

**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

MEETING DATE: 2/21/2008

► FILE NO.: 20808SCN

APPLICANT: Devin Ferguson (Integrus) (Contractor)

ADDRESS OF PROPERTY: 1105 Scenic Dr

HISTORIC DISTRICT: Scenic Drive NC-1

TYPE OF WORK: Level II Replacement/repair

► DESCRIPTION OF WORK: Removing a rear screened porch and replacing it with a garage; removing existing garage and adding a laundry room; add covered stoop for front entry. Hardi-shake and brick veneer exterior, with asphalt roof shingles. Front porch will have swept front gable with small telescoping front gable to mark front entry, brick columns with segmental arch at front entry; tripled square columns at corner of side section of front porch.

PROPERTY DESCRIPTION: Ranch (1955)

One story frame with brick veneer wall covering. Hip and cross gable roof with asphalt shingle roof covering. One story garage on south elevation. Six over nine double hung windows. Exterior front brick chimney. Irregular plan. Designed by Elizabeth W. Dunlap.

► APPLICABLE DESIGN GUIDELINES:

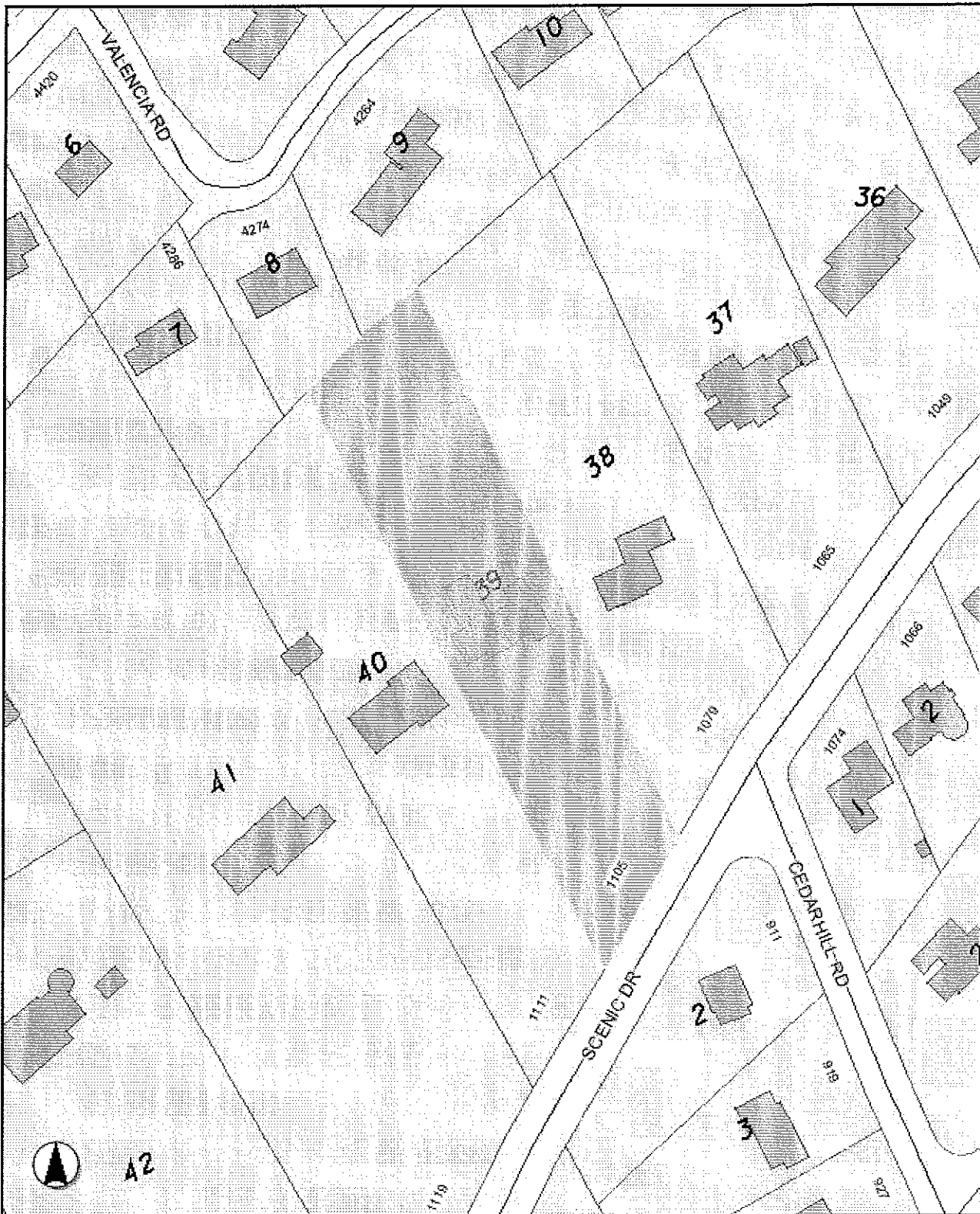
Scenic Drive NC-1 Design Guidelines, adopted by Knoxville City Council 9/26/2006.

