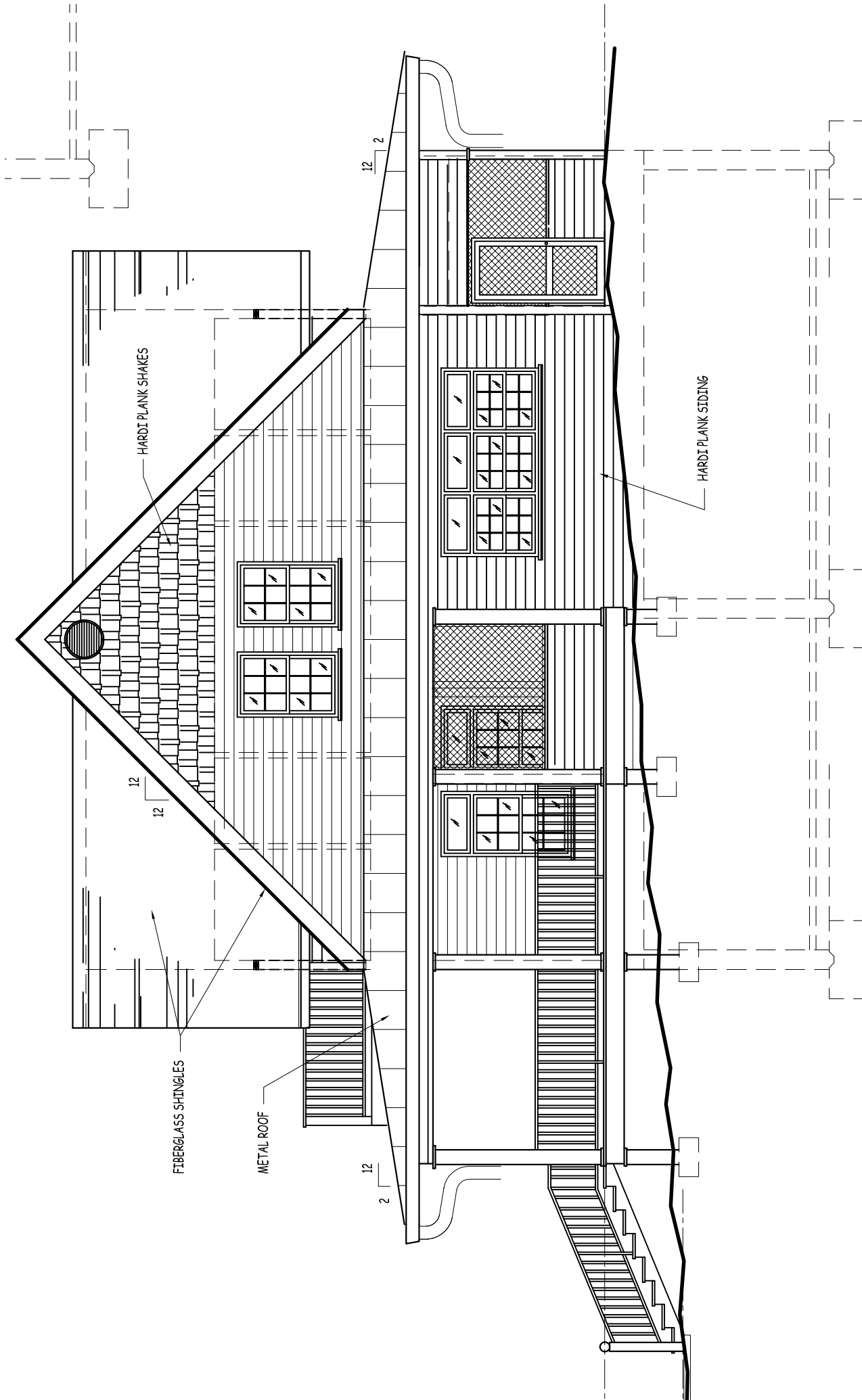
SCALE: 1/4"=1'-0"



