

**KNOXVILLE HISTORIC ZONING COMMISSION
STAFF REPORT - CERTIFICATE OF APPROPRIATENESS APPLICATION**

MEETING DATE: 2/21/2008 ▶ FILE NO.: 11608FEM

APPLICANT: Williamsbuilt Construction (Anthony Williams) (Contractor)

ADDRESS OF PROPERTY: 2016 Fairmont

HISTORIC DISTRICT: Fairmont-Emoriland NC-1

TYPE OF WORK: Level II. Replacement/repair

▶ DESCRIPTION OF WORK: Construct new front porch, 30' wide, 8' deep: roof slope 2/12, shingled, wood banister at front edge approximately 24" high with square 4"x4" posts and 2" ballusters set into top and bottom rail; 6"x6" square wood columns, exposed concrete block foundation with 4" concrete slab floor, concrete steps.

PROPERTY DESCRIPTION: Colonial Revival (1932)

Two story block with artificial siding. Side gable roof with asphalt shingle covering. Six over six double hung windows, paired flanking front entry. Gabled portico at front entry with replacement metal columns. Interior side brick chimney. Brick foundation. Rectangular plan.

▶ APPLICABLE DESIGN GUIDELINES:

Fairmont Park Neighborhood Conservation District Design Guidelines, adopted by the Knoxville City Council on November 26, 2002.

▶ STAFF RECOMMENDATION:

DENY Certificate No 11608FEM without prejudice. Submitted drawing does not contain details adequate to assess impact of change of porch design on front elevation of building.

COMMENTS:

The Fairmont Park design guidelines suggest that porticos are more appropriate for two story Colonial Revival dwellings. Those porticos should be gabled with arched ceilings or broken pediments. As a second alternative full and half porches may be considered. Porch trim includes columns with elaborate capitals and turned or sawn wood balustrades. (pg. 6, Design Guidelines)



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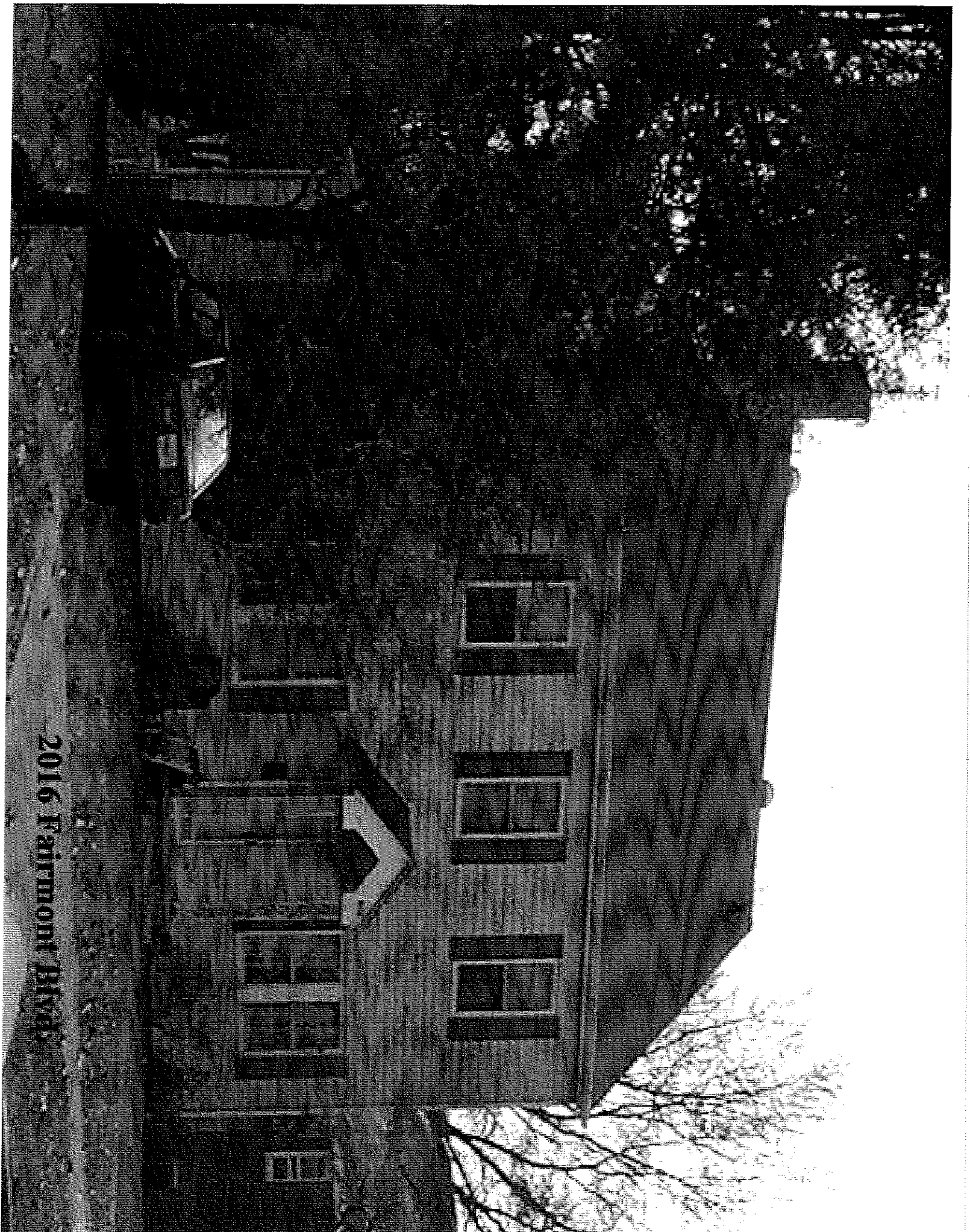
0 30ft

