



**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

PROPERTY ADDRESS: 724 Deery St 37197

FILE NO.: 12-D-14-HZ

DISTRICT: Fourth and Gill H-1

MEETING DATE: 12/18/2014

APPLICANT: Dan Butler (owner)

LEVEL OF WORK: Level II. Construction of addition or outbuilding

PROPERTY DESCRIPTION: Queen Anne (c. 1890)

One-and-a-half-story frame with weatherboard wallcovering. Hip roof with lower cross gables, oversize diamond pattern asphalt shingles, sawn wood attic vent. One-over-one double-hung windows paired at front on first story and tripled on second story. One-story full front porch with hipped roof, sawn wood square oversize columns with applied detail to suggest piers, sawn wood brackets. Interior offset brick chimney with chimney posts. Brick foundation. Irregular plan. Late one-story shed roof rear ell with board and batten. (Contributing)

► **DESCRIPTION OF WORK:**

Construct screened-in porch on the rear of an existing one-story addition. The hipped roof of the screened porch would be asphalt-shingled and similar to that on the front porch of the main house. The floor of the porch will be tongue-and-groove. The porch would rest on brick piers at a height above-grade at 5'-6". The porch roof would be supported by 8x8 wood posts with decorative sawnwork balusters and brackets (matching brackets on the front porch). The new rear door will be wood-framed full-light door. The risers and steps to the back porch are to be wood brackets will match the front. The steps will be wood. The door to the porch will be screened and the inside door will either be wood-framed full-light or a salvaged wooden French door. Treated wood lattice is to infill between brick piers.

On the existing rear addition, replace flat, rubber-membraned roof with an asphalt shingled gabled roof. Install wood clapboard siding on existing rear addition to match that on main house to replace board and batten. No new windows are proposed to be added; however, two skylights are proposed in the new roof of the existing rear addition.

► **APPLICABLE DESIGN GUIDELINES:**

Fourth and Gill Design Guidelines, adopted by the Knoxville City Council on April 20, 1999 and June 29, 1999.

ADDITIONS

1. Locate attached exterior additions at the rear of a historic building, limiting the size in relationship to the historic building. Proportion is very important.
 2. Design new additions in a manner that makes clear what is historic and what is new. New work should not appear to be as old as the historic building. Do not duplicate the exact form, material, style, and detailing of the historic building in the new addition.
 8. New additions should not cause a lessening or loss of historic character, including the historic building's design, materials, workmanship, or location.
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ENTRANCES

3. Service (rear or side) entrances should not be altered to make them appear to be formal entrances.
4. Secondary entrances should be compatible with the originals in size, scale or materials but should not give the appearance of a primary entrance.
7. . . Replacement doors should mimic doors typical for that architectural style, including materials, glazing, and pane configuration. Solid six panel or flush wood or steel design doors should only be used for entrances not visible from the public street. "Decorator" designed doors available from wholesale hardware stores are usually not appropriate for the architectural styles of the Fourth & Gill Historic District.

ROOFS

1. The shape and pitch of roofs on new construction should imitate the shape and pitch of roofs on neighboring existing houses or other houses of the same architectural style. Replacement roofs should copy the shape and pitch of original roofs, and the soffit, fascia and trim detail between roof and wall should mimic the original.
2. The eaves on additions or new buildings should have an overhang that mimics the original eave, or where this is not feasible, mimics the existing buildings near the property. A minimum eave overhang of at least eight inches should be used on new construction. Fascia boards should be included on the gables.
4. Materials used in roofing existing buildings or new construction should duplicate the original roofing materials if possible.
5. Do not use solar collectors, modern skylights, or inappropriate structures on roof planes that are visible from the street. If they are installed, they should not comprise more than 3% of the total roof surface.

PORCHES

4. In new construction, the proportion of the porches to the front facades should be consistent with the historic porches in the neighborhood. Details such as columns, posts, piers, balustrades and porch flooring must use materials that present a visually and physically appropriate appearance historically.
6. Screening porches may be acceptable if screening is translucent and the open appearance of the porch is maintained.