**B**  
**A-7**

**WEST EXTERIOR ELEVATION**

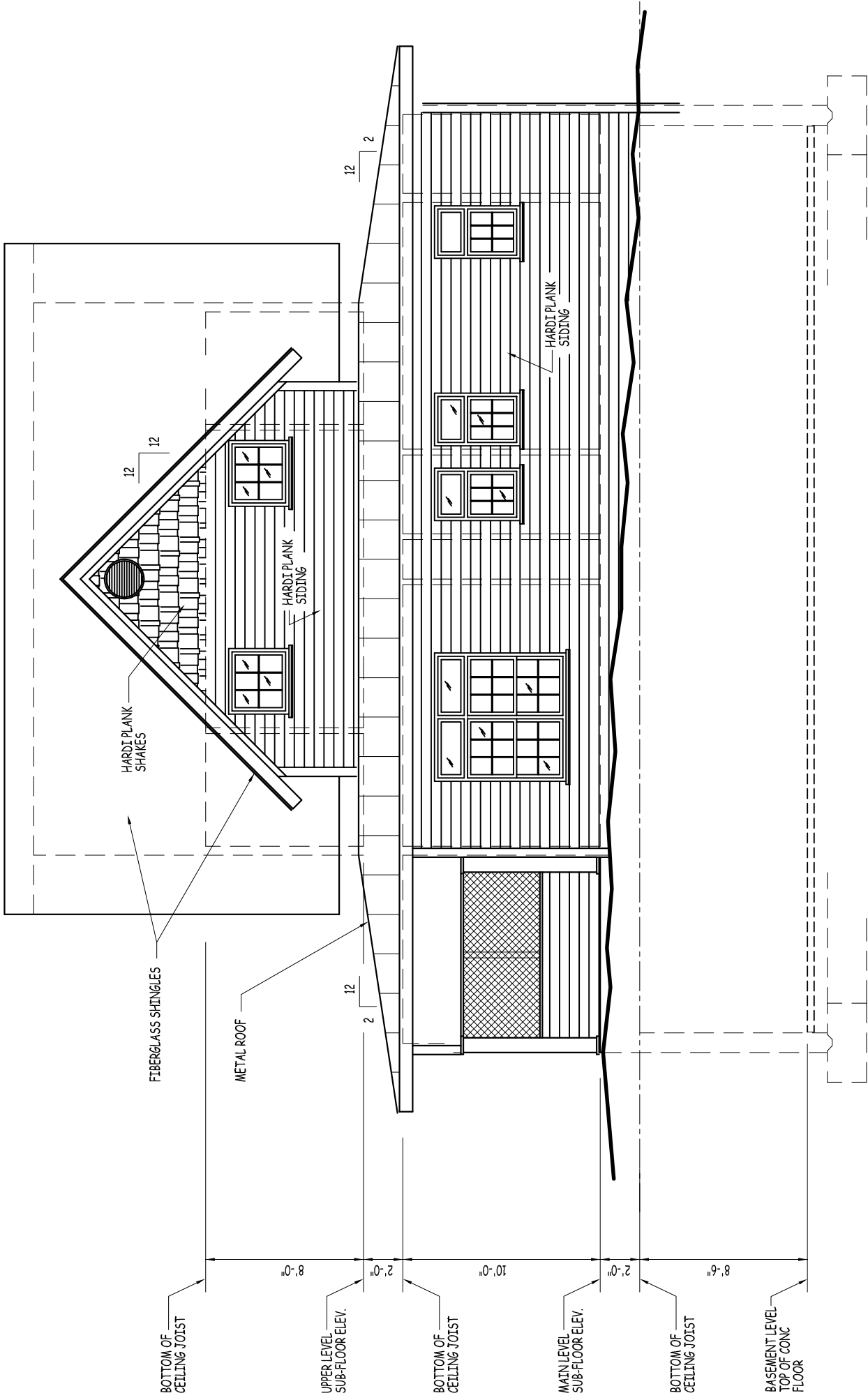
SCALE: 1/4"=1'-0"



**EAST EXTERIOR ELEVATION**

SCALE: 1/4"=1'-0"