**2016 Fairmont. Certificate No. 11608FEM. Knoxville Historic Zoning
Commission Meeting of February 21, 2008**

KGIS - 606 Main St - Suite 150 - Knoxville, TN 37902 - www.kgis.org

Printed: Fri Feb 8 2008

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2016 Fairmont Blvd

**Knoxville/Knox County Metropolitan Planning Commission
Knoxville/Knox County Historic Zoning Commission**

Certificate (File) No.: 11608FEM

Date Filed: 1/16/2008

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS**

I (we) make application for a Certificate of Appropriateness for the plans and proposals described for the following property.

1. NAME OF APPLICANT: Williamsbuilt Construction (Anthony Williams)

Address: 7411 Crossbow Ln Corryton, TN 37721

Telephone: 281-2897

Fax:

Relationship to Owner: Contractor

2. NAME OF OWNER: Virginia Lanni Bamburg

Address: 1701 NE 16th Ft Lauderdale, FL 33305

Telephone: 934-6500

Fax:

3. LOCATION OF PROPERTY (Address, Lot, and Parcel No.):

Address: 2016 Fairmont

Tax ID: 69 L F 004

4. TYPE OF WORK:

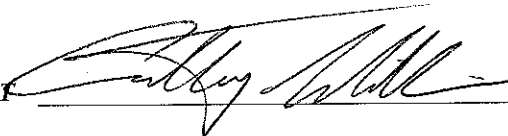
Level: Level II. Replacement/repair

5. DESCRIPTION OF WORK:

(See Part 2 of this application for additional information to be submitted with the application. A copy of all information which is submitted with an application must be retained by the Knoxville/Knox County Historic Zoning Commission)

Construct new front porch, 30' wide, 8' deep: roof slope 2/12, shingled, wood banister at front edge approximately 24" high with square 4"x4" posts and 2" ballusters set into top and bottom rail; 6"x6" square wood columns, exposed concrete block foundation with 4" concrete slab floor, concrete steps.

6. SIGNATURE OF APPLICANT



Date:

1-16-08

Return application to

Knoxville/Knox County Historic Zoning Commission,
Suite 403, City/County Building, 400 Main Street,
Knoxville, Tennessee 37902.