COMMENTS:

STAFF FINDINGS:

- 1) The applicant states that the roof and subsequently the floor and back wall of the late rear addition deck, had deteriorated and collapsed in earlier years.
- 2) The screened-in porch addition will not be seen from the public right-of-way. It will be inset from the rear corners of the house by 12 inches.
- 3) The rear addition is not original or early, and horizontal lapped siding is an appropriate sheathing material to replace the board and batten.
- 4) The proposed wood materials and details for the rear addition are compatible with the main house, although rear porches typically did not feature brackets. However, in this case, the brackets aren't being added to a historic porch.



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5) The hipped-roof shape over the porch addition is compatible with that on the rear of the main house and with that on the front porch.

6) The two proposed skylights will not be visible from the front of the house or exceed 3% of the roof surface as recommended by the guidelines.

► **STAFF RECOMMENDATION:**

Approval, with a submittal for porch balustrade and step railing design that visually reduces the 36-inch height required by building code.

Knoxville/Knox County Metropolitan Planning Commission
Knoxville/Knox County Historic Zoning Commission

Certificate (File) No.: 12-D-14-H2

Date Filed: 12.1.14

APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS

I (we) make application for a Certificate of Appropriateness for the plans and proposals described for the following property.

1. NAME OF APPLICANT: DAN BUTLER

Address: 617 DEERY ST. KNOXVILLE, TN 37917

Telephone: 270-584-0146

Fax:

Relationship to Owner: OWNER

2. NAME OF OWNER:

Address:

Telephone:

Fax:

3. LOCATION OF PROPERTY (Address, Lot, and Parcel No.):

Address: 724 DEERY ST.

Tax ID: 094DJ019

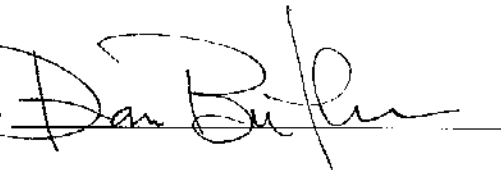
4. TYPE OF WORK:

Level:

5. DESCRIPTION OF WORK:

(See Part 2 of this application for additional information to be submitted with the application. A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission.)