► STAFF RECOMMENDATION:

APPROVE Certificate No 20808SCN. Proposed changes will improve front façade of house so it blends better with other historic buildings on Scenic.

COMMENTS:

New Construction - Additions (pg. 12) calls for materials that are consistent with the existing historic materials (#12). Carports and garages should not face the street (pg. 12, #7). Under Roof (pg. 13, #1 & #2) the roof pitch and roof shape is consistent with others in the district. The proposed plans create a strong front entry orienting the house better to the street (see pg. 13, #2).



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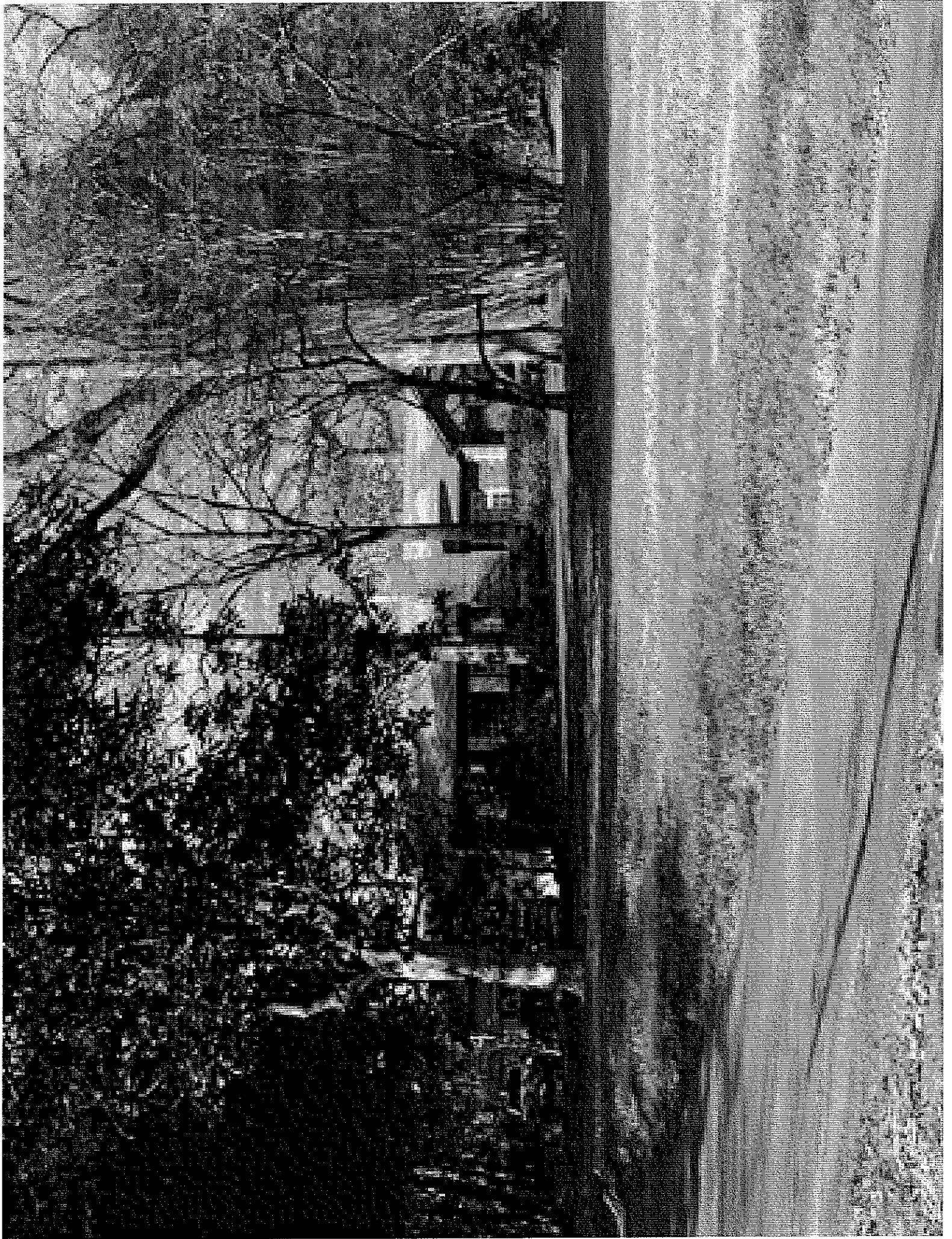
0 126ft