FOR STAFF USE ONLY

Date Received _____ Approved _____ Disapproved _____
Approved As Modified _____ Date Acted On _____

PART 2 - INFORMATION TO BE SUBMITTED WITH YOUR APPLICATION

Attach the following information for each type of work proposed:

LEVEL I. STANDARD REPAIR / LEVEL II. REPLACEMENT/REPAIR:

1. Check each work item for which approval is requested:

- | | | |
|--|---|--|
| <input type="checkbox"/> Architectural feature | <input type="checkbox"/> Masonry cleaning, tuckpointing, or painting | <input type="checkbox"/> Security grilles on windows and doors |
| <input type="checkbox"/> Awning or canopy | <input type="checkbox"/> Parking lot (paving, entrance drives, landscaping) | <input type="checkbox"/> Shutters |
| <input type="checkbox"/> Curb cut | <input checked="" type="checkbox"/> Porch (columns, cornice, trim, etc.) | <input type="checkbox"/> Sidewalks |
| <input type="checkbox"/> Deck | <input type="checkbox"/> Material changes (wood, brick, metal, etc.) | <input type="checkbox"/> Siding |
| <input type="checkbox"/> Door | <input type="checkbox"/> Mechanical system unit | <input type="checkbox"/> Signs |
| <input type="checkbox"/> Fence | <input type="checkbox"/> Retaining wall | <input type="checkbox"/> Solar collectors |
| <input type="checkbox"/> Guttering | <input type="checkbox"/> Roof (change in shape, features, materials) | <input type="checkbox"/> Storm windows or doors |
| <input type="checkbox"/> Light fixture | <input type="checkbox"/> Satellite dish | <input type="checkbox"/> Windows, skylights |
| | | <input type="checkbox"/> Other: |

2. List and describe in detail all work to be done for each item checked. Include the following materials when appropriate:

- a. Sketches, photographs, specifications, manufacturer's illustrations or other description of proposed changes to the building's exterior. Detailed drawings are required for major changes in architectural features.
- b. If application is for a fence, include a site plan in addition to the information in item 1.
- c. If material changes are proposed, please provide a description of them. The architect's specifications or brochures should suffice; however, the Commission may request samples of new materials.

LEVEL III. NEW CONSTRUCTION OF PRIMARY BUILDING(S) OR DEVIATION FROM GUIDELINES:

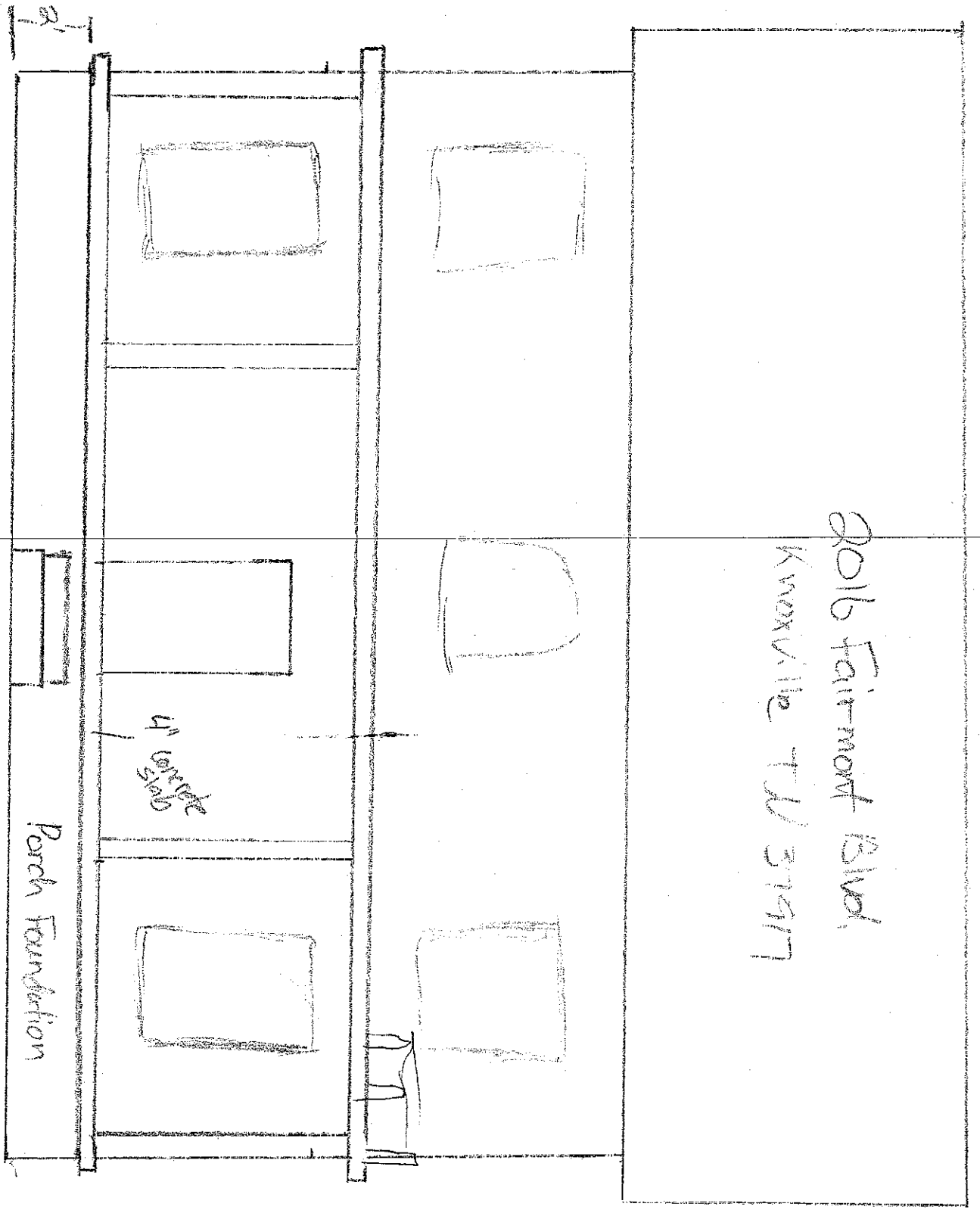
Describe the nature of the proposed project. Include the following materials when appropriate:

1. Site plan with measured distances.
2. Elevation drawings of each facade and specifications which clearly show the exterior appearance of the project.
3. Samples or other description of materials to be used.
4. Drawings or other description of site improvements such as fences, sidewalks, lighting, pavement, decks, etc.

LEVEL IV. DEMOLITION OR RELOCATION OF CONTRIBUTING STRUCTURE:

1. Describe the structure's condition and reason for demolition.
2. Describe the proposed reuse of the site, including drawings of any proposed new structure or landscaping.
3. Explain what will be moved, where, why, and proposed changes.
4. If a building will be moved into the district from outside, include photographs.
5. Include a site plan of the proposed location in the district and describe any site features which will be altered or may be disturbed, including foundations, walls, vegetation, etc.