C  
A-7

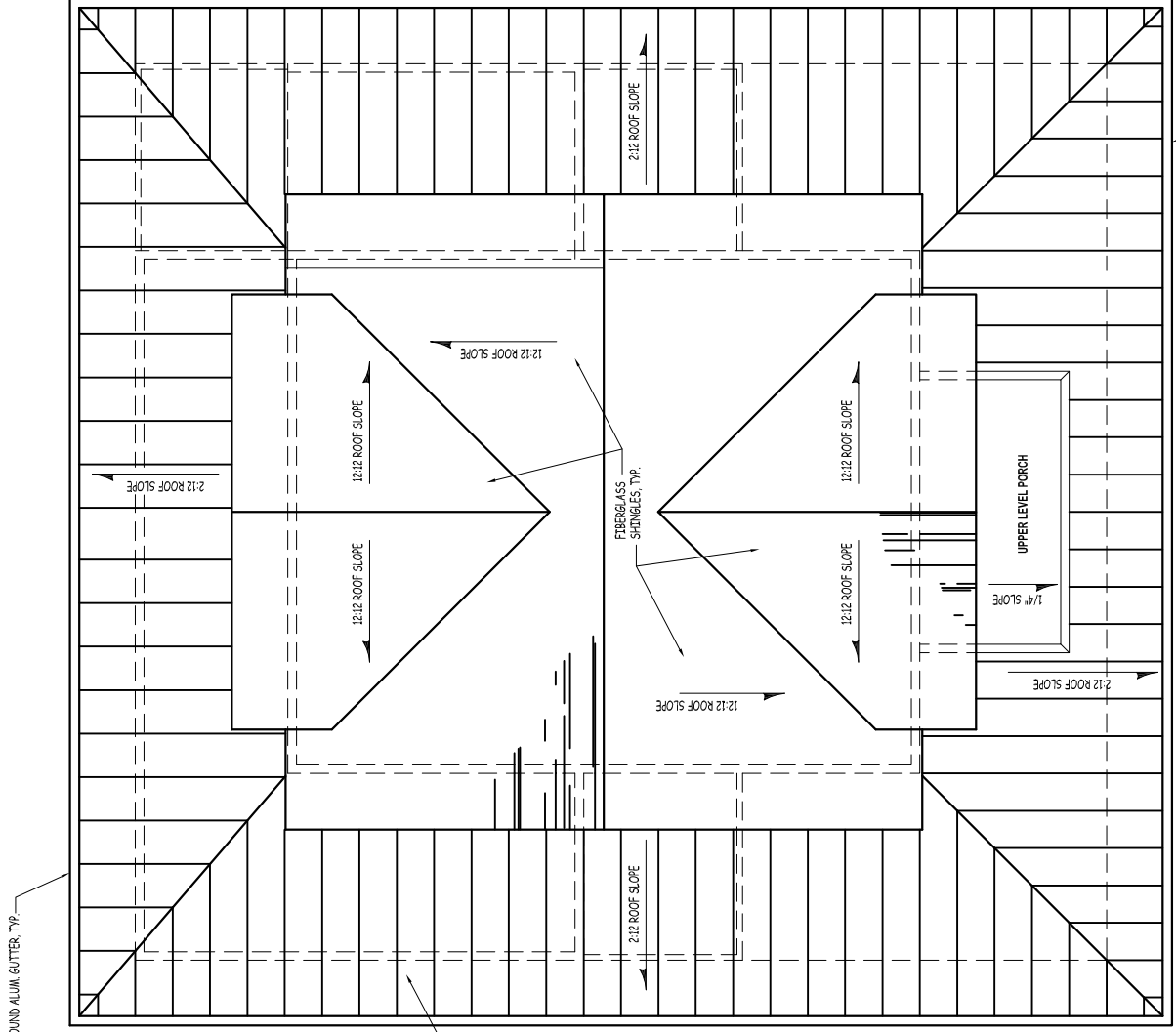
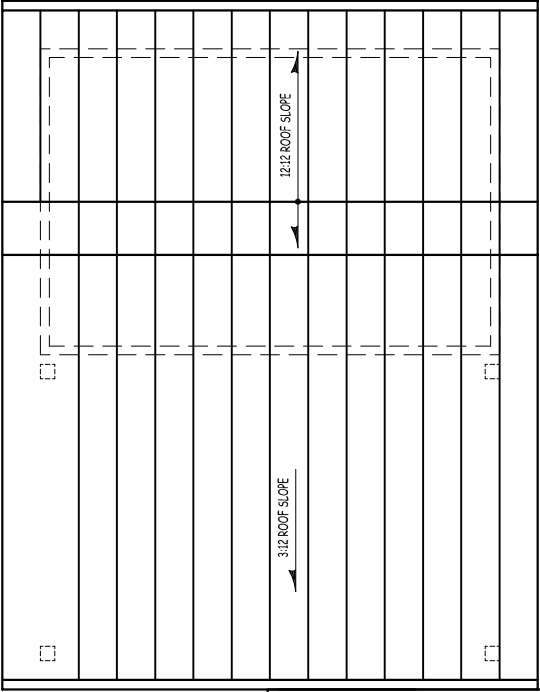