**1105 Scenic. Certificate No. 20808SNC. Knoxville Historic Zoning
Commission Meeting of February 21, 2008.**

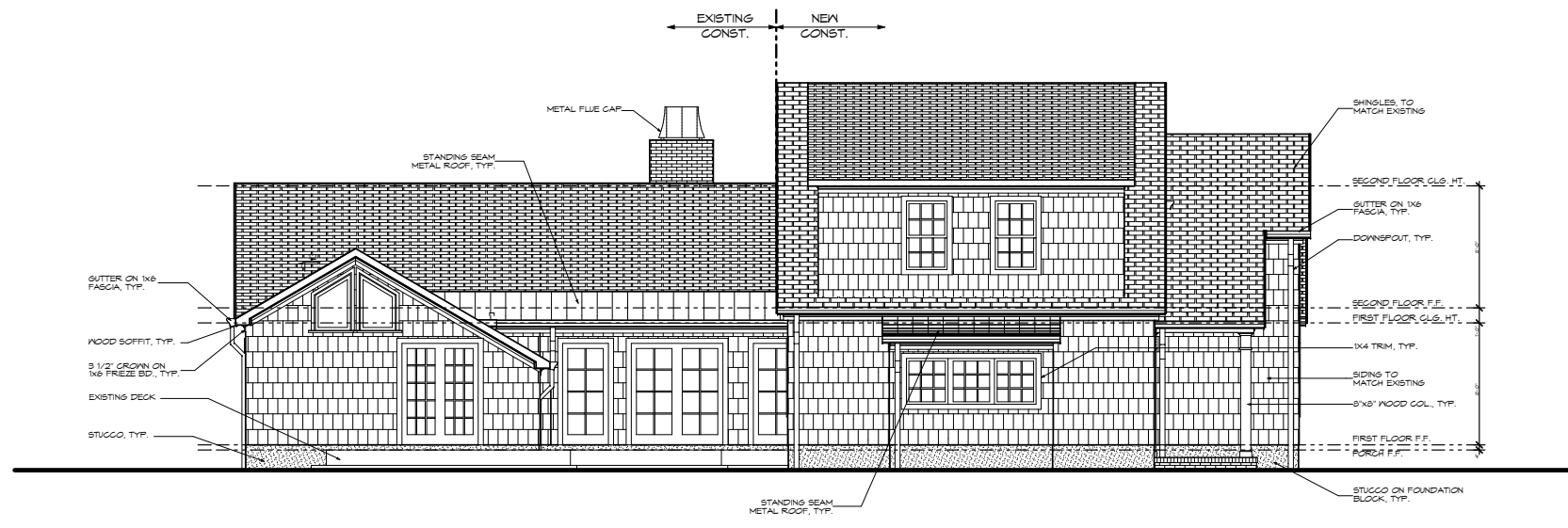
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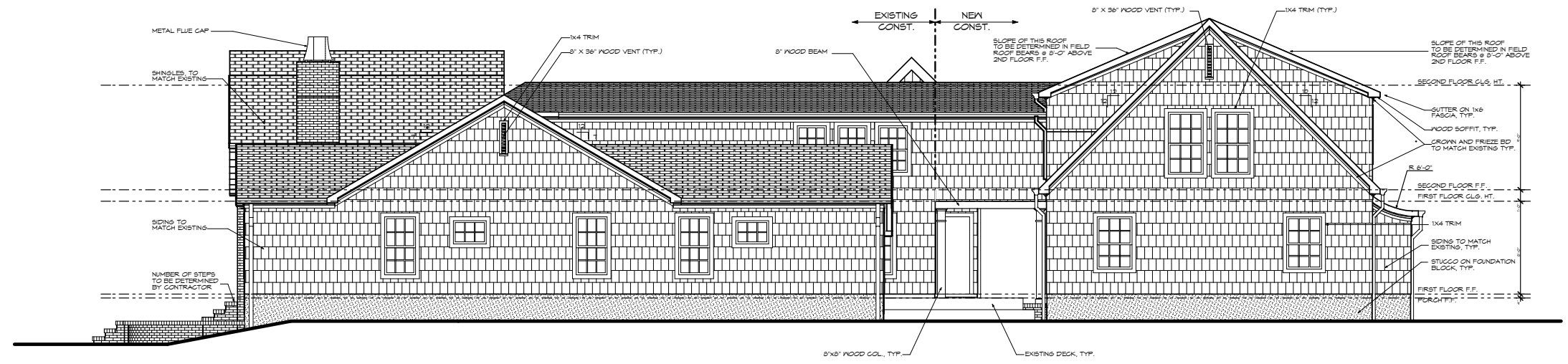
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- NOTES:
- 1.) ALL EXTERIOR FINISHES/MATERIALS SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
 - 2.) PROVIDE BRICK THAT COMPLIES WITH ASTM C 216, GRADE SN WITH COLOR AND TEXTURE AS APPROVED BY THE OWNER OR AS INDICATED ON THE DRAWINGS. MORTAR, COMPLY WITH ASTM C 270, PROPORTION SPECIFICATIONS. TYPE N MORTAR SHALL BE USED AT ALL EXTERIOR WORK. TYPE M MORTAR SHALL BE USED AT BELOW GRADE WORK AND AT WORK IN CONTACT WITH EARTH.
 - 3.) STEEL LINTELS FOR MASONRY OPENINGS SHALL BE PROVIDED ASTM A 36 STEEL SHAPES WITH EXTERIOR GRADE PRIMER AT ALL OPENINGS IN MASONRY VENEER. AT OPENINGS GREATER THAN 5'-4" IN WIDTH, ATTACH THE LINTEL TO HEADER OR BACK-UP WALL WITH 1/2" LAG BOLTS AT MINIMUM 16" O.C.