2016 Fairmont Blvd
Knoxville TN 37917



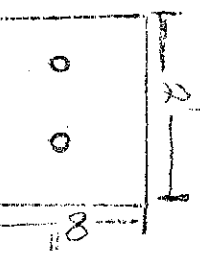
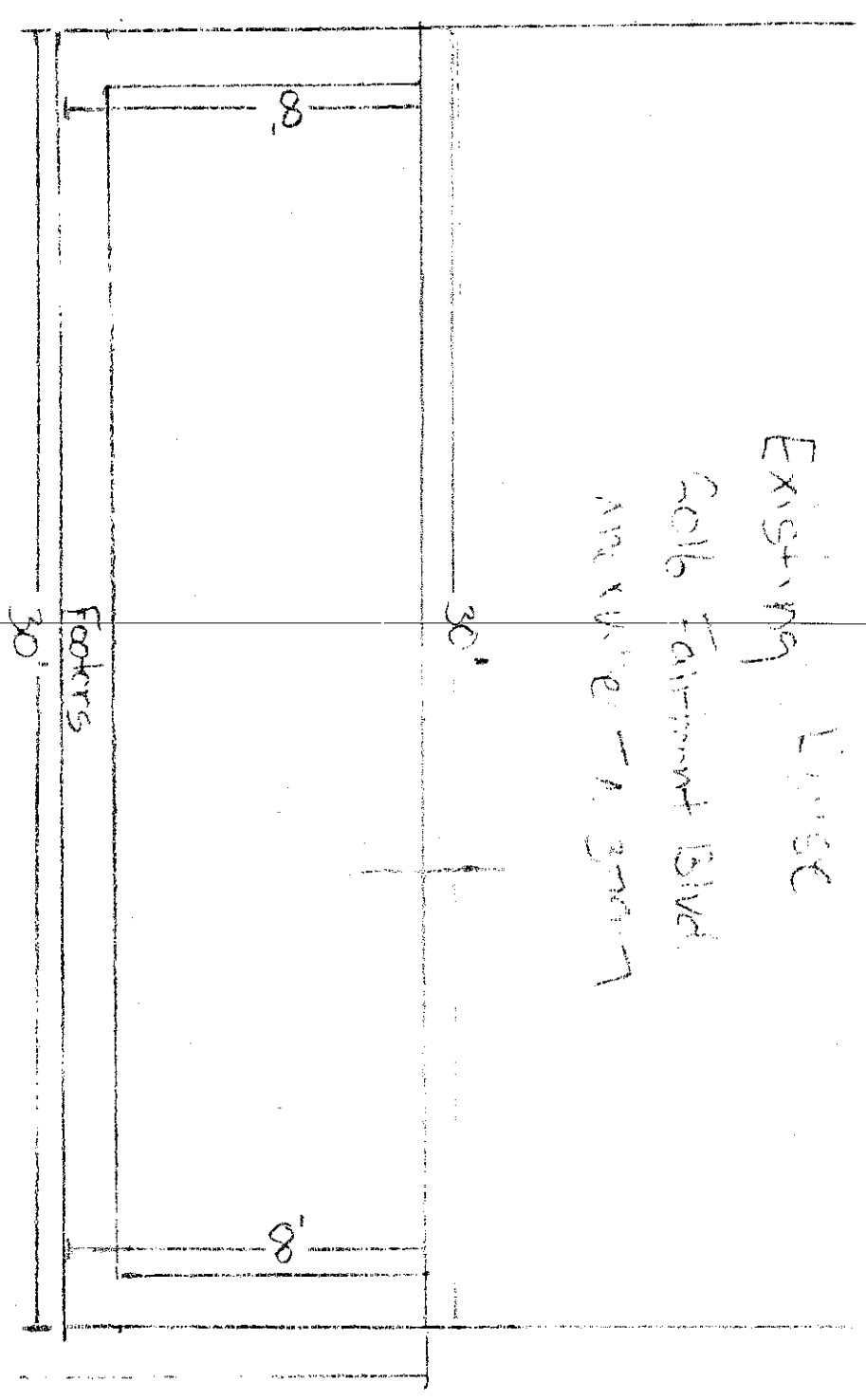
Roof with Slate
6x6 Square Wood
Exposed concrete steps
Fog Bottom nail balusters
Shingled wooden banister around porch roof - 24" high, sq. 4x4 posts
Foundation / 4" concrete slab floor

19LF004

Existing Linse

6016 Fairmont Blvd

APR 11, 2007



2x2s #14
Rebar

Footer = 2' wide
8' deep

SUBMITTED FOR PLANS REVIEW
DATE 1-16-08
R08-0044

Sidewalk K

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