6. SIGNATURE OF APPLICANT:



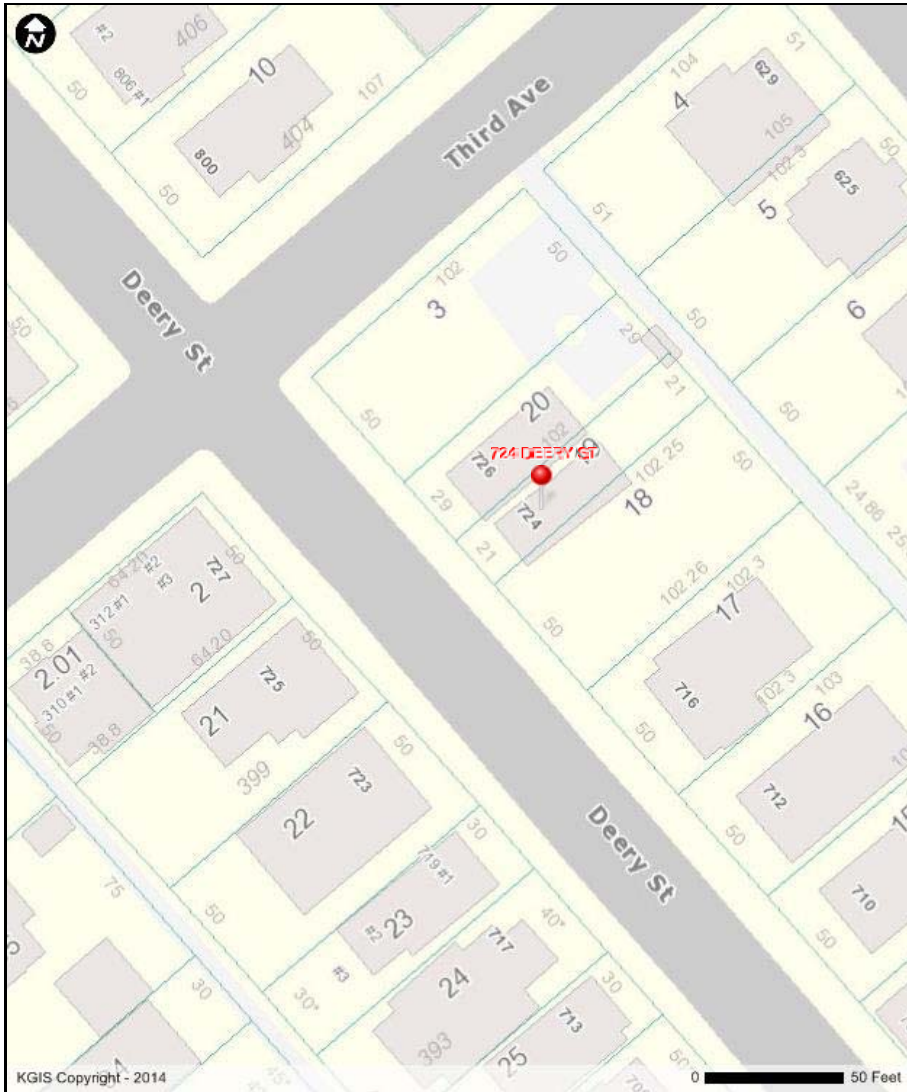
Date: 12-1-14

Return application to:

Knoxville/Knox County Historic Zoning Commission,
Suite 403, City/County Building, 400 Main Street,
Knoxville, Tennessee 37902.

FOR STAFF USE ONLY

Date Received _____ Approved _____ Disapproved _____
Approved As Modified _____ Date Acted On _____



724 Deery Street
4G H-1

KGIS - 606 Main St - Suite 150 - Knoxville, TN 37902 - www.kgis.org

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Descriptions:

1. The original back room roof rotted years ago and caved in ultimately causing the back room floor to collapse into the cellar. The back wall of the back room also rotted as did the support of the old deck which was on the back of the house.
2. Because the back wall will need to be replaced, we would like to use normal wood siding rather than current board and batten siding which was used when this back room was added onto the house.
3. When Al Wishart replaced the roof on this back room at some point after the cave in, he used a flat rubber roof, we would like to replace this rubber roof with a gabled shingled roof.
4. We would like to include two sky lights (not visible from the front of the house) on the new roof of the back room.
5. We would also like to add a screened porch to replace the collapsed deck. The new roof of the screened porch would mirror the front porch of the original house (see attached drawing.)

724 Deery House Rear Porch Addition



8ch` f aXZageW



DWSdaXZageW



S` Vefack ZXh` f



8ch` f badUZ ZVM\$|^



8ch` f badZ



8ch` f badZ Td\$U W\$

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 e. dlevy@DKLevyDesign.com
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Butler Residence