 - 4.) GUTTERS AND DOWNSPOUTS SHALL BE SIZED IN ACCORDANCE WITH THE LOCAL REQUIREMENTS. THE DOWNSPOUT LOCATIONS SHALL BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.
 - 5.) DUE TO THE VARIATIONS THAT OCCUR IN NATURAL STONE, THE THICKNESS OF THE STONE MAY VARY FROM JOB TO JOB. THE CONTRACTOR SHALL VERIFY THE APPROPRIATE MINIMUM CLEARANCE REQUIRED AT THE EAVE, RAKE OR OTHER LOCATIONS WHERE STONE IS USED. THE CONTRACTOR SHALL COORDINATE THE NECESSARY CLEARANCES WITH THE MASON AND MAKE ANY NECESSARY ADJUSTMENTS FOR THE ACTUAL THICKNESS OF THE VENEER USED.
 - 6.) ALL METAL FLASHING SHALL BE MINIMUM 16 OZ SHEET COPPER OR EQUIVALENT THICKNESS IN ALUMINUM.
 - 7.) PROVIDE FLASHING WHERE ALL HORIZONTAL SURFACES MEET VERTICAL SURFACES.
 - 8.) WHERE STUCCO IS INDICATED, THE FINISH TYPE SHALL BE APPROVED BY THE OWNER.
 - 9.) ALL EXTERIOR ELECTRICAL FIXTURES, STYLE, FINISH, AND LOCATION SHALL BE APPROVED BY THE OWNER.
 - 10.) ALL MECHANICAL PENETRATIONS SHALL BE COORDINATED PRIOR TO INSTALLATION.