**NORTH EXTERIOR ELEVATION**

**A**  
**A-8**

SCALE: 1/4"=1'-0"





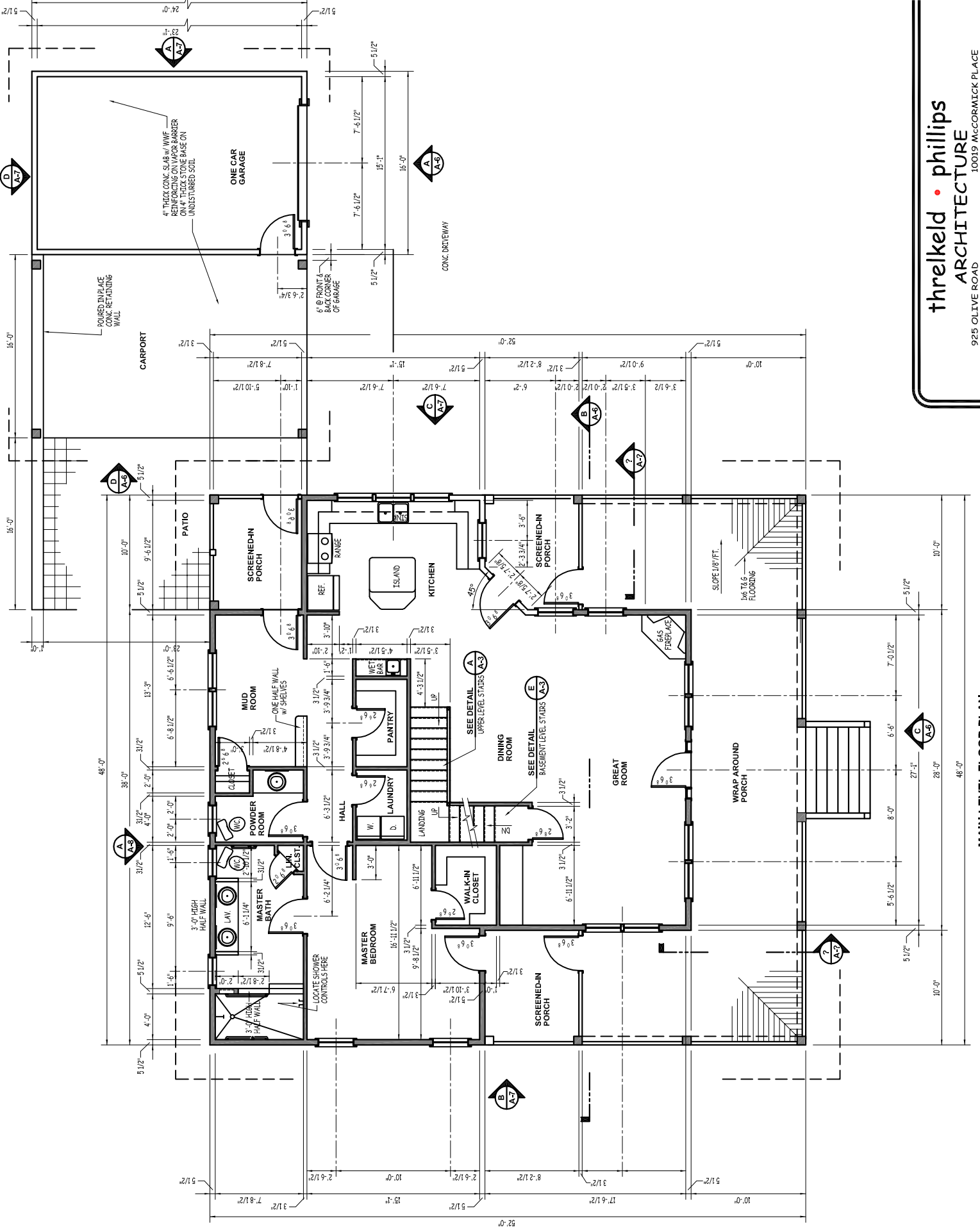
6" HALF ROUNDS ALUM. GUTTER, TYP.

METAL STANDING SEAM ROOF, TYP.

FIBERGLASS SHINGLES, TYP.

6" HALF ROUNDS ALUM. GUTTER, TYP.

**ROOF PLAN**  
SCALE: 1/4"=1'-0"





11029 Lake Ridge – Fiber cement board and shingle example