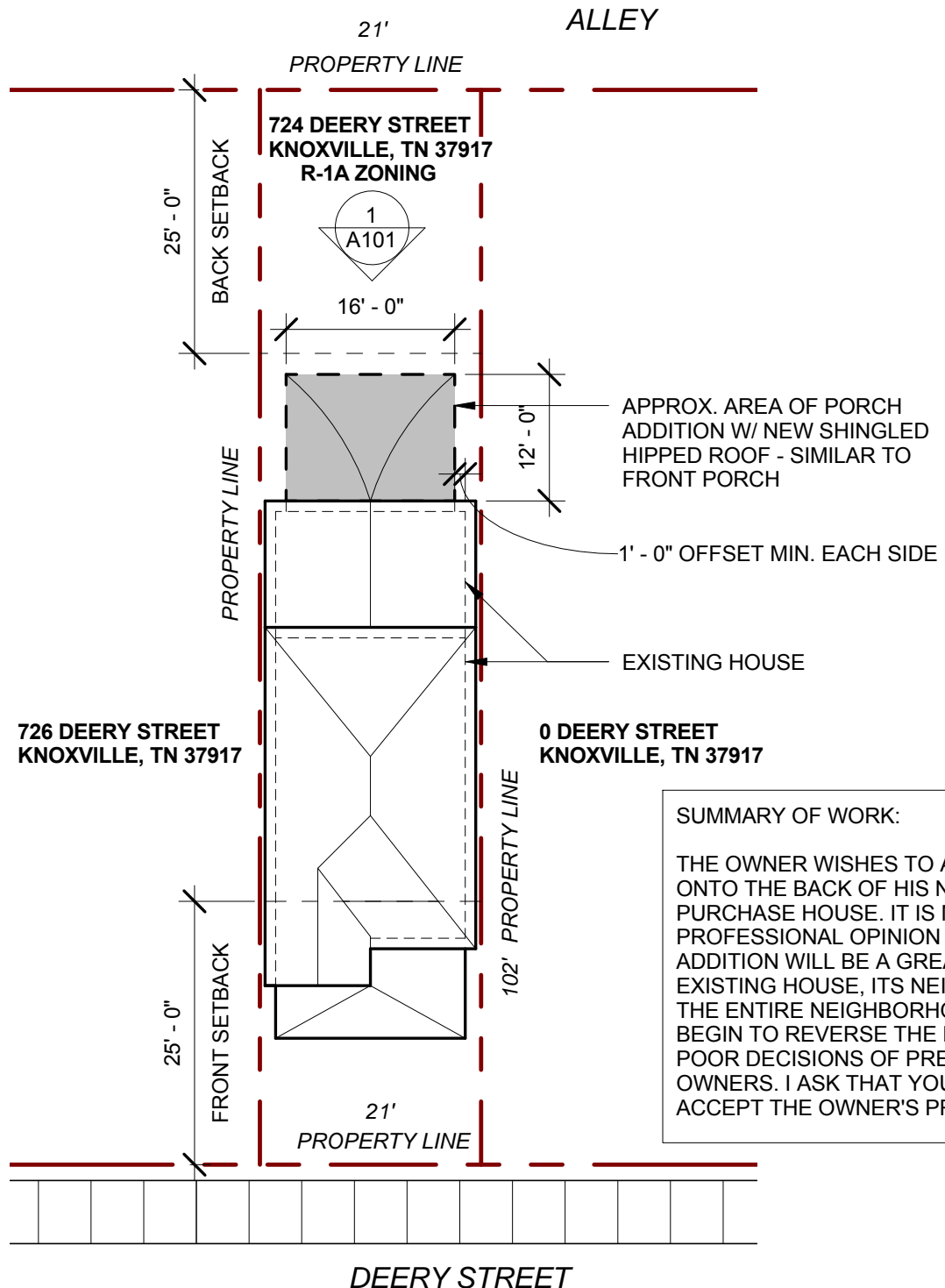
724 Deery Street
 Knoxville, TN 37917

EXISTING PHOTOS

Project number	11.09.14
Date	11/11/14
Drawn by	Author
Checked by	Checker

G001

Scale



SUMMARY OF WORK:

THE OWNER WISHES TO ADD A PORCH ONTO THE BACK OF HIS NEWLY PURCHASE HOUSE. IT IS MY PROFESSIONAL OPINION THAT THIS ADDITION WILL BE A GREAT BENEFIT THE EXISTING HOUSE, ITS NEIGHBORS AND THE ENTIRE NEIGHBORHOOD, AND BEGIN TO REVERSE THE EFFECTS OF POOR DECISIONS OF PREVIOUS OWNERS. I ASK THAT YOU PLEASE ACCEPT THE OWNER'S PROPOSAL.

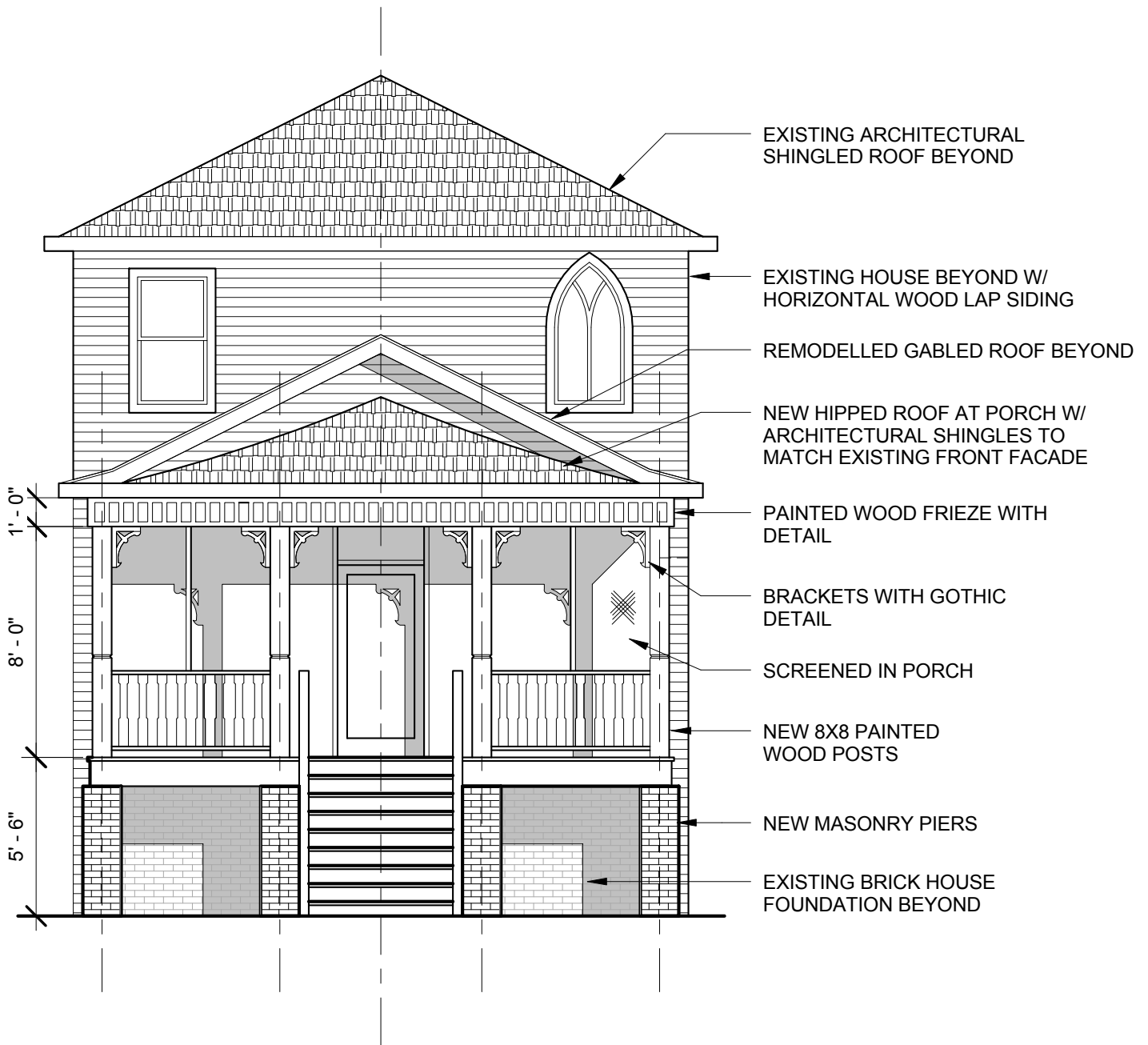
① **SITE PLAN**
1/16" = 1'-0"

DKLEVY
architecture + design
1111 S. Chilhowee Drive Knoxville, TN 37914
e. dlevy@DKLevyDesign.com
p. 865.323.8495 w. www.DKLevyDesign.com

Butler Residence

724 Deery Street
Knoxville, TN 37917

SITE PLAN		A100
Project number	11.09.14	
Date	11/11/14	
Drawn by	DWR	
Checked by	DWR	Scale 1/16" = 1'-0"



1 PORCH ELEVATION
3/16" = 1'-0"

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Butler Residence

724 Deery Street
Knoxville, TN 37917

PORCH ELEVATION

Project number 11.09.14

Date 11/11/14

Drawn by DWR

Checked by DWR

A101

Scale 3/16" = 1'-0"

724 Deery Street - Revised side elevation