1 REAR ELEVATION
7 NOT TO SCALE



2 RIGHT SIDE ELEVATION
7 NOT TO SCALE

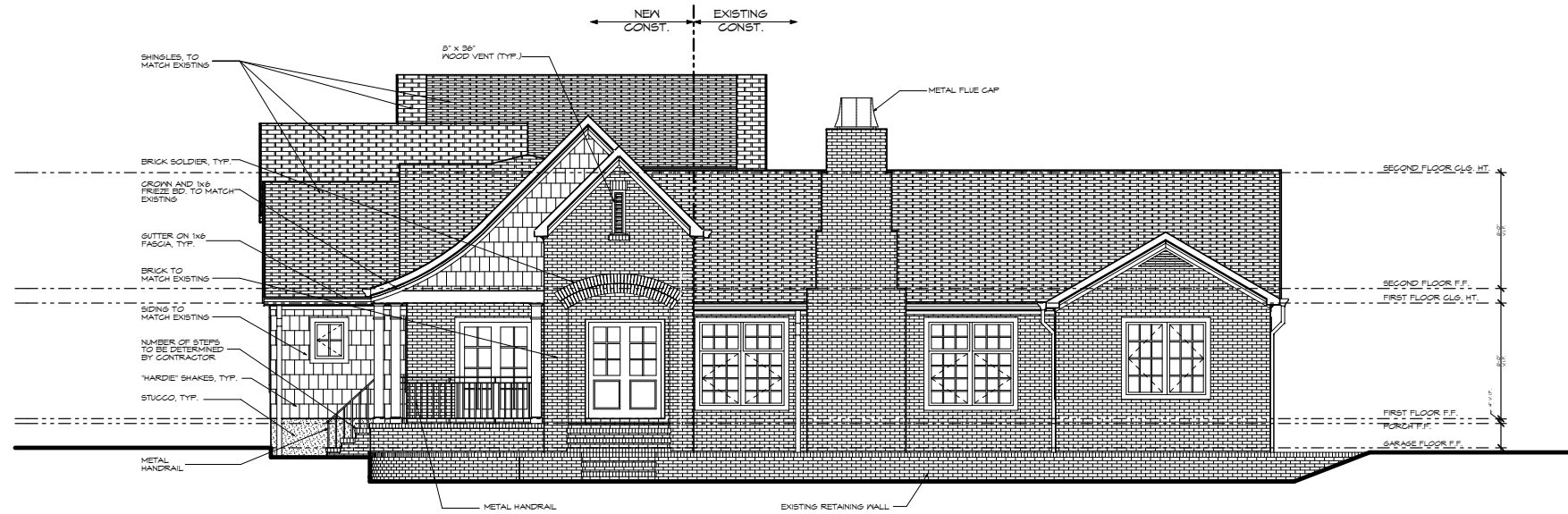
NEW RESIDENCE FOR:
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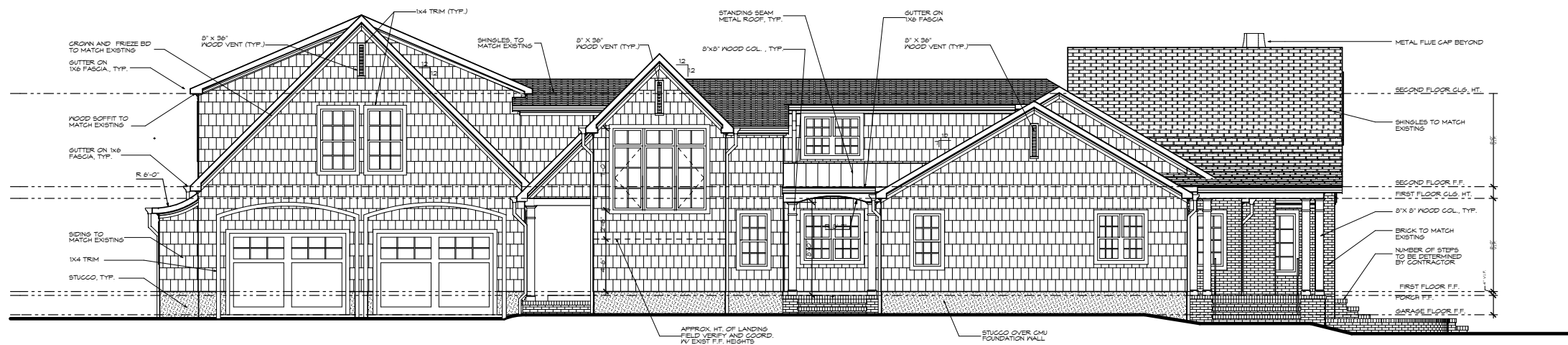
STONECREEK STUDIO, INC.
ARCHITECTURE
111 CENTER PARK DR., KNOXVILLE, TN 37923 PH: 615.641.9025

DRAWN BY: J.E.H.
APPROVED BY: B.D.G.
DATE: 1/21/08
JOB NO: 07-112
REVISION DATE(S):
REAR/RIGHT ELEVATIONS
SHEET NO: 7 OF ?

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6 NOT TO SCALE



2 LEFT SIDE ELEVATION
6 NOT TO SCALE